

# DOWNTOWN PARKING GARAGE

PALO ALTO, CA



## FORMAL ARB SUBMITTAL

07/12/18

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- MB MATERIAL AND SAMPLE BOARD



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PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 1.1 COVER SHEET**

CLIENT NAME:  
**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/18**





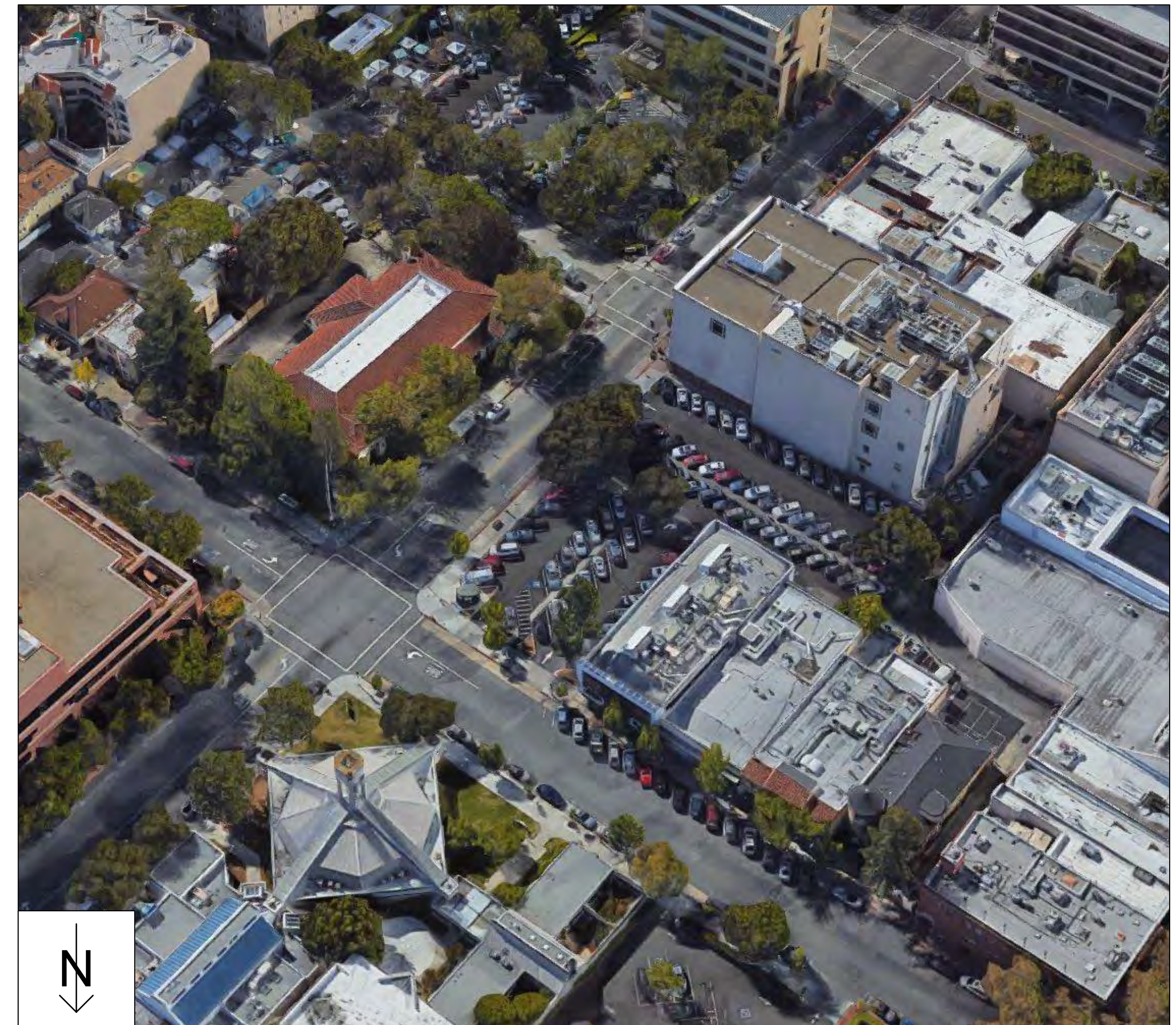
HAMILTON SOUTHEAST STREETSCAPE 2



HAMILTON NORTHWEST STREETSCAPE 3

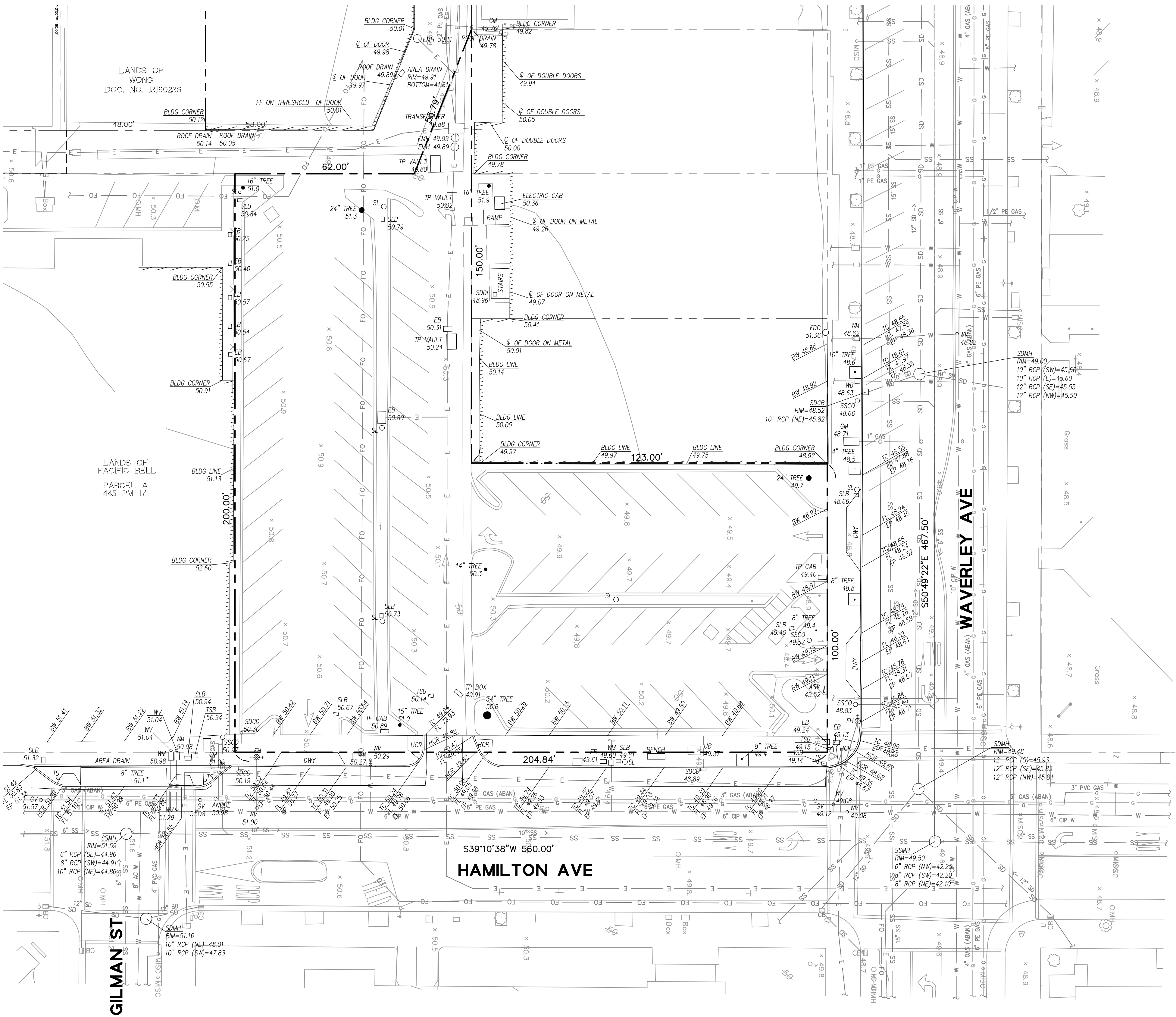


WAVERLEY SOUTHWEST STREETSCAPE 2



AERIAL VIEW OF SITE 1





LEGEND

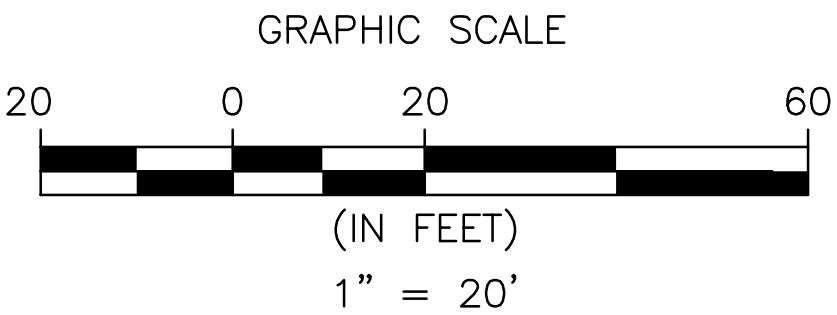
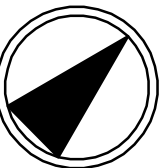
PROPERTY LINE	---
ADJACENT LOT LINE	---
GAS MAIN	G
ABANDONED GAS LINE	G ABN
WATER MAIN	W
ELECTRICAL LINE	E
SANITARY SEWER LINE	SS
STORM DRAIN LINE	SD
FIBER OPTIC LINE	FO
STORM DRAIN CATCH DRAIN	SDCB
STORM DRAIN MANHOLE	SDMH
SANITARY SEWER MANHOLE	SSMH
SANITARY SEWER CLEAN OUT	SSCO
WATER VALVE	WV
WATER METER	WM
FIRE HYDRANT	FH
GAS VALVE	GV
TRAFFIC SIGNAL	TS
ELECTRICAL BOX	EB
STREET LIGHT	SL

BENCHMARK

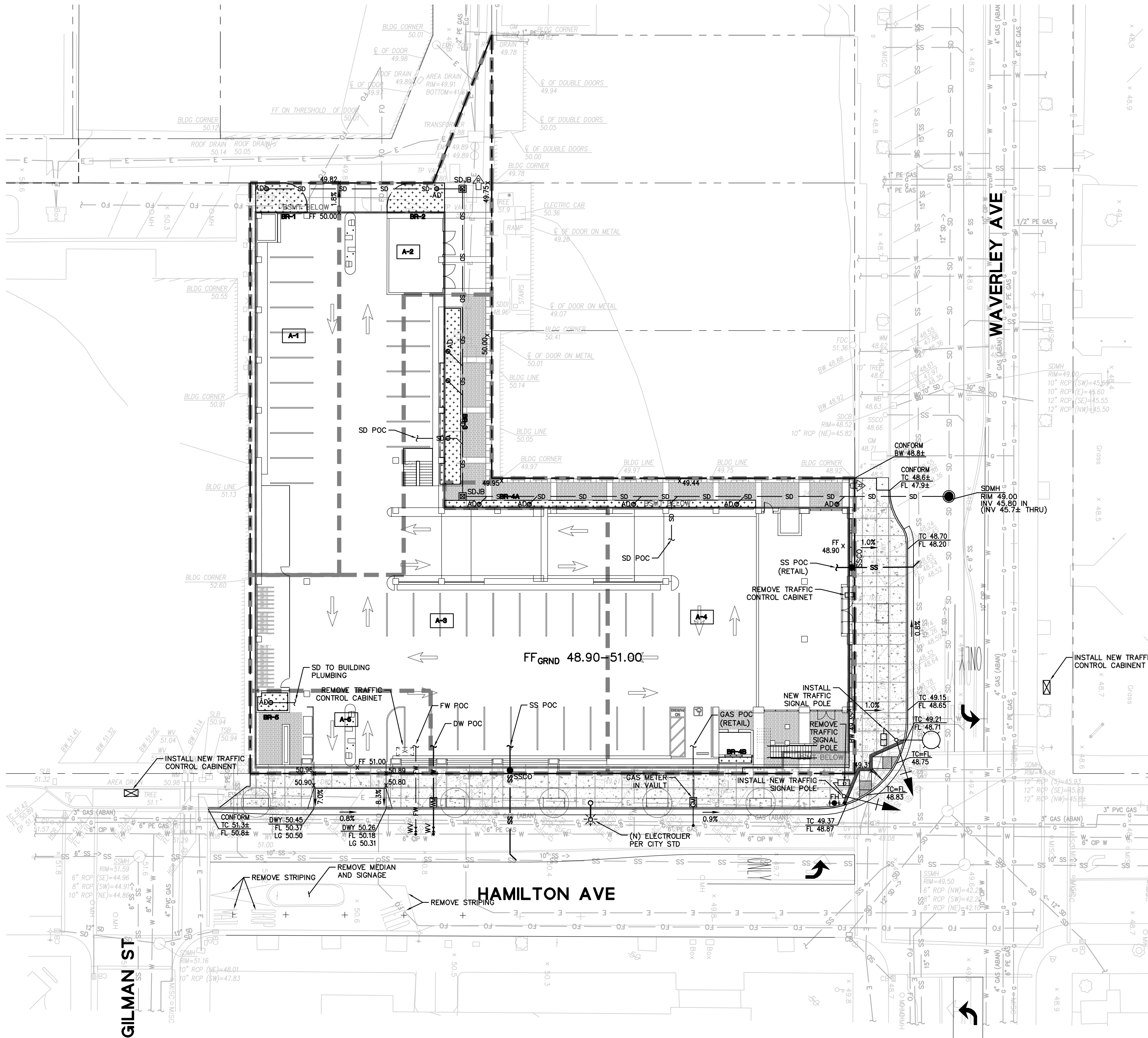
BM#2197  
ELEVATION = 51.27 FEET (NGVD 29)  
CHISELED SQUARE SET ON TOP OF CURB, LOCATED ON NORTHWEST CORNER AT  
NORTHEAST RETURN BRYANT STREET & UNIVERSITY AVENUE, CITY OF PALO ALTO  
SECONDARY VERTICAL CONTROL DATUM (RE-ADJUSTMENT OF 1967)

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE CALIFORNIA  
COORDINATE SYSTEM OF 1983 (CCS83), ZONE 3, EPOCH 2010.00 AND THIS  
BEING ALSO THE NORTH AMERICAN DATUM OF 1983 (NAD83). DISTANCES SHOWN  
ON THIS MAP ARE GROUND DISTANCES.







## NOTES

- ALL PAVED AREAS ARE TO SLOPE A MINIMUM OF 0.5% AND MAXIMUM OF 8%. ACCESSIBLE STALLS AND LOADING ZONES ARE TO SLOPE AT A MAXIMUM OF 2% IN ALL DIRECTIONS. ACCESSIBLE PATHWAYS ARE TO SLOPE AT A MAXIMUM OF 5% IN THE DIRECTION OF TRAVEL AND THE SLOPE CROSSWAYS TO THE DIRECTION OF TRAVEL SHALL BE AT A MAXIMUM OF 2%. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK, FORM WORK AND/OR FLATWORK.
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY/EXISTING CONDITIONS, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACT AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
- ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S TESTING AGENCY TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND SPECIFICATIONS.
- COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO PLACEMENT OF ANY ASPHALT, BASE ROCK OR FLATWORK. SEE SITE LANDSCAPING AND ELECTRICAL DRAWINGS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
- SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONCRETE OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM THE SITE.
- ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05'. HOWEVER, CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
- CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRAD AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTOR SHALL BE REQUIRED TO PERFORM CORRECTIVE GRADING AT NO EXTRA COST TO THE OWNER.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- SEE SITE ARCHITECTURAL/LANDSCAPE PLANS FOR ALL WALKWAY COLORS, FINISHES, SCORE JOINT DETAILING AND LAYOUT.
- SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREP.
- EXISTING PAVEMENT SHALL BE TACK COATED PRIOR TO CONSTRUCTION OF NEW PAVEMENT.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR CLIENT'S CIVIL ENGINEER.
- EXISTING ASPHALT CONCRETE IN PARKING LOT TO BE REMOVED IN ACCORDANCE WITH THE DEMOLITION PLAN. SCRAPE OFF BASE ROCK AND STOCKPILE FOR RE-USE IN NEW PAVEMENT SECTION IF APPROVED BY GEOTECHNICAL ENGINEER.
- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26, "AGGREGATE BASE" AND SECTION 39, "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

## LEGEND

PROPERTY LINE	---
ADJACENT LOT LINE	---
DOMESTIC WATER LINE	W
FIRE WATER LINE	FW
SANITARY SEWER LINE	SS
STORM DRAIN LINE	SD
EXISTING ELEVATION	(TC32.00±)
PROPOSED ELEVATION	TC32.00
SLOPE TO DRAIN (SURFACE SLOPE)	1.8%
SLOPE TO DRAIN (SOFTSCAPE)	~
OVERLAND RELEASE PATH	→
BIORETENTION BASIN	[Pattern]
DRAINAGE TRIBUTARY AREAS	[Pattern]

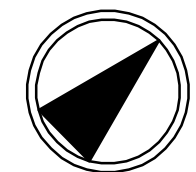
## EARTHWORK QUANTITIES

CUT 13,300 CY  
FILL 0 CY  
BALANCE 13,300 CY EXPORT

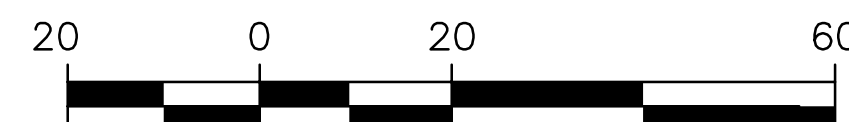
THE EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE AND ARE FURNISHED FOR INFORMATION ONLY. THE ACTUAL AMOUNT OF EARTH MOVED WILL VARY DEPENDING ON THE PROPERTIES OF THE SOILS ENCOUNTERED, THE CONTRACTOR'S METHOD OF OPERATION, ETC.

TREATMENT CONTROL MEASURE SUMMARY TABLE									
DRAINAGE AREAS	DRAINAGE AREA SIZE (SQ. FT.)	PERVIOUS SURFACE (SQ. FT.)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SQ. FT.)	TYPE OF IMPERVIOUS SURFACE	WATER QUANTITY (FLOW AND/OR VOLUME GENERATED)		PROPOSED TREATMENT CONTROLS	CONFORMS TO SIZE STANDARD?
						REQUIRED*	PROVIDED		
A-1	4,009	161	LANDSCAPE	3,848	CONCRETE, ROOF, PAVERS	123 SF	161 SF	B.R.1 BIORETENTION BASIN	YES
A-2	4,523	181	LANDSCAPE	4,342	CONCRETE, ROOF, PAVERS	139 SF	181 SF	B.R.2 BIORETENTION BASIN	YES
A-3	10,021	825	LANDSCAPE	9,196	CONCRETE, ROOF, PAVERS	307 SF	388 SF	B.R.3 BIORETENTION BASIN	YES
A-4	8,898	1,017	LANDSCAPE	7,881	CONCRETE, ROOF, PAVERS	273 SF	286 SF	B.R. 4A & 4B BIORETENTION BASIN	YES
A-5	1,714	0	LANDSCAPE	1,714	CONCRETE, ROOF, PAVERS	53 SF	59 SF	B.R.5 BIORETENTION BASIN	YES

\*WATER QUANTITY REQUIRED CALCULATED BY THE COMBINATION METHOD.

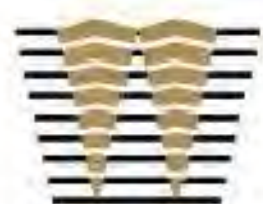


GRAPHIC SCALE



(IN FEET)

1" = 20'



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ENGINEERS / SURVEYORS / PLANNERS

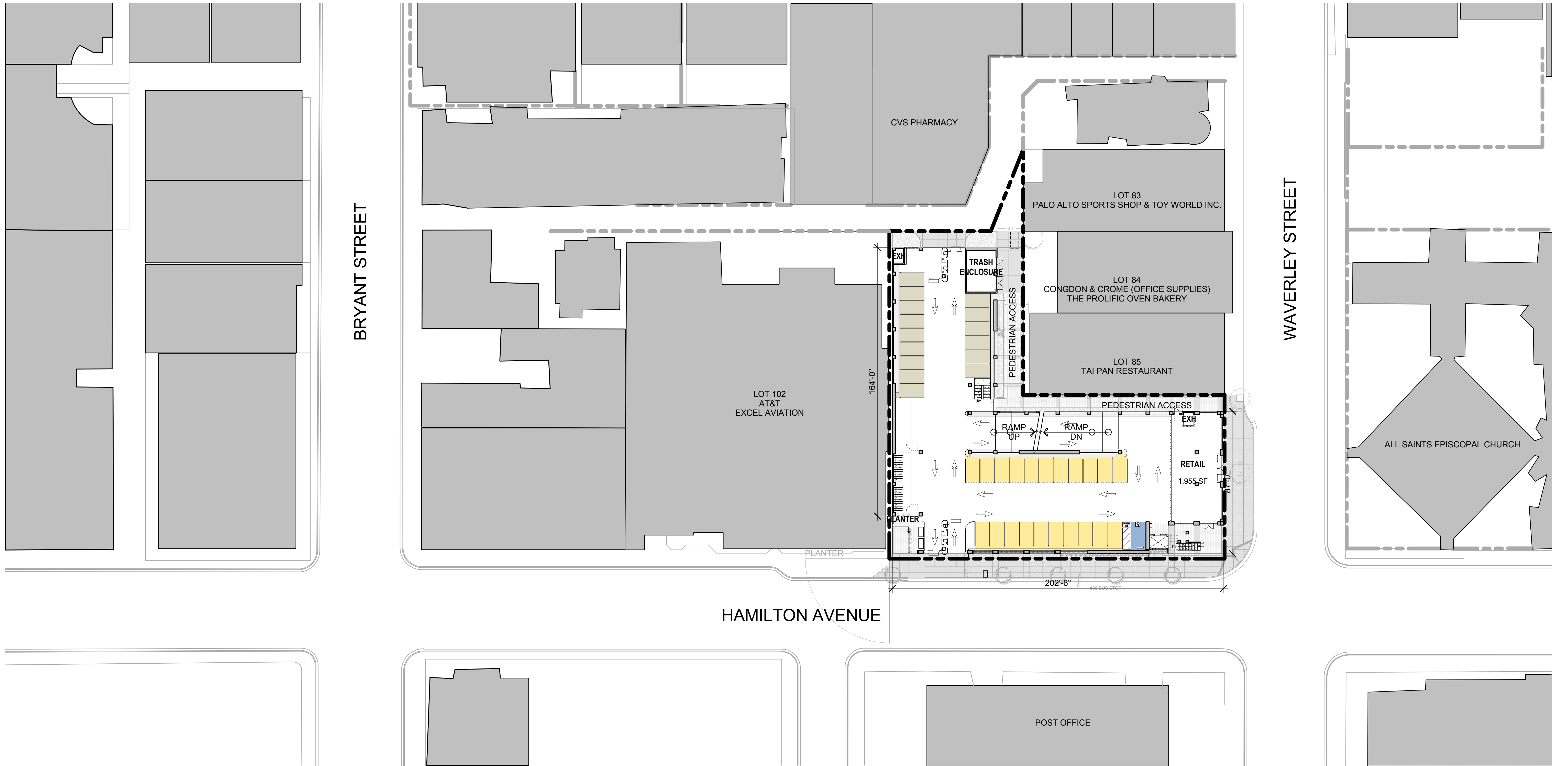
PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**CIVIL SITE PLAN**

CLIENT NAME:  
**CITY OF PALO ALTO**

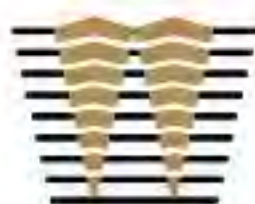
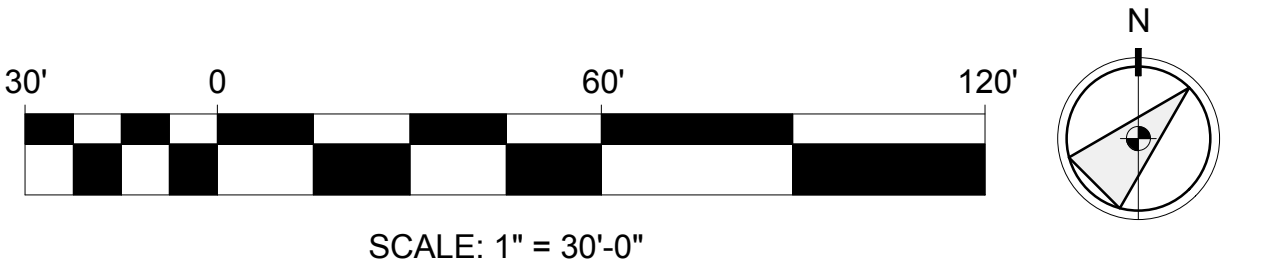
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SITE PLAN

1" = 30'-0"



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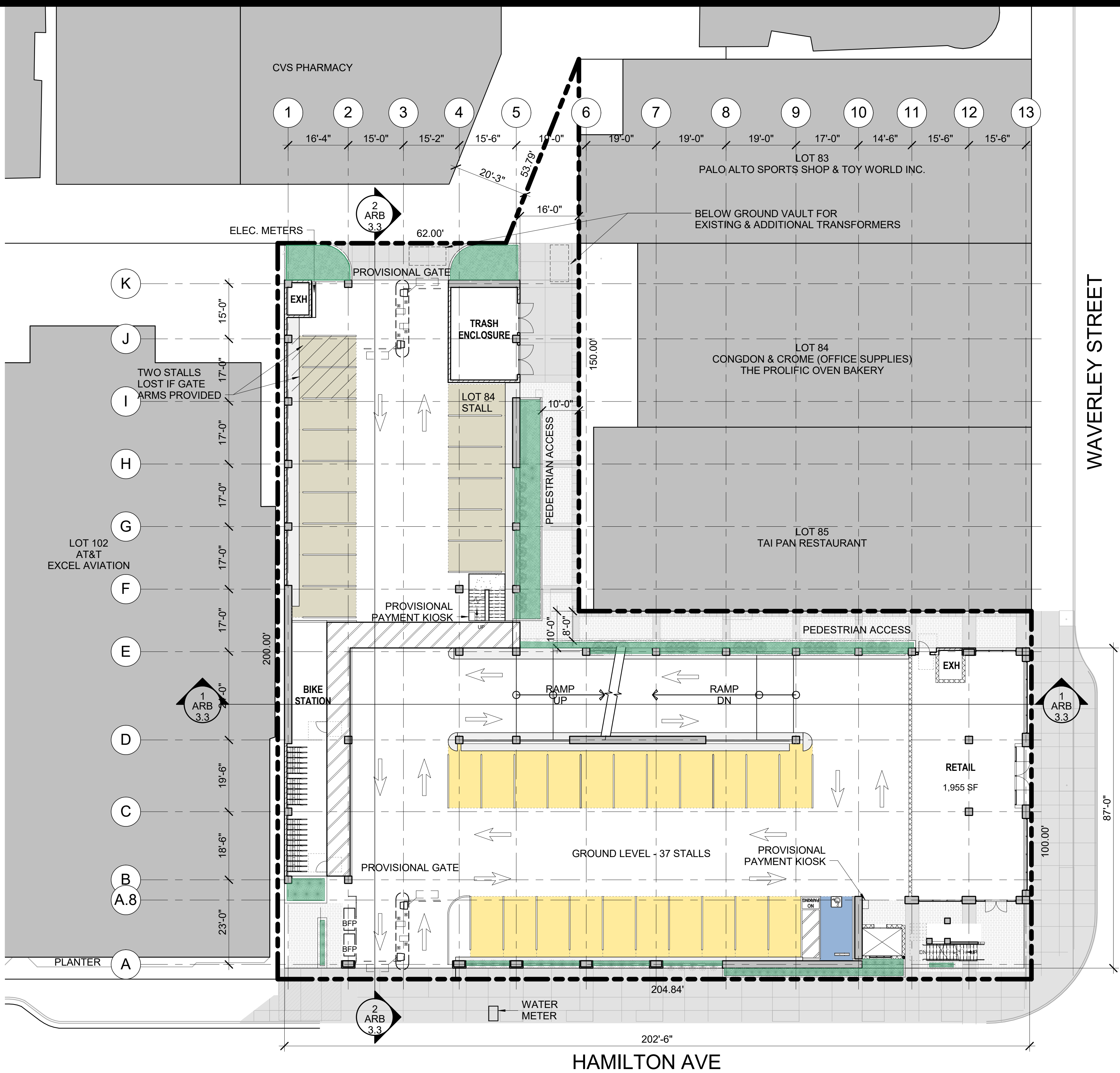
PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 1.6 SITE PLAN**

CLIENT NAME:  
**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/18**





GROUND LEVEL PLAN  
1/16" = 1'-0"

PROJECT INFORMATION

ZONING DESIGNATION: PF  
MAXIMUM SITE COVERAGE: NO REQUIREMENT  
MAXIMUM FAR: NO REQUIREMENT  
MAXIMUM HEIGHT: 50'-0"

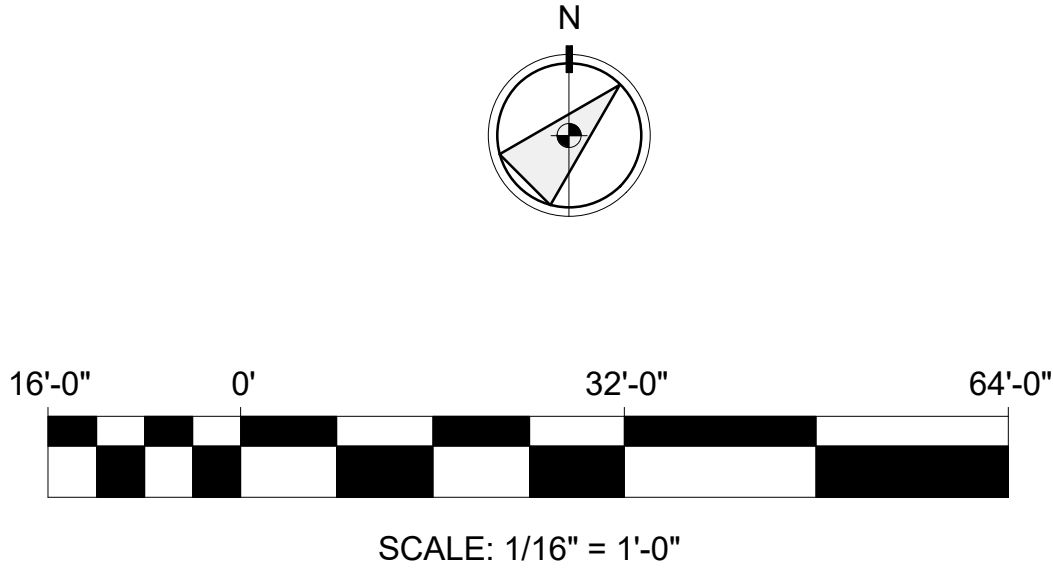
LOT AREA: 29,164 SF  
EXISTING LOT COVERAGE: ZERO, LOT IS UNDEVELOPED  
PROPOSED LOT COVERAGE: 22,980 SF (80.54%)  
GROSS BUILDING AREA: 136,595 SF  
PROPOSED FLOOR AREA RATIO (FAR): 4.68  
PROPOSED BUILDING HEIGHT: 49'-10" (TO TOP OF RAIL)  
EXISTING ON SITE PARKING: 86 STALLS  
PROPOSED PARKING: 325 STALLS (INCLUDES STALL FOR LOT 84)  
REQUIRED PARKING FOR RETAIL (1 space/250 sf): 8

PARKING STALL SUMMATION CHART

LEVEL	TYPE								TOTAL
	VAN ACCESSIBLE (9'-0" x 18'-0")	ACCESSIBLE (9'-0" x 18'-0")	STANDARD (8'-6" x 17'-0") (MIN)	VAN ACCESSIBLE EV (9'-0" x 18'-0")	ACCESSIBLE EV (9'-0" x 18'-0")	STANDARD EV (MIN) (8'-6" x 17'-0")	FUTURE EV (MIN) (8'-6" x 17'-0")	CLEAN AIR/ CARPOOL (MIN) (8'-6" x 17'-0")	
LEVEL 05	0	0	45	0	0	0	13	4	62
LEVEL 04	0	0	35	0	0	0	20	4	59
LEVEL 03	1	2	24	1	1	5	5	16	55
LEVEL 02	1	3	30	0	0	12	4	6	56
GROUND LEVEL	0	1	36	0	0	0	0	0	37
BASEMENT LEVEL	0	0	56	0	0	0	0	0	56
TOTAL	2	6	244	1	1	17	43	24	325

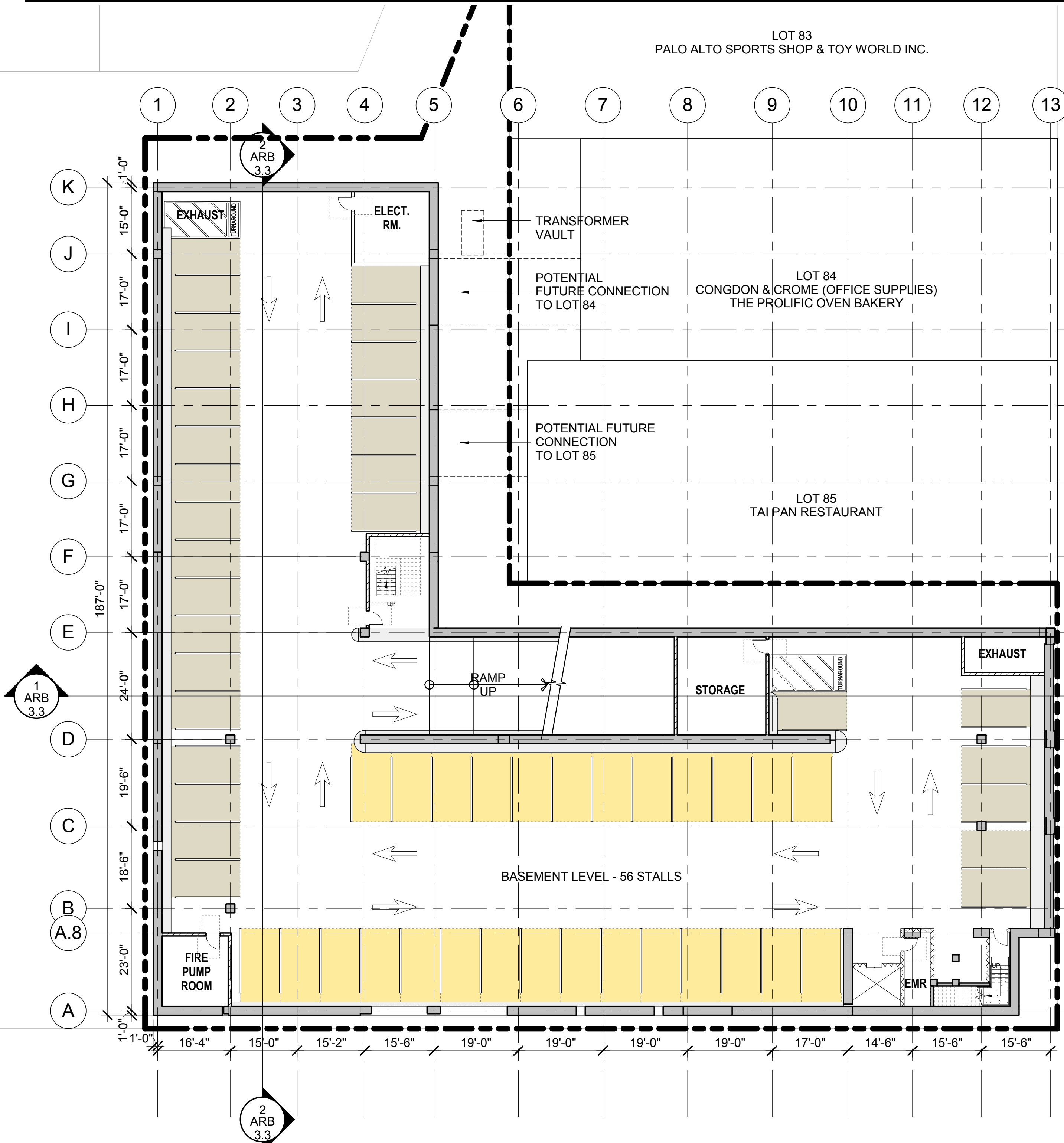
- STANDARD
- ACCESSIBLE
- VAN ACCESSIBLE
- ACCESSIBLE EV
- VAN ACCESSIBLE EV
- CLEAN AIR/CARPOOL/EV
- EV
- FUTURE EV

PARKING STALLS LEGEND



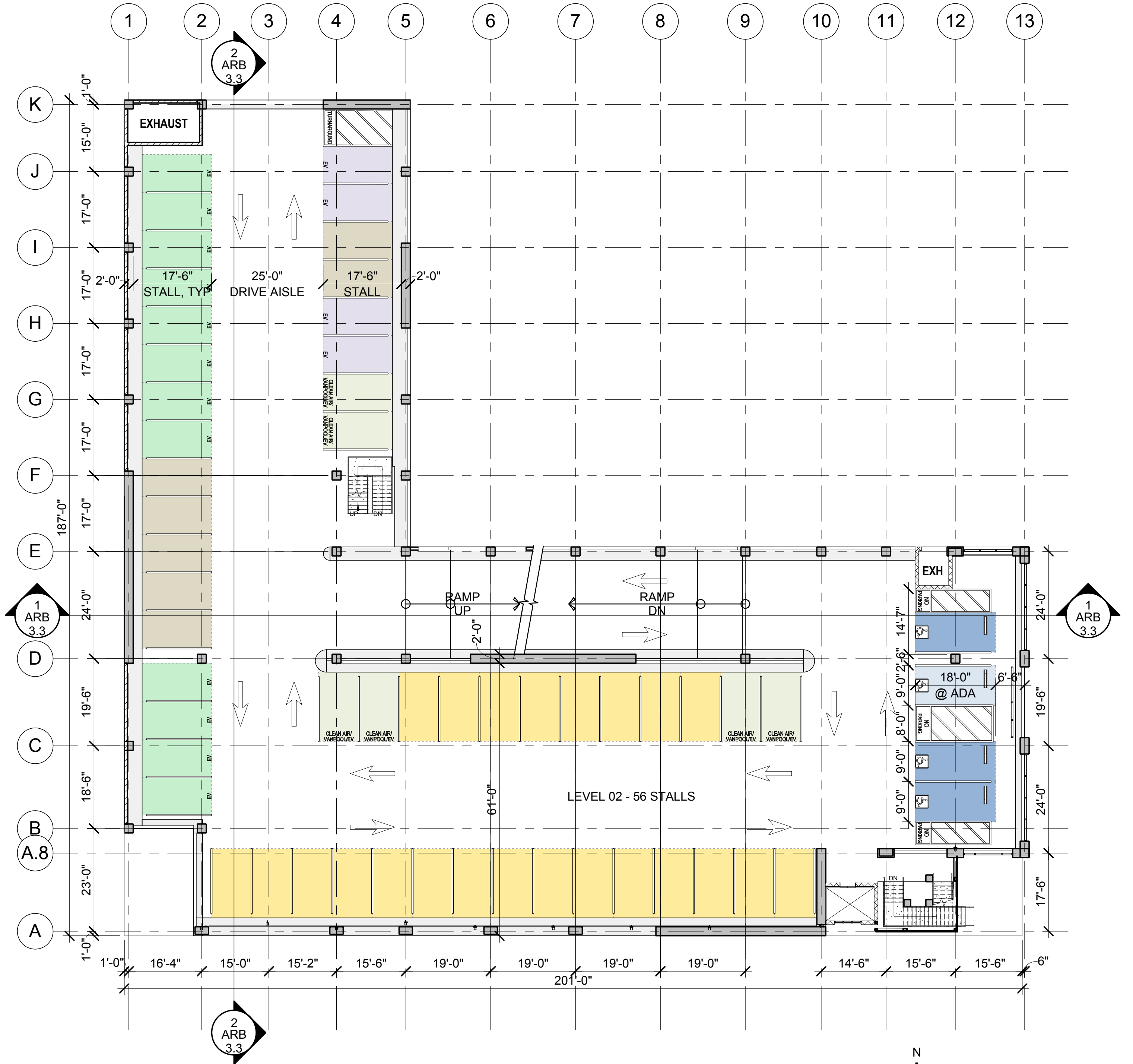


LOT 83  
PALO ALTO SPORTS SHOP & TOY WORLD INC.



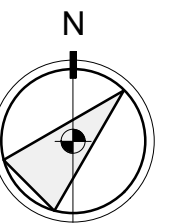
BASEMENT LEVEL PLAN

1/16" = 1'-0"

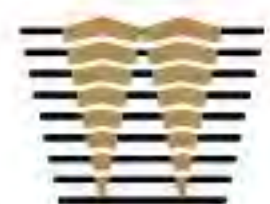


LEVEL 02 PLAN

1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



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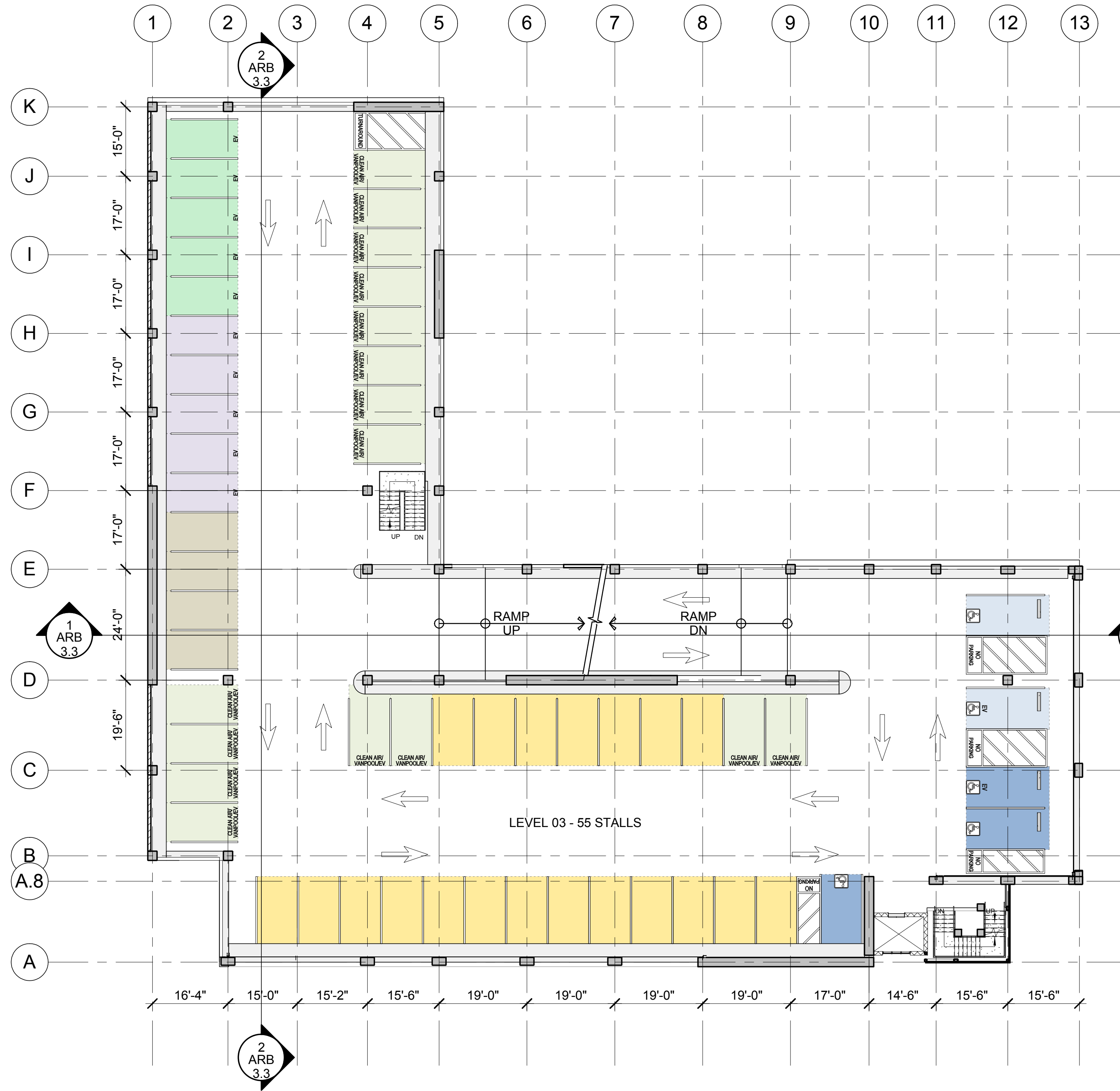
PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB2.2 BASEMENT & LEVEL 02 PLANS**

CLIENT NAME:  
**CITY OF PALO ALTO**

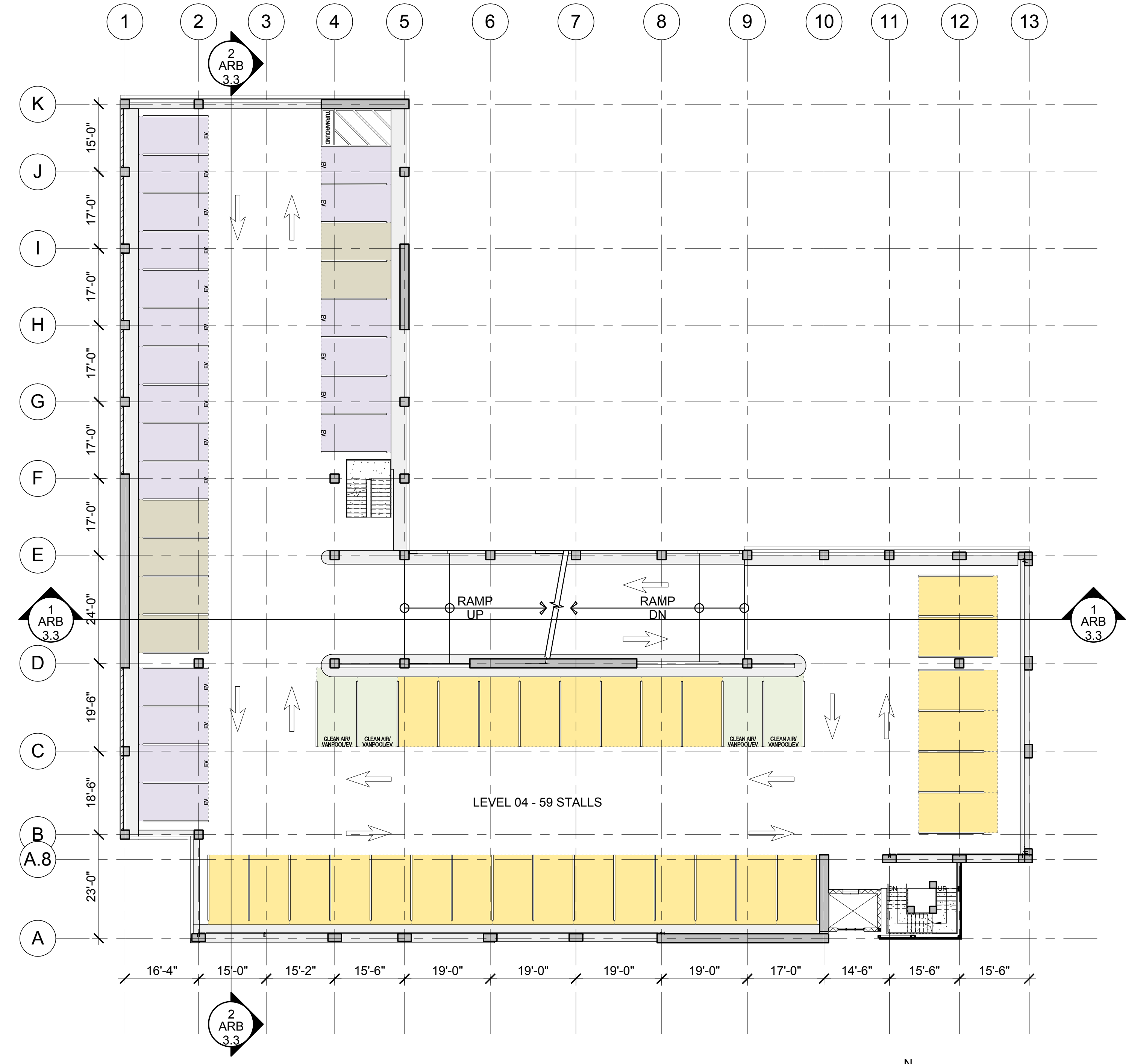
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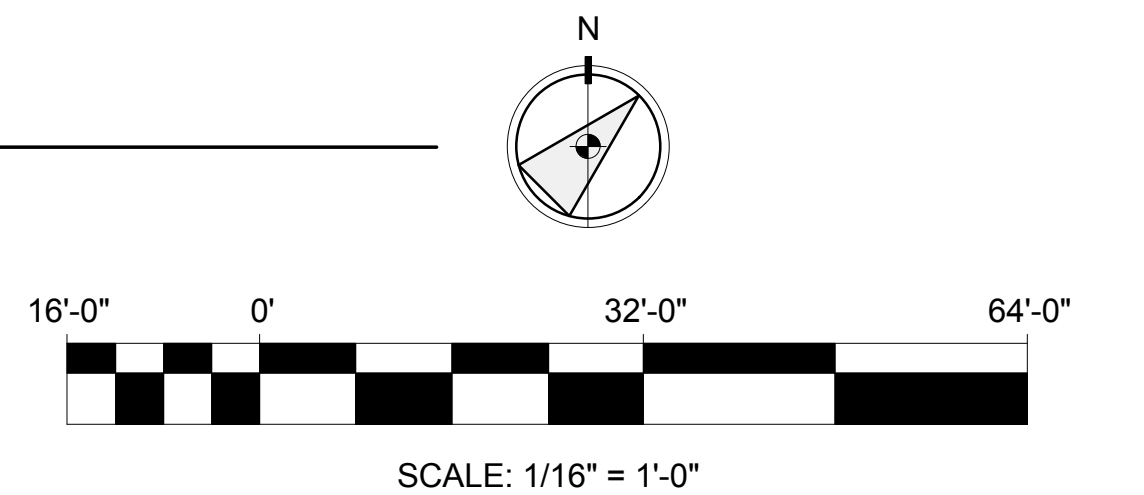
LEVEL 03 PLAN

1/16" = 1'-0"

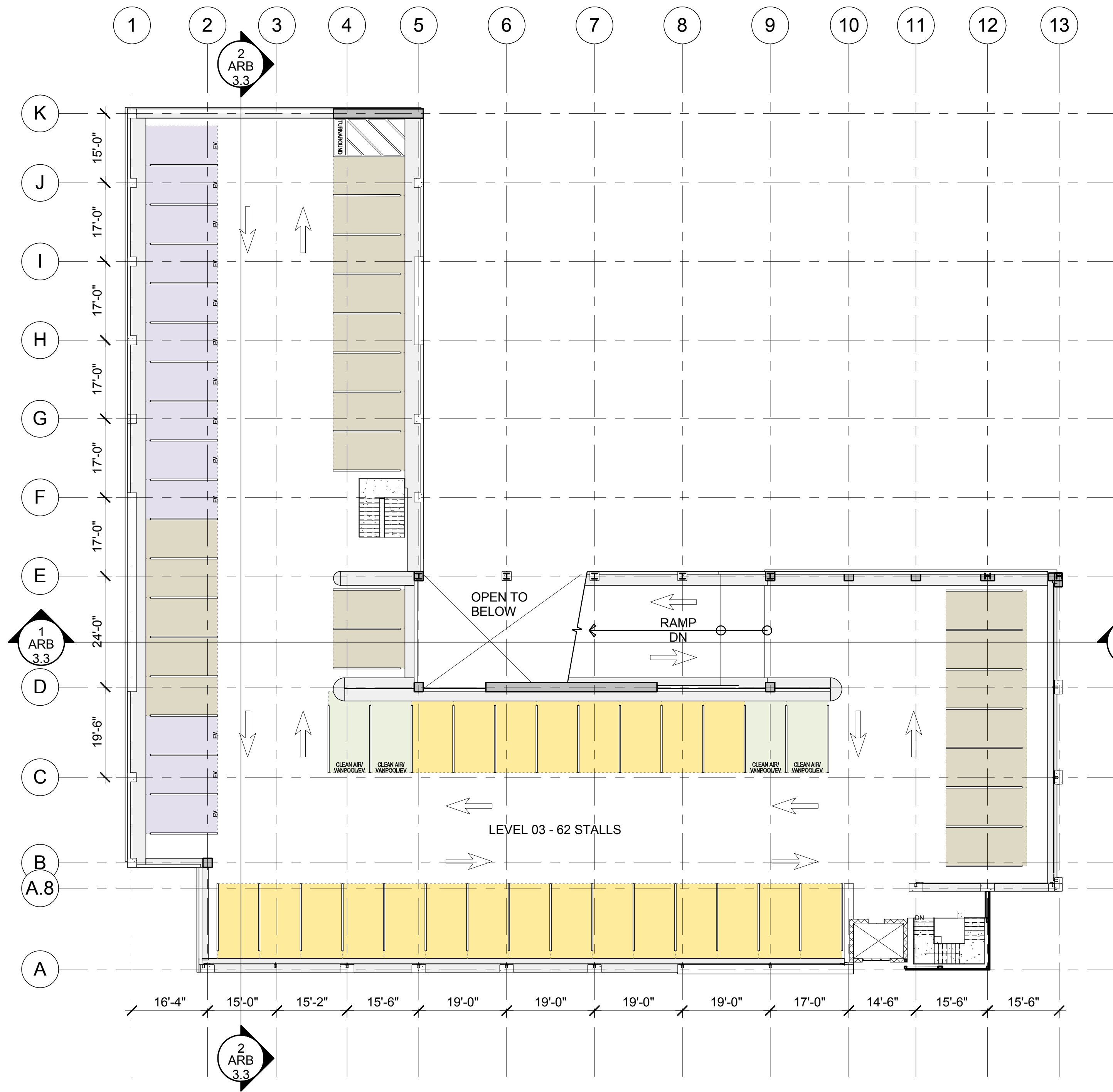


LEVEL 04 PLAN

1/16" = 1'-0"

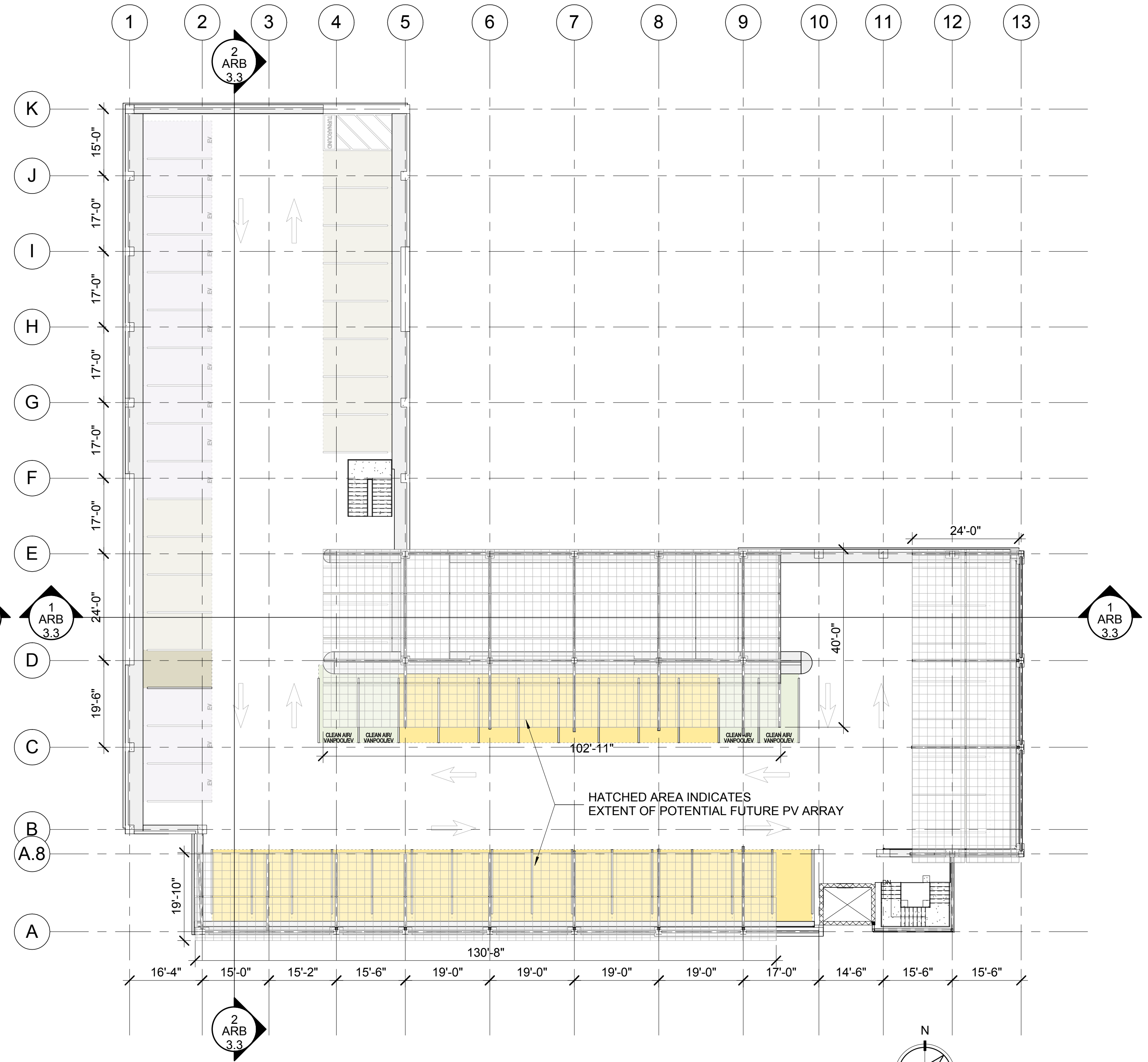






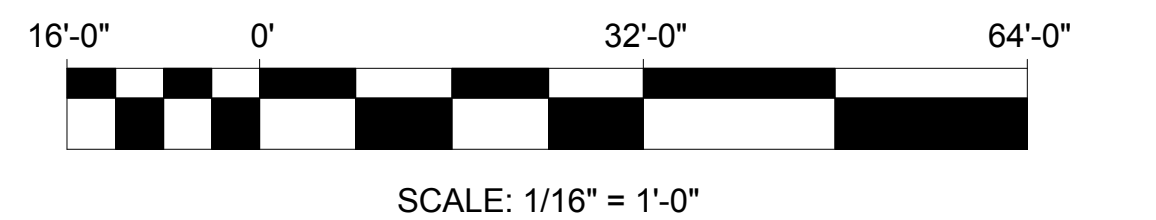
LEVEL 05 PLAN

1/16" = 1'-0"



PV LEVEL PLAN

1/16" = 1'-0"







(C1) PAINTED CONCRETE STRUCTURE  
CAST-IN-PLACE CONCRETE WITH TEX-COTE FINISH,  
'SAND' TEXTURE, 'WHISPER GREY T-127' COLOR

(C2) BOARD FORM CONCRETE CONCRETE  
NATURAL COLOR

(G1) RETAIL STOREFRONT SYSTEM  
CLEAR TEMPERED GLAZING  
WITHIN DARK ANODIZED ALUMINUM STOREFRONT FRAME

(M1) PAINTED STEEL POSTS AND TRIM. GUARDRAIL AND PICKETS.  
GALVANIZED STEEL SHAPE, PAINT 'DARK BRONZE'

(M2) ALUMINUM SUNSHADE  
'LEVOLUX INFINITY' EXTRUDED ALUMINUM VERTICAL LOUVRE  
RECTANGLE PROFILE BLADE, 16" X 2"  
POLYESTER POWDER-COATED, 'TERRACOTTA' COLOR

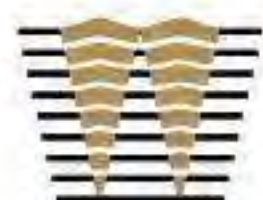
(M3) PERFORATED METAL PANEL  
CUSTOM PERFORATED ALUMINUM PANEL,  
COLOR 'BURNISHED BRONZE', 40% OPEN

(M4) ALUMINUM COMPOSITE CANOPY  
COMPOSITE METAL PANELS, DARK BRONZE COLOR.

(P1) CEMENT PLASTER  
SMOOTH CEMENT PLASTER,  
COLOR TO MATCH PAINTED CONCRETE

(W1) STAINED WOOD BENCH  
4 X 4 WESTERN RED CEDAR BOARDS WITH CLEAR MATTE FINISH

## FINISH LEGEND



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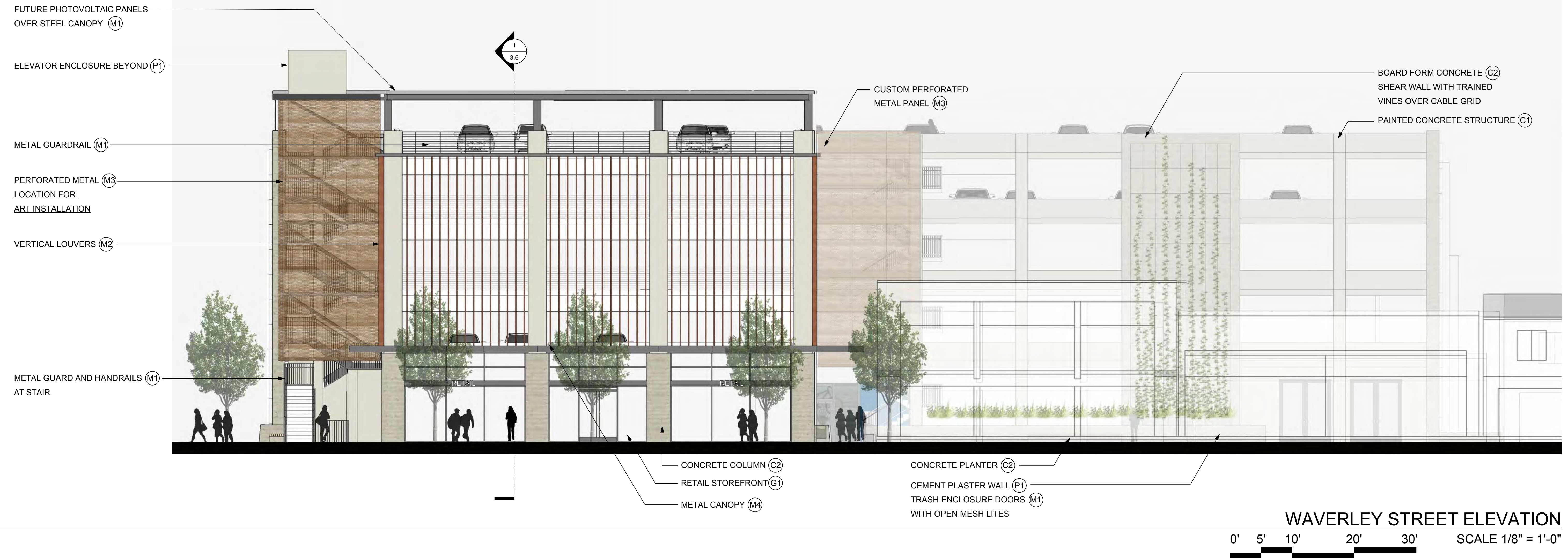
PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 3.1 - HAMILTON ELEVATION**

CLIENT NAME:  
**CITY OF PALO ALTO**

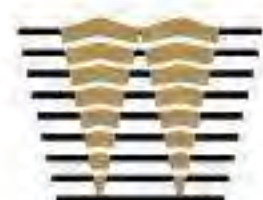
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(C1) <u>PAINTED CONCRETE STRUCTURE</u> CAST-IN-PLACE CONCRETE WITH TEX-COTE FINISH, 'SAND' TEXTURE, 'WHISPER GREY T-127' COLOR	(M1) <u>PAINTED STEEL POSTS AND TRIM, GUARDRAIL AND PICKETS,</u> GALVANIZED STEEL SHAPE, PAINT 'DARK BRONZE'	(M4) <u>ALUMINUM COMPOSITE CANOPY</u> COMPOSITE METAL PANELS, DARK BRONZE COLOR.
(C2) <u>BOARD FORM CONCRETE CONCRETE</u> NATURAL COLOR	(M2) <u>ALUMINUM SUNSHADE</u> 'LEVOLUX INFINITY' EXTRUDED ALUMINUM VERTICAL LOUVRE RECTANGLE PROFILE BLADE, 16" X 2" POLYESTER POWDER-COATED, 'TERRACOTTA' COLOR	(P1) <u>CEMENT PLASTER</u> SMOOTH CEMENT PLASTER, COLOR TO MATCH PAINTED CONCRETE
(G1) <u>RETAIL STOREFRONT SYSTEM</u> CLEAR TEMPERED GLAZING WITHIN DARK ANODIZED ALUMINUM STOREFRONT FRAME	(M3) <u>PERFORATED METAL PANEL</u> CUSTOM PERFORATED ALUMINUM PANEL, COLOR 'BURNISHED BRONZE', 40% OPEN	(W1) <u>STAINED WOOD BENCH</u> 4 X 4 WESTERN RED CEDAR BOARDS WITH CLEAR MATTE FINISH

## FINISH LEGEND



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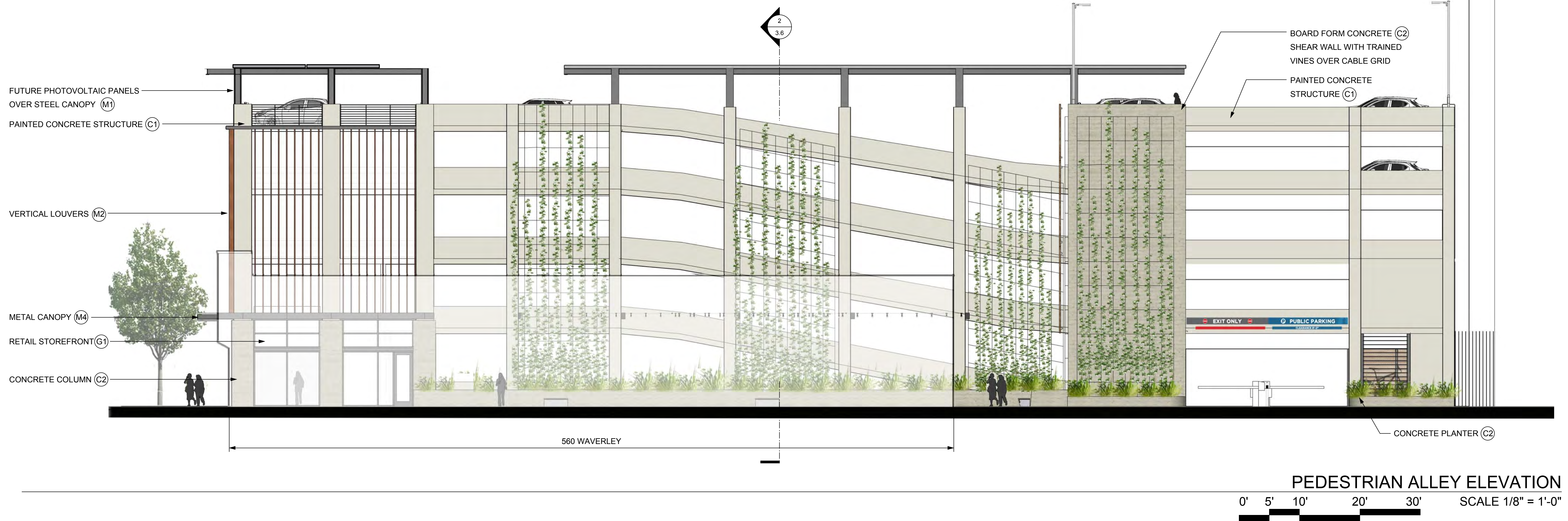
PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 3.2 - WAVERLEY ELEVATION**

CLIENT NAME:  
**CITY OF PALO ALTO**

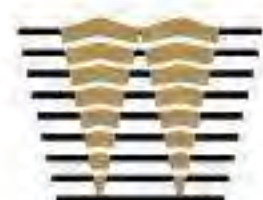
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**07/12/2018**





(C1) <u>PAINTED CONCRETE STRUCTURE</u> CAST-IN-PLACE CONCRETE WITH TEX-COTE FINISH, 'SAND' TEXTURE, 'WHISPER GREY T-127' COLOR	(M1) <u>PAINTED STEEL POSTS AND TRIM, GUARDRAIL AND PICKETS,</u> GALVANIZED STEEL SHAPE, PAINT 'DARK BRONZE'	(M4) <u>ALUMINUM COMPOSITE CANOPY</u> COMPOSITE METAL PANELS, DARK BRONZE COLOR.
(C2) <u>BOARD FORM CONCRETE CONCRETE</u> NATURAL COLOR	(M2) <u>ALUMINUM SUNSHADE</u> 'LEVOLUX INFINITY' EXTRUDED ALUMINUM VERTICAL LOUVRE RECTANGLE PROFILE BLADE, 16" X 2" POLYESTER POWDER-COATED, 'TERRACOTTA' COLOR	(P1) <u>CEMENT PLASTER</u> SMOOTH CEMENT PLASTER, COLOR TO MATCH PAINTED CONCRETE
(G1) <u>RETAIL STOREFRONT SYSTEM</u> CLEAR TEMPERED GLAZING WITHIN DARK ANODIZED ALUMINUM STOREFRONT FRAME	(M3) <u>PERFORATED METAL PANEL</u> CUSTOM PERFORATED ALUMINUM PANEL, COLOR 'BURNISHED BRONZE', 40% OPEN	(W1) <u>STAINED WOOD BENCH</u> 4 X 4 WESTERN RED CEDAR BOARDS WITH CLEAR MATTE FINISH

FINISH LEGEND



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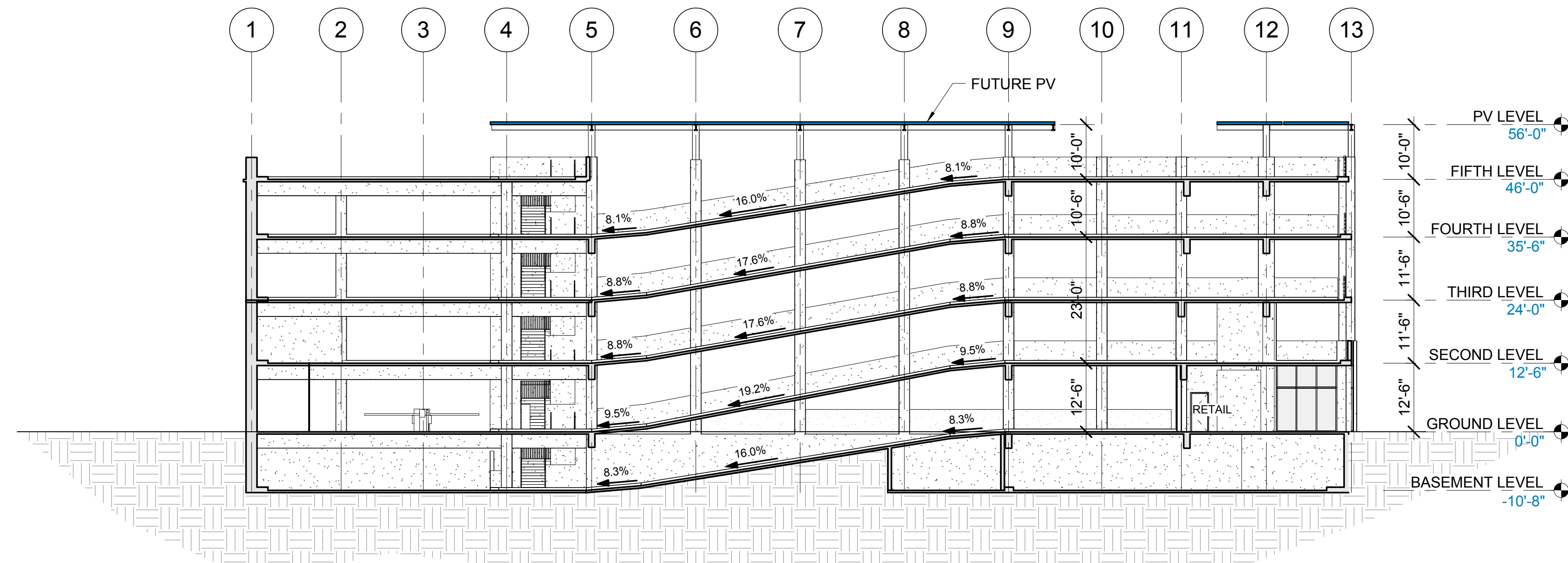
PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 3.3 - ALLEY ELEVATION**

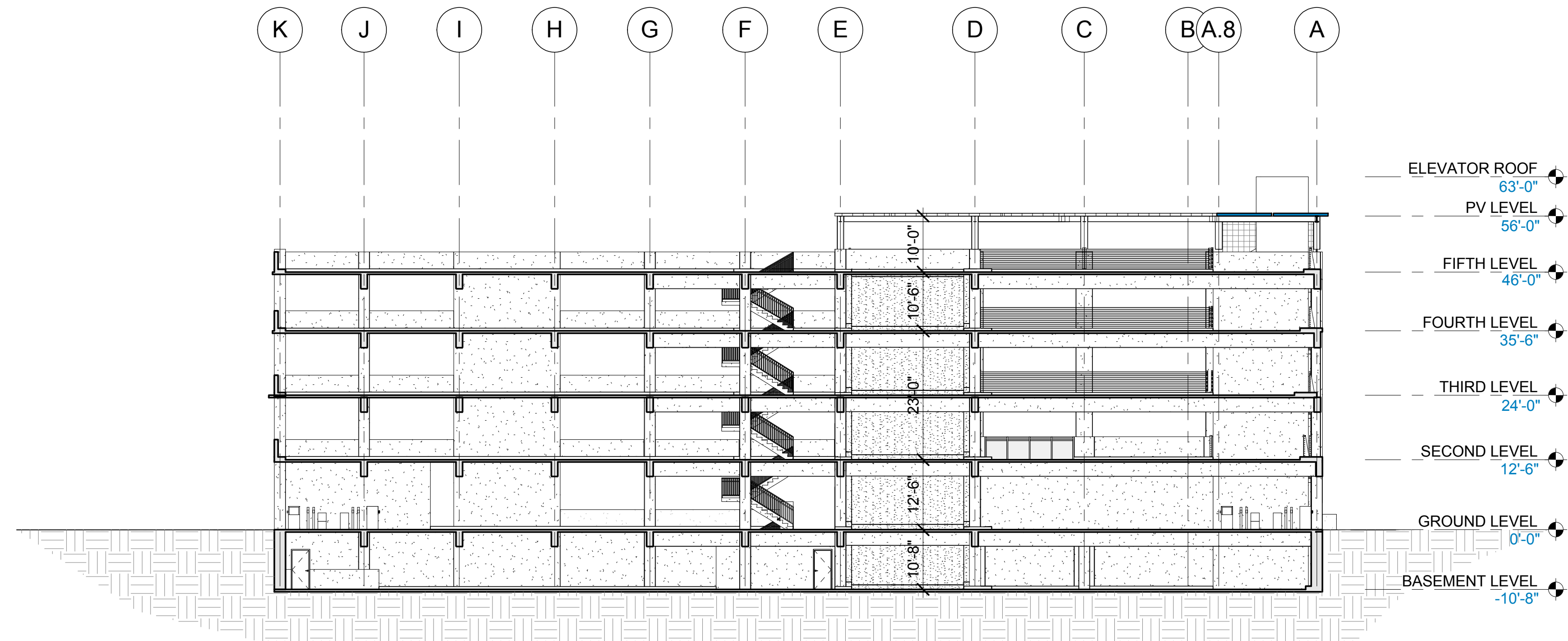
CLIENT NAME:  
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DATE ISSUED:  
**07/12/2018**

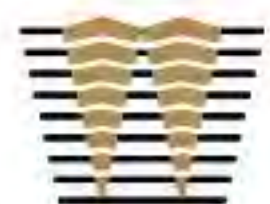




**1 BUILDING SECTION**  
 ARB 3.3 1/16" = 1'-0"



**2 BUILDING SECTION**  
 ARB 3.3 1/16" = 1'-0"



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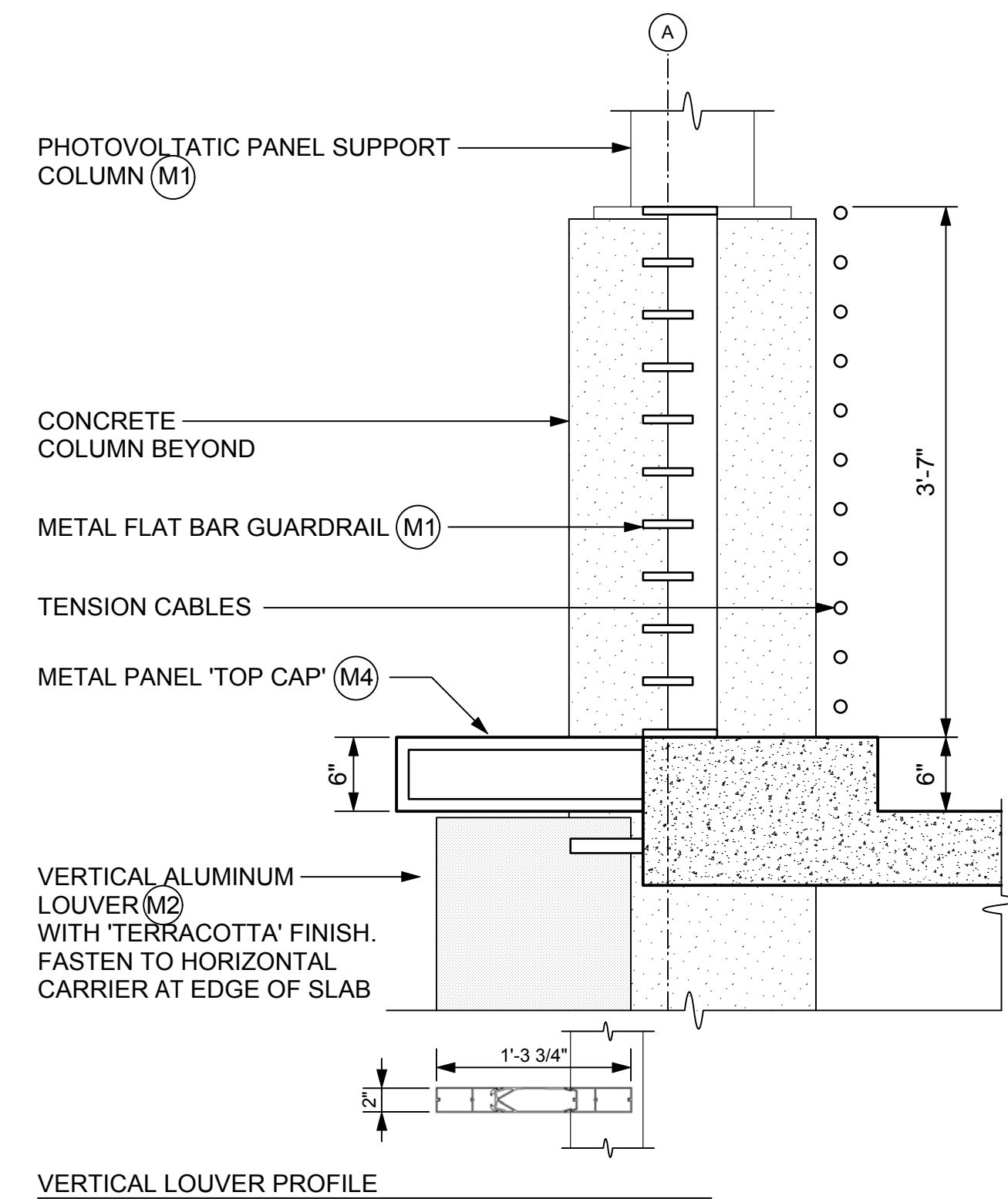
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**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 3.4 BUILDING SECTIONS**

CLIENT NAME:  
**CITY OF PALO ALTO**

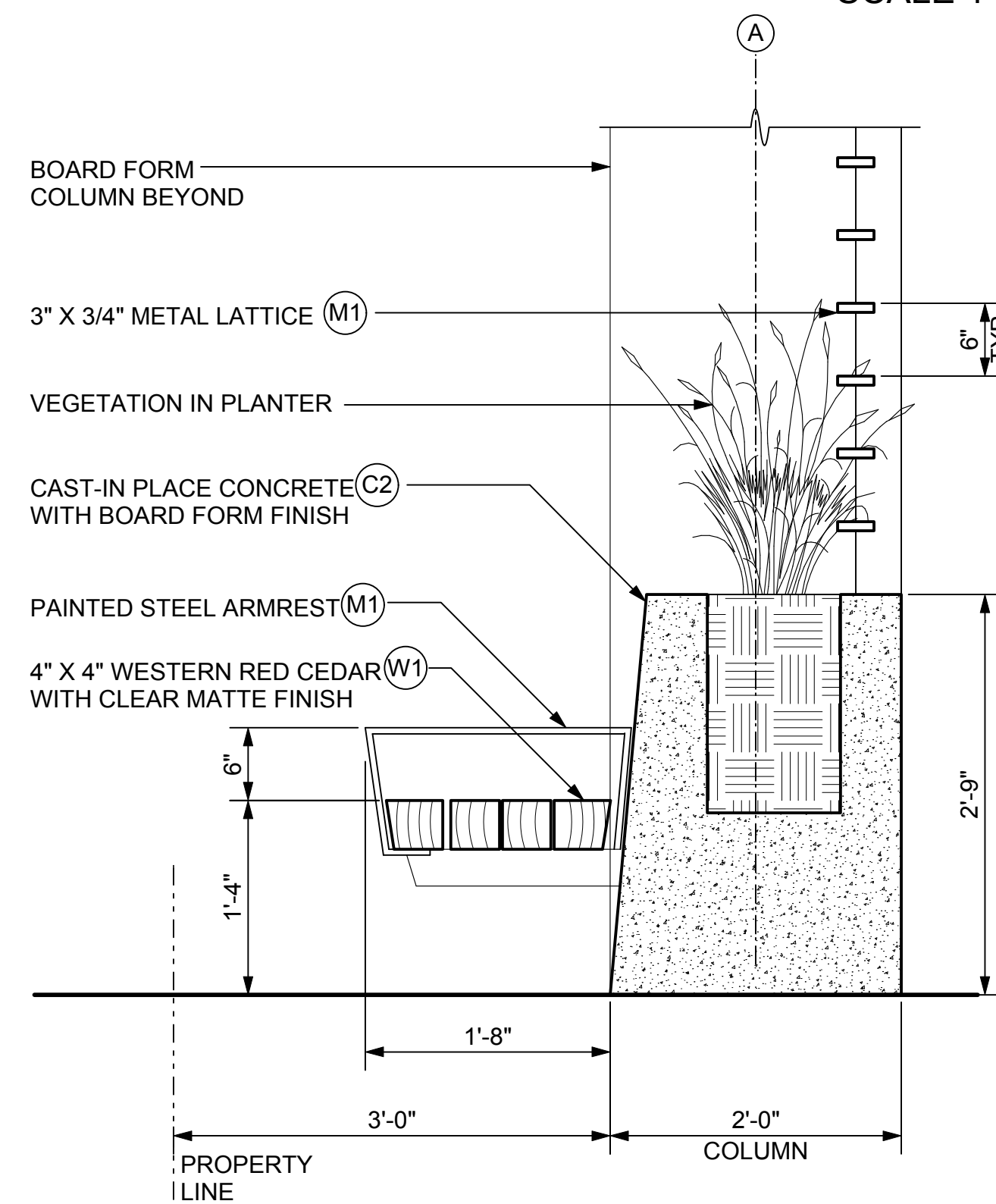
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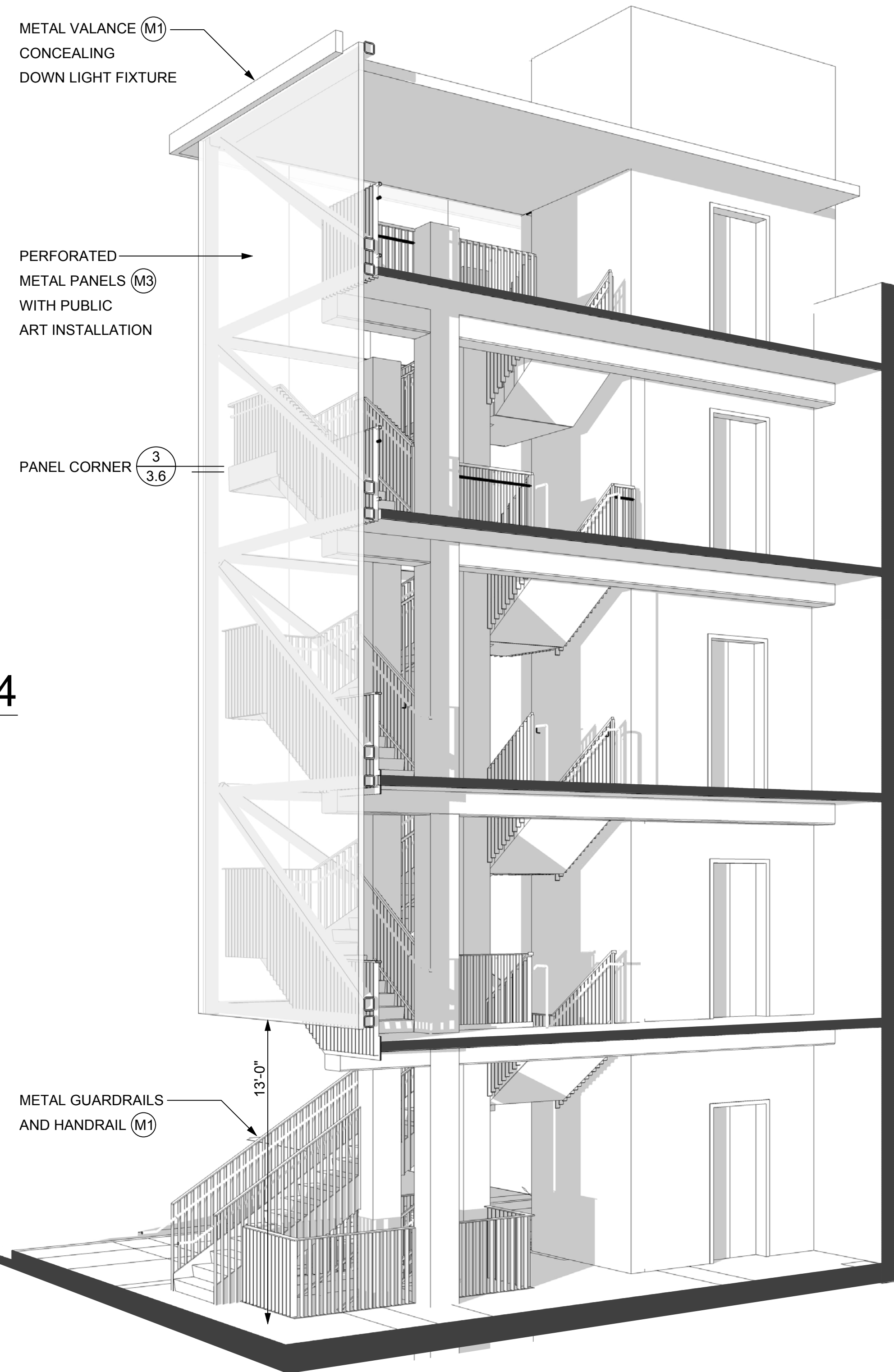
### VERTICAL LOUVER AT TOP GARAGE 4

SCALE 1" = 1'-0"

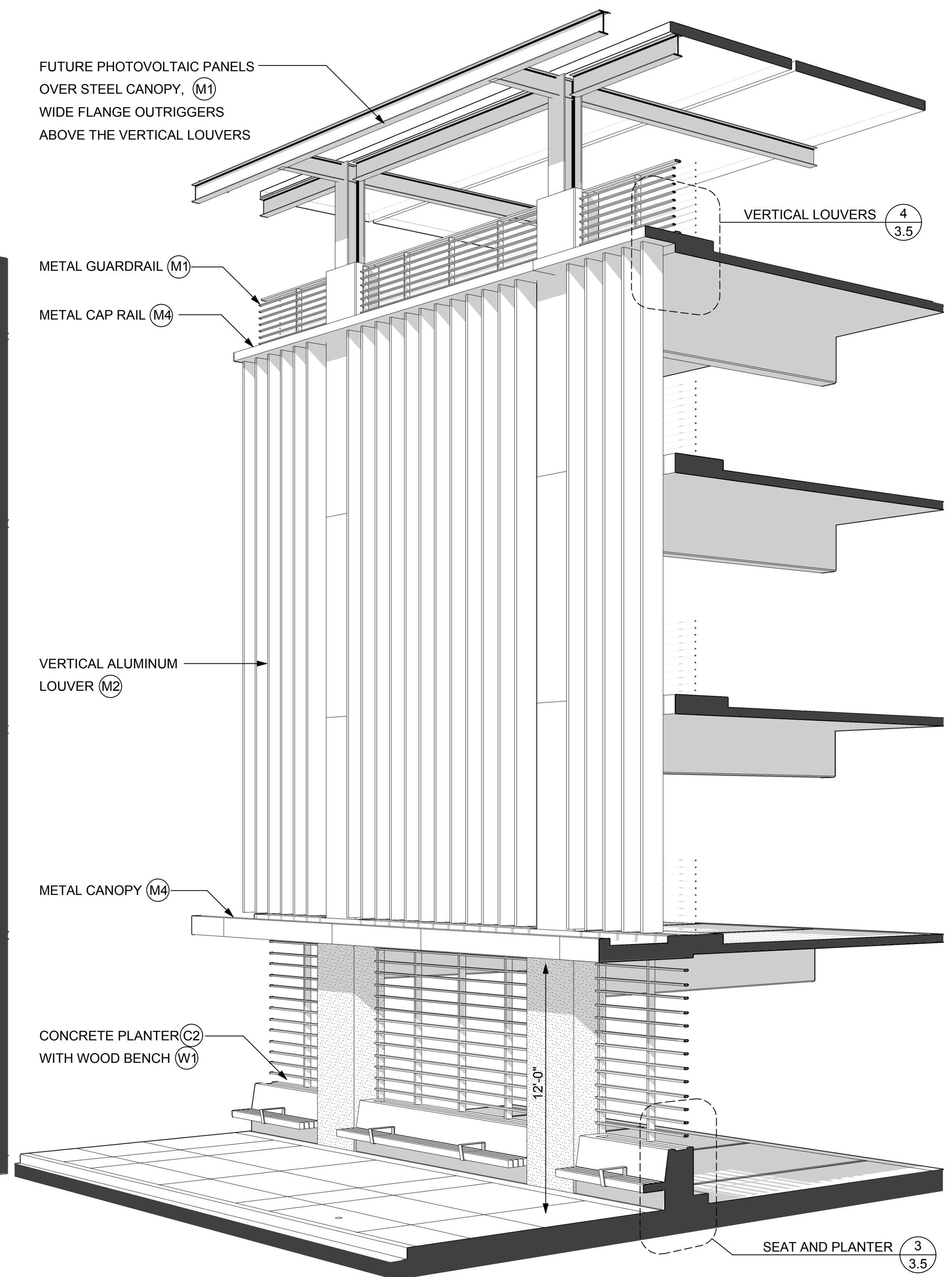


### SEAT AND PLANTER AT HAMILTON AVE. 3

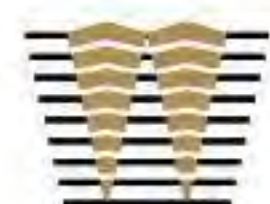
SCALE 1" = 1'-0"



### SECTION THROUGH CORNER STAIR 2



### SECTION THROUGH HAMILTON AVENUE FACADE 1



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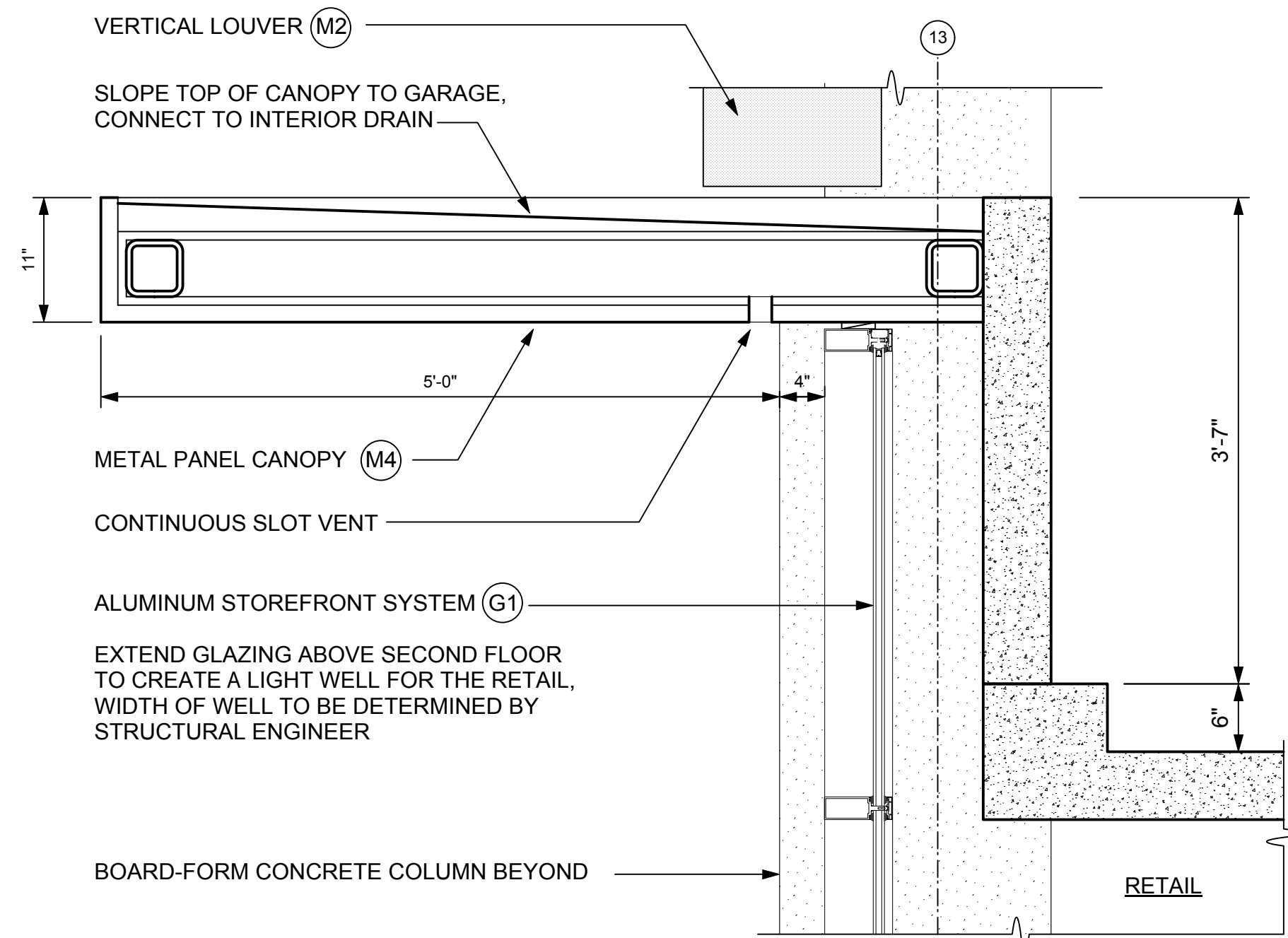
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**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 3.5 - WALL SECTION**

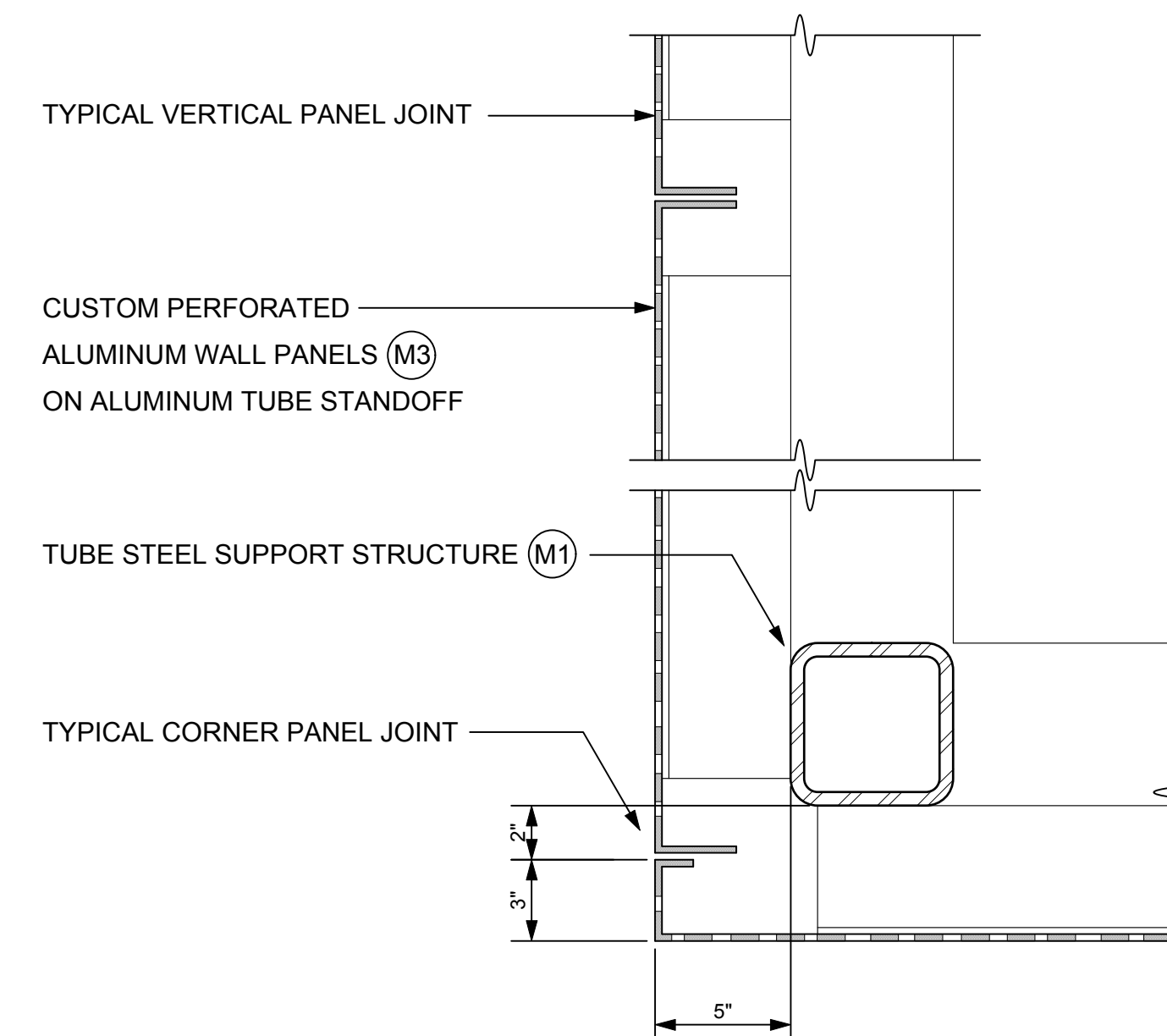
CLIENT NAME:  
**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/2018**

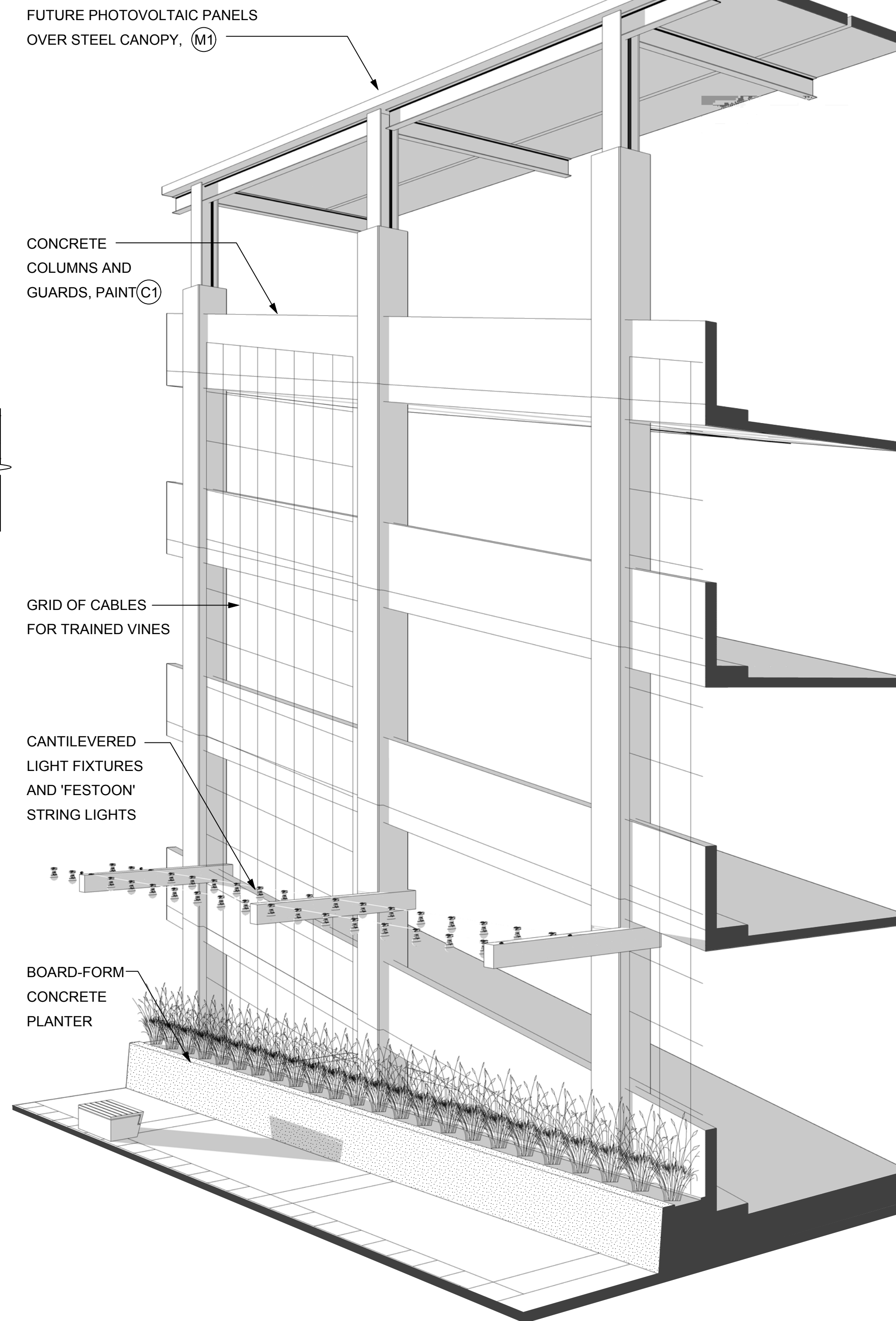




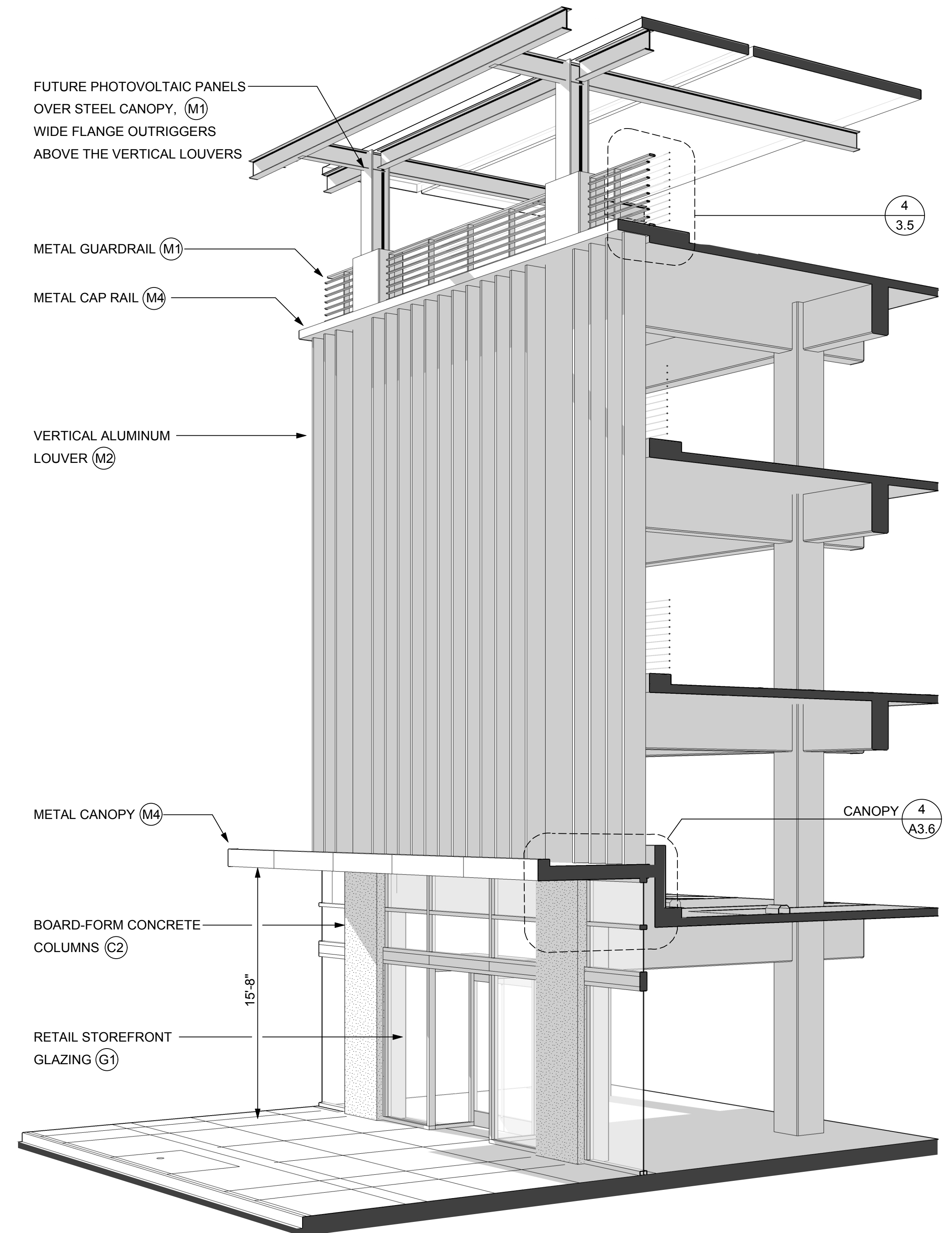
CANOPY ABOVE RETAIL STOREFRONT 4  
SCALE 1" = 1'-0"



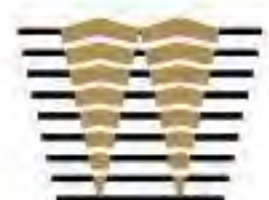
PLAN DETAIL AT PERFORATED PANEL CORNER 3  
SCALE 2" = 1'-0"



SECTION THROUGH ALLEY 2



SECTION THROUGH STOREFRONT AT WAVERLEY 1



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PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 3.6- WALL SECTION**

CLIENT NAME:  
**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/2018**





VIEW APPROACHING GARAGE ALONG HAMILTON 4



VIEW AT CORNER OF HAMILTON AND WAVERLEY 2



VIEW APPROACHING GARAGE ALONG WAVERLEY 2



VIEW OF WAVERLEY FACADE AND PEDESTRIAN ALLEY 1





VIEW FROM CORNER OF HAMILTON AND GILMAN 4



VIEW OF BIKE STORAGE AREA WITHIN GARAGE 2



VIEW OF VEHICLE, BIKE AND PEDESTRIAN ENTRY 3

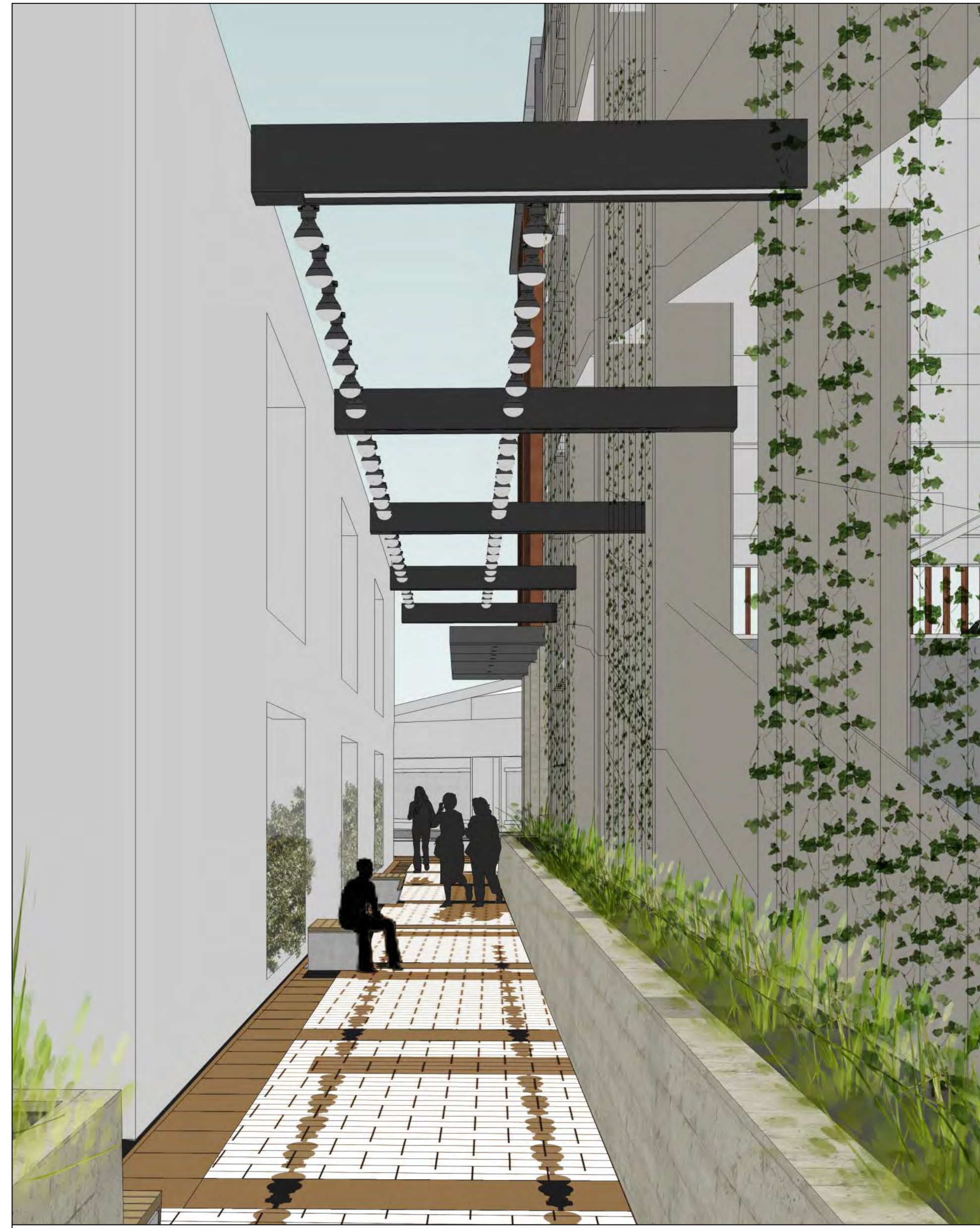


EYE HEIGHT VIEW AT CORNER PLAZA 1

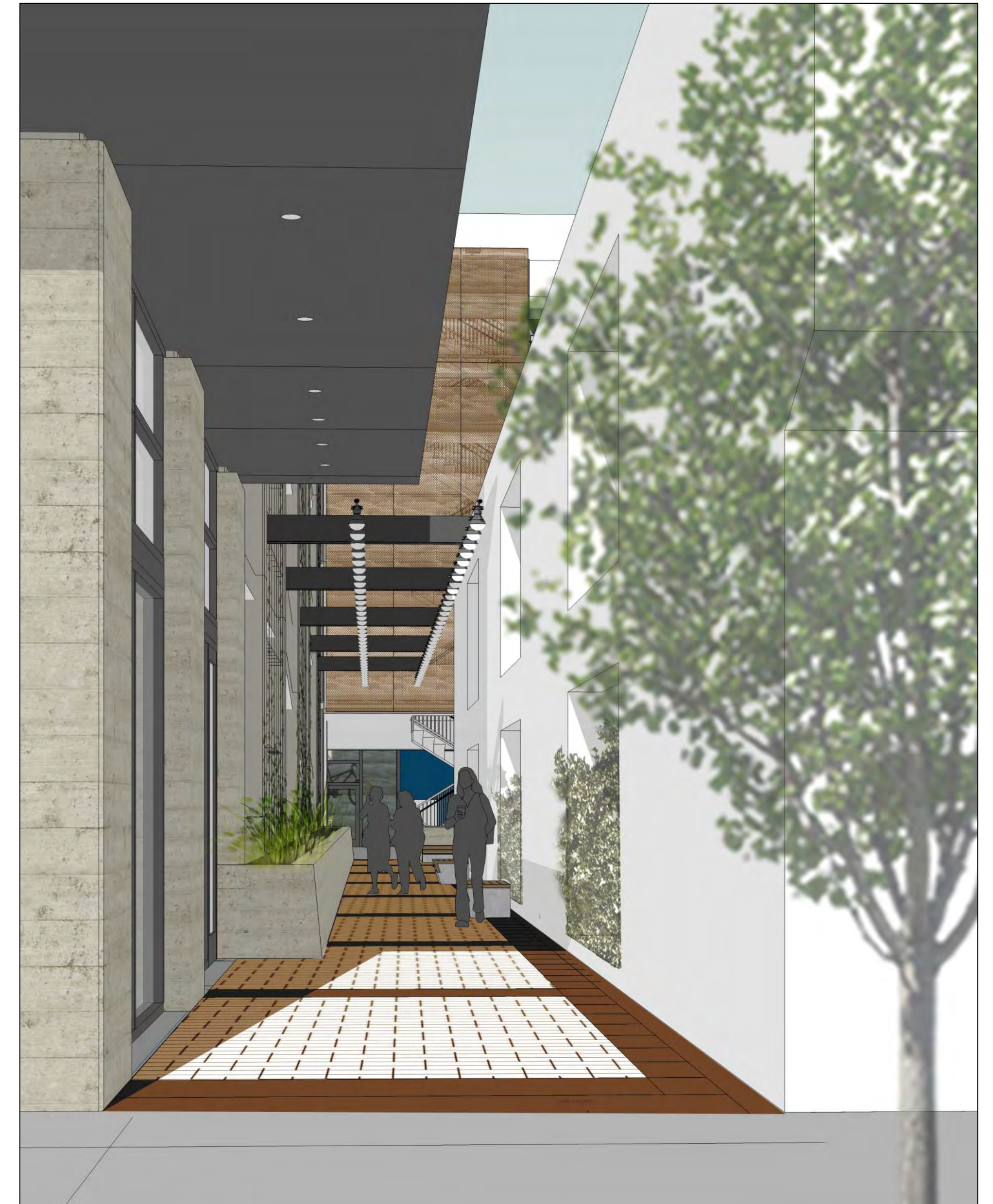




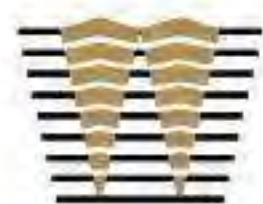
VIEW OF GARAGE AND SERVICE ALLEY FROM LANE 21 3



VIEW OF WAVERLEY ST. FROM PEDESTRIAN ALLEY 2



VIEW OF PEDESTRIAN ALLEY FROM WAVERLEY ST. 1



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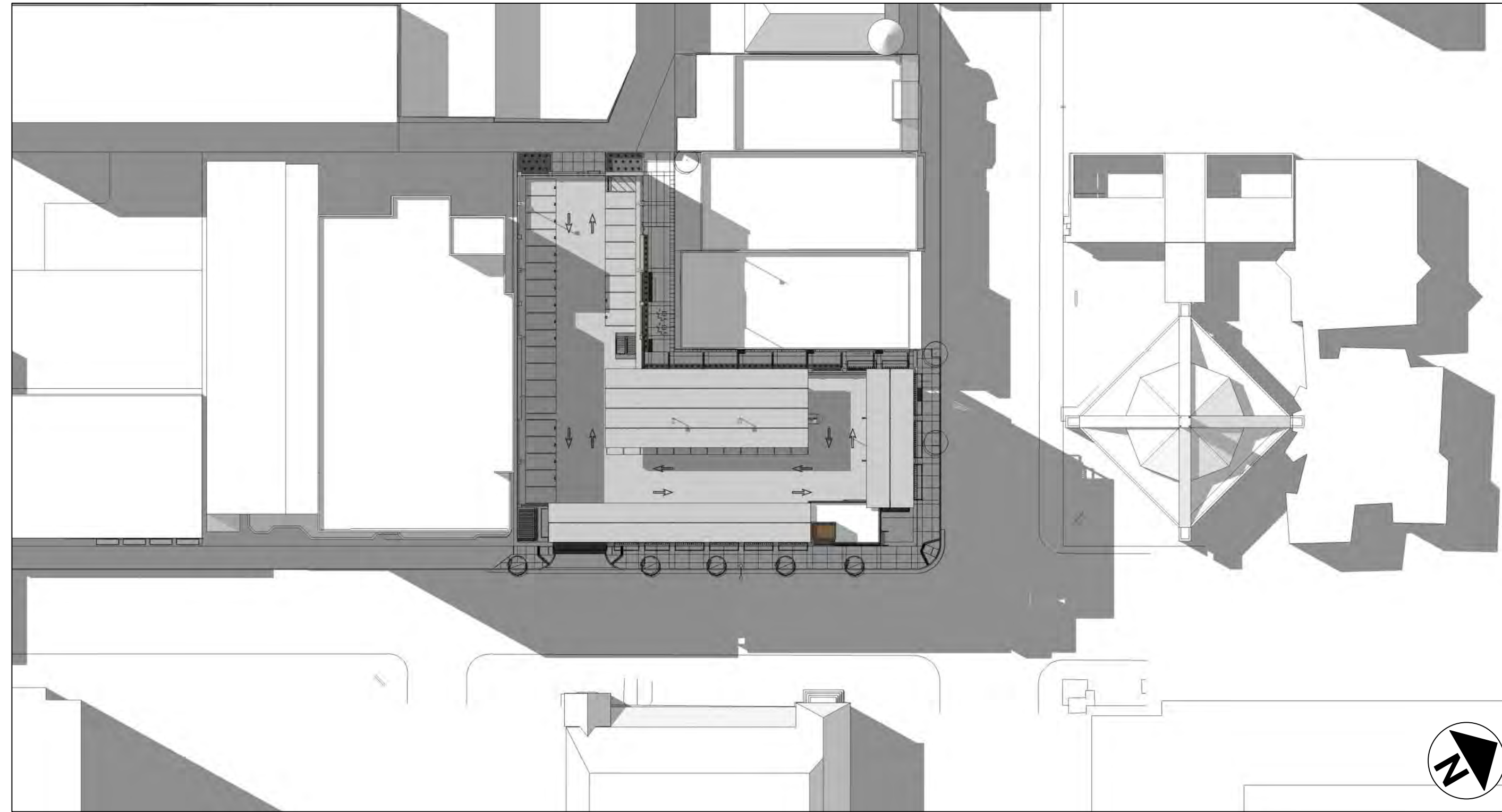
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**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 3.8 - DESIGN RENDERINGS**

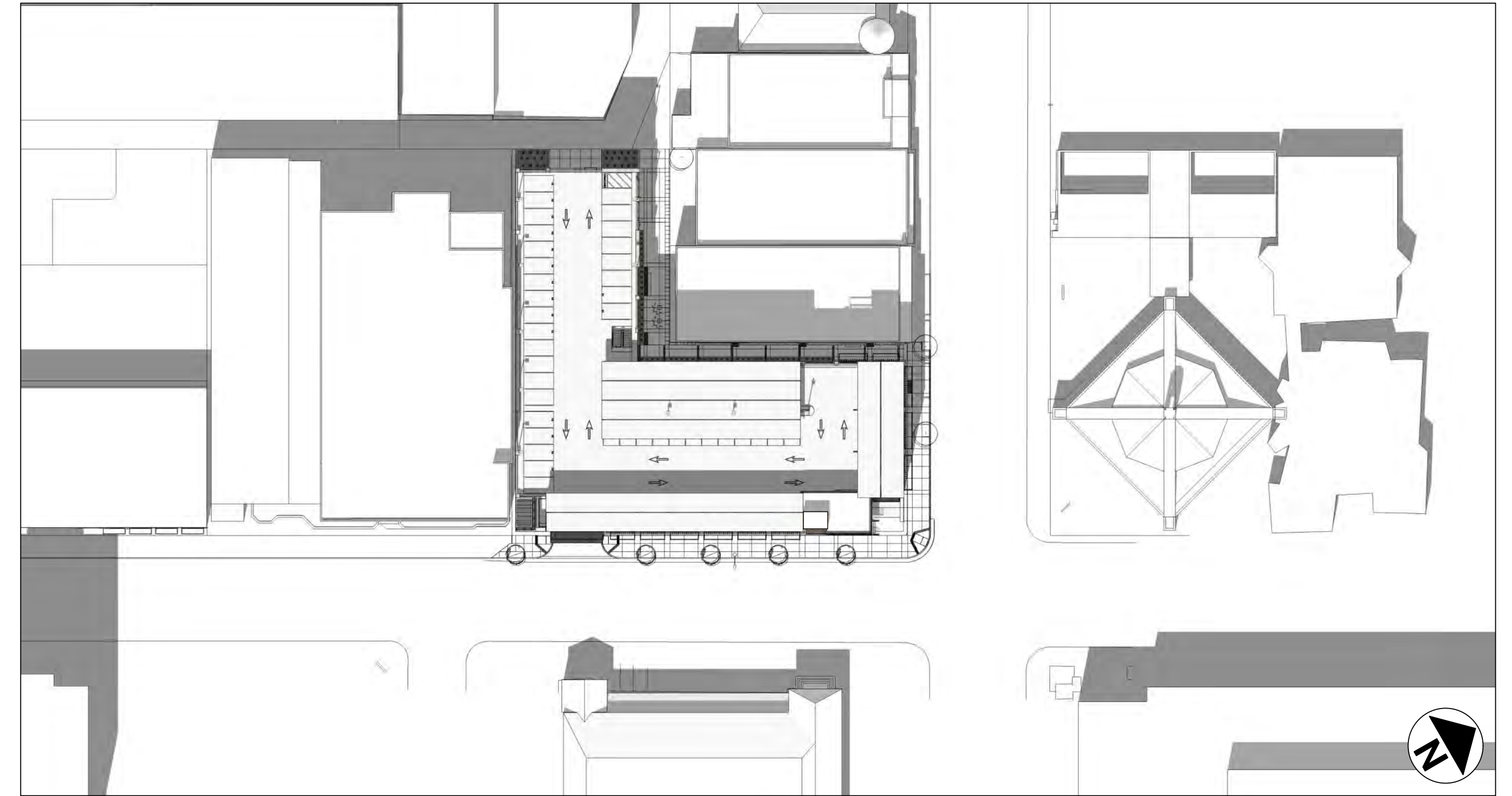
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**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/2018**

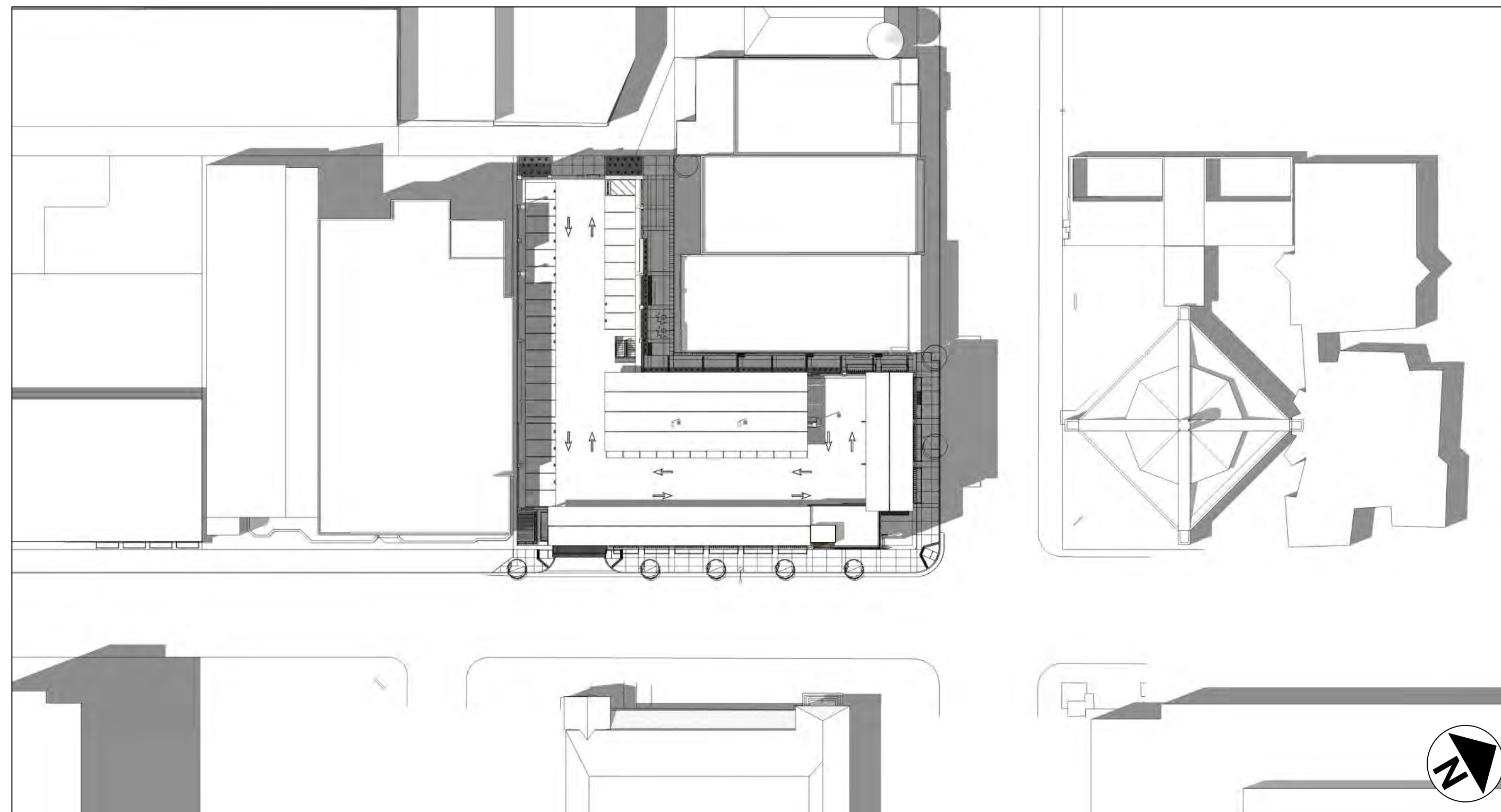




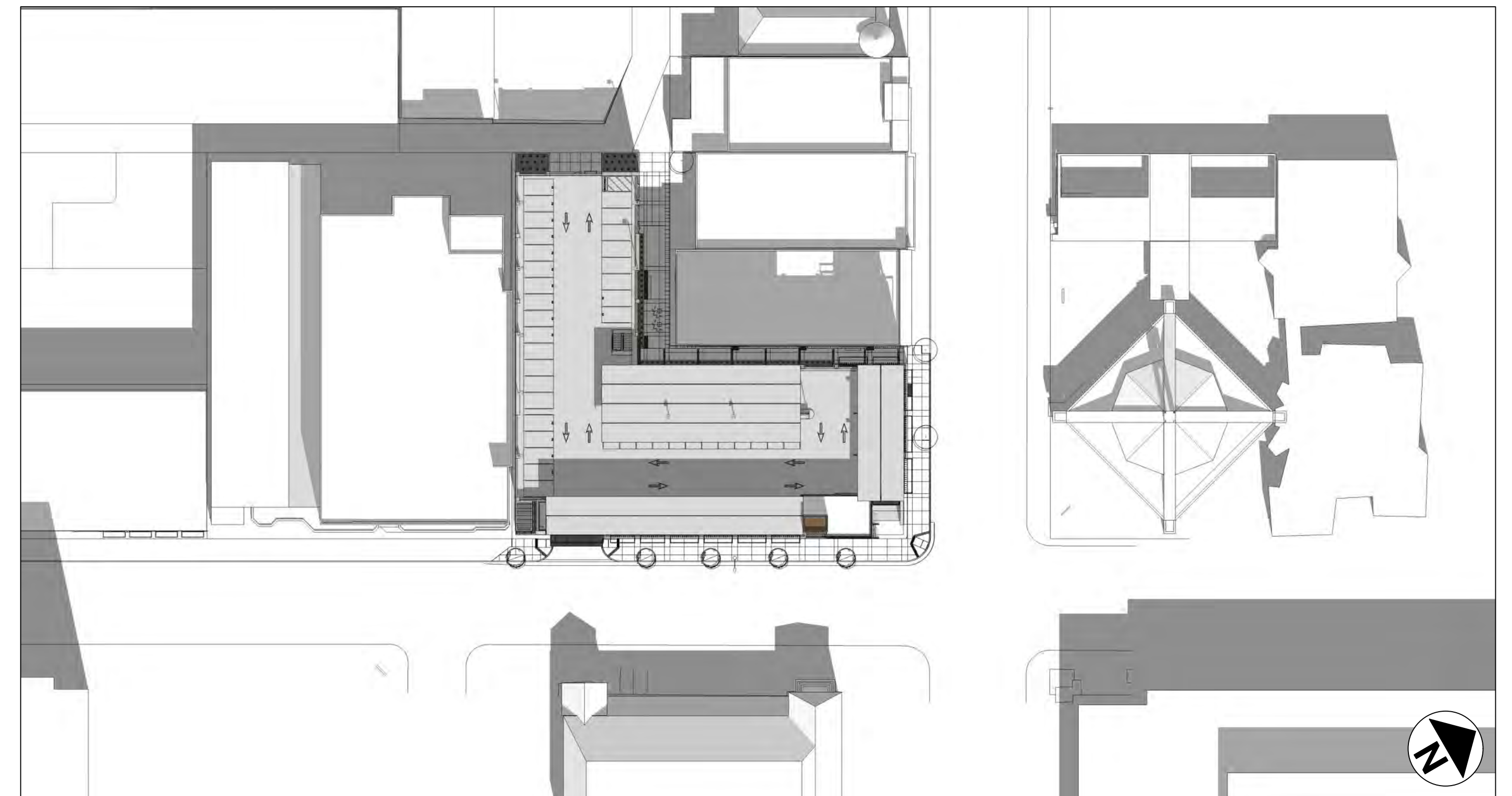
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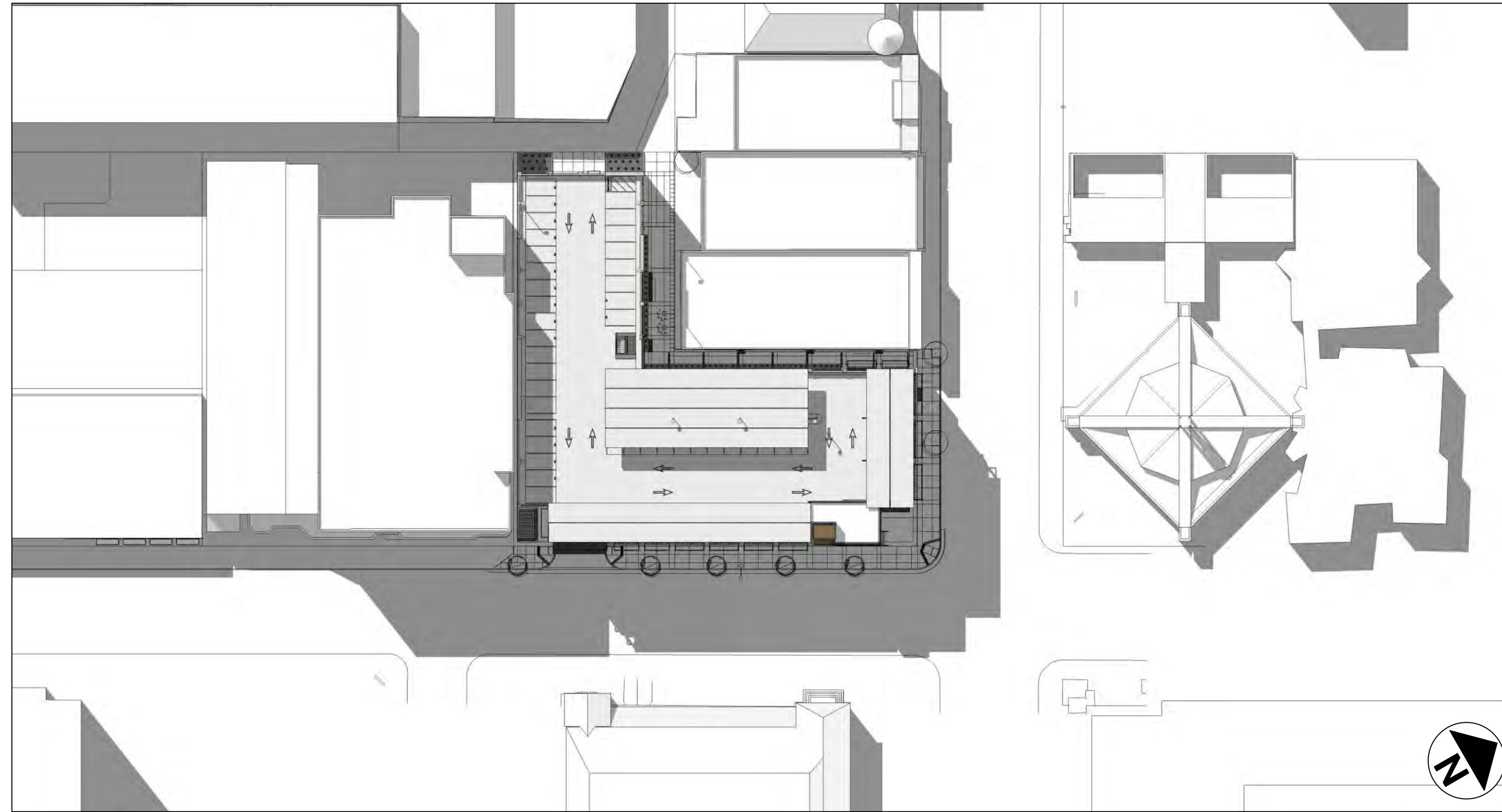
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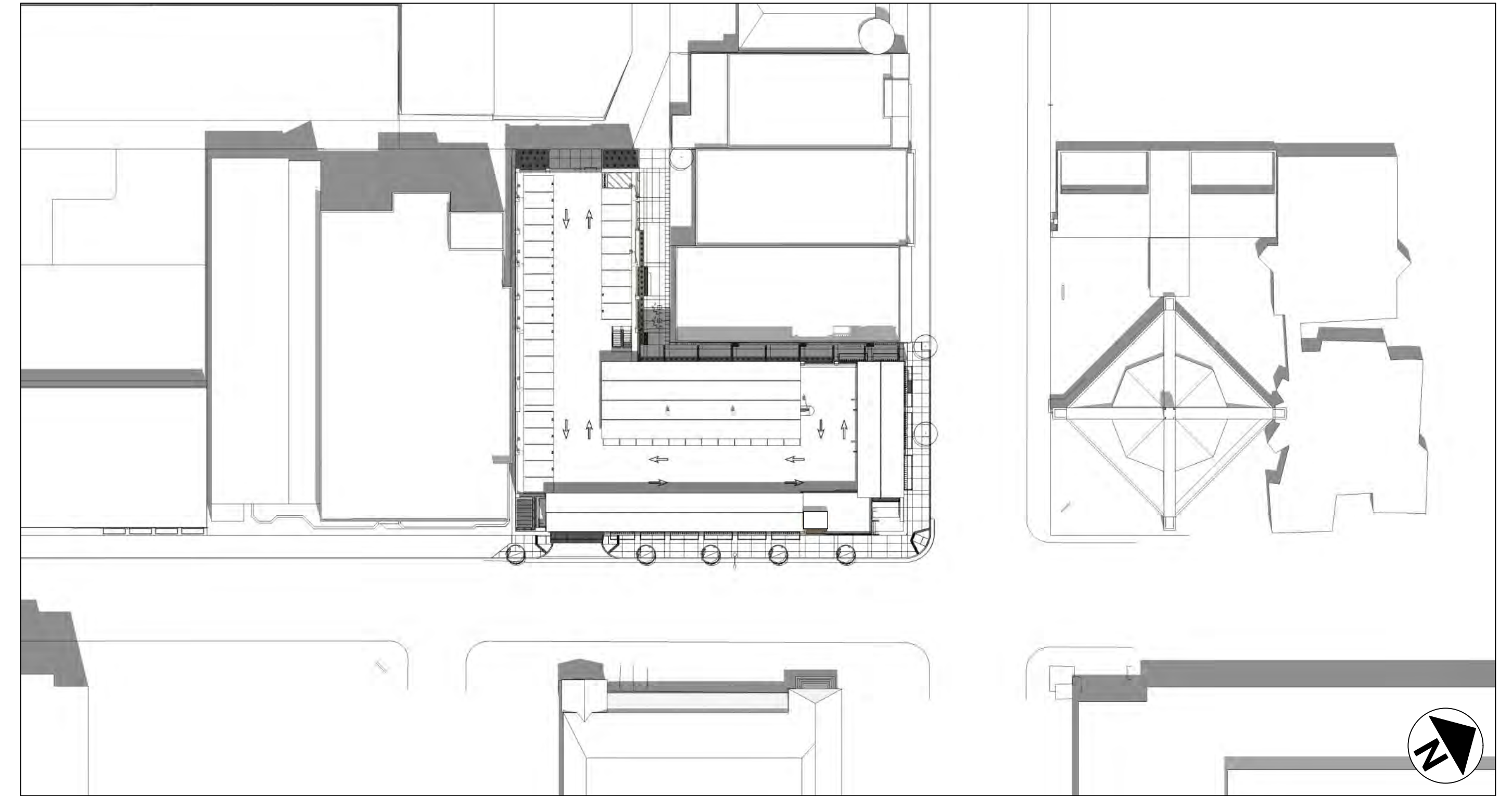
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**MARCH 21ST**  
**GARAGE SHOWN WITH PHOTOVOLTAIC PANELS**

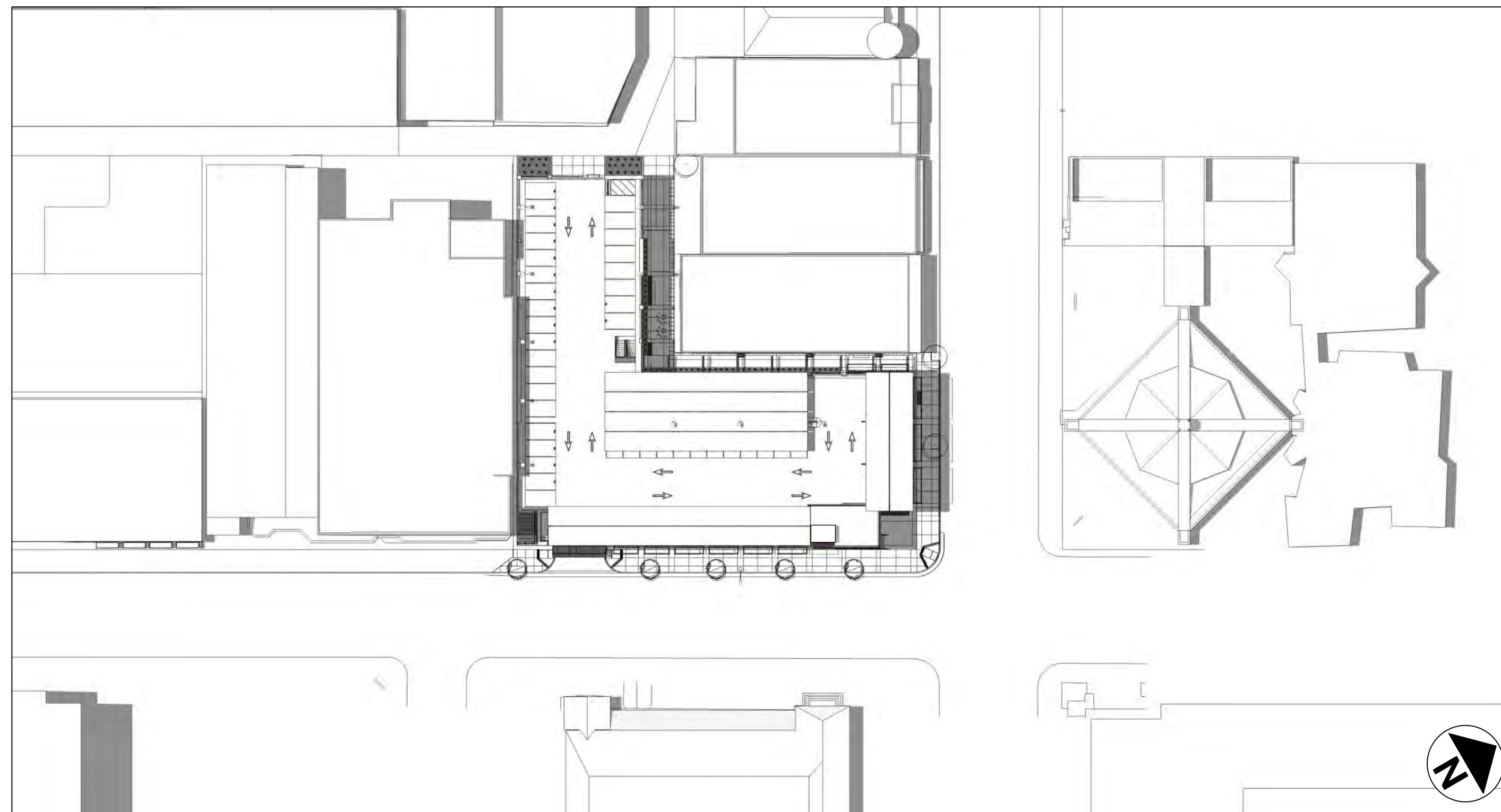




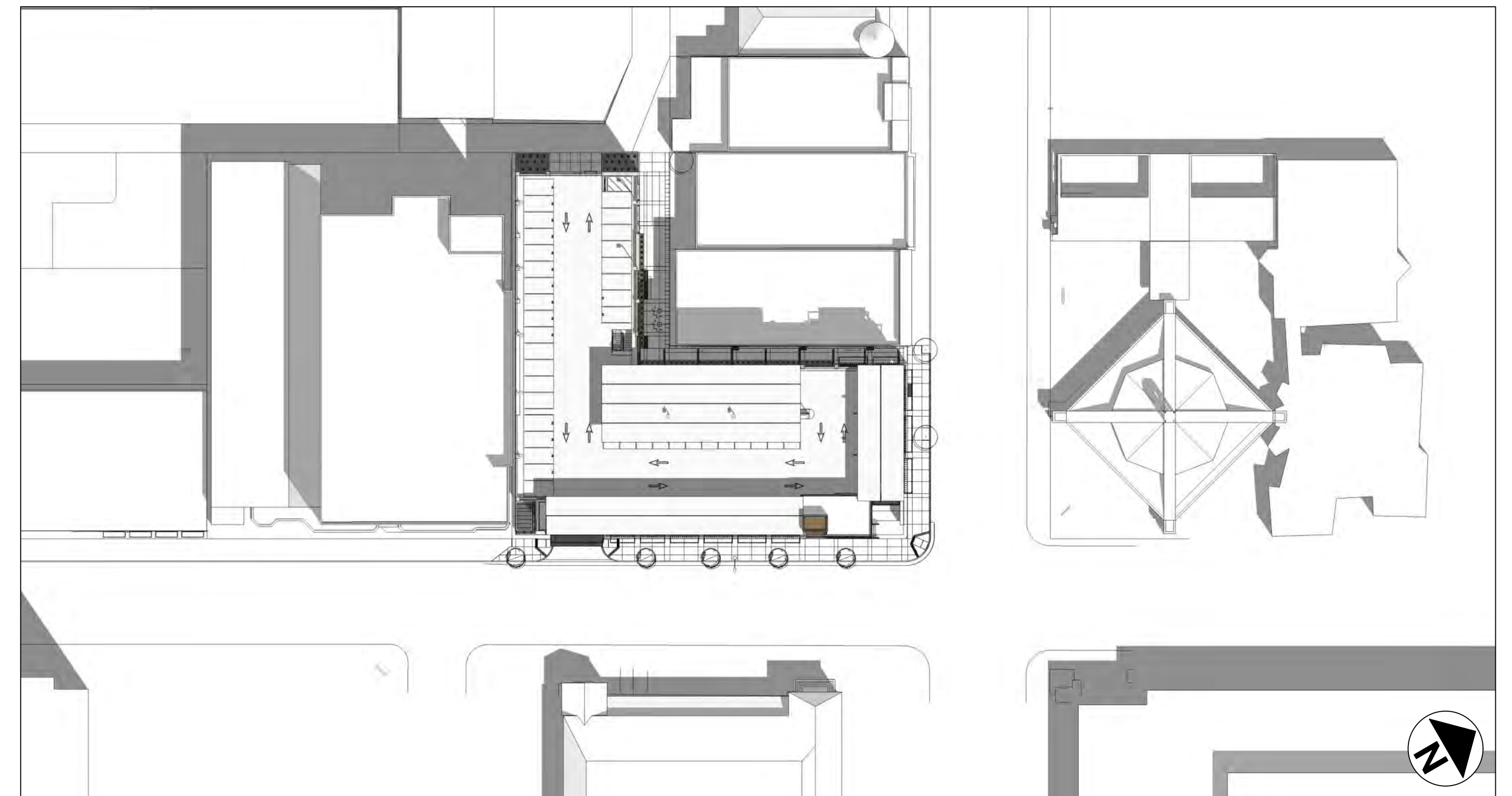
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9:00 AM

JUNE 21ST

GARAGE SHOWN WITH PHOTOVOLTAIC PANELS



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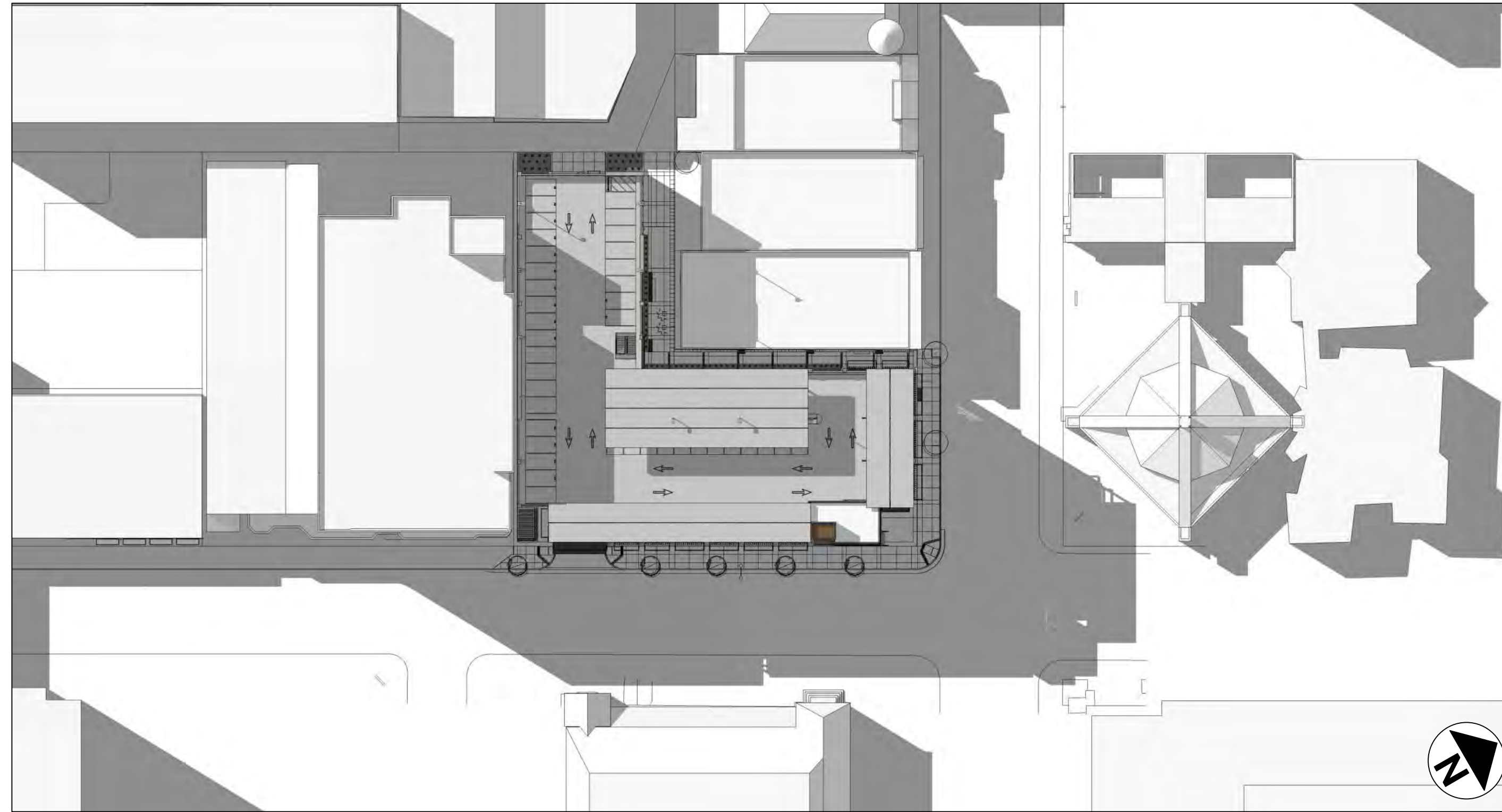
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SHEET NAME:  
**ARB 3.11 - SOLAR STUDY 06.21**

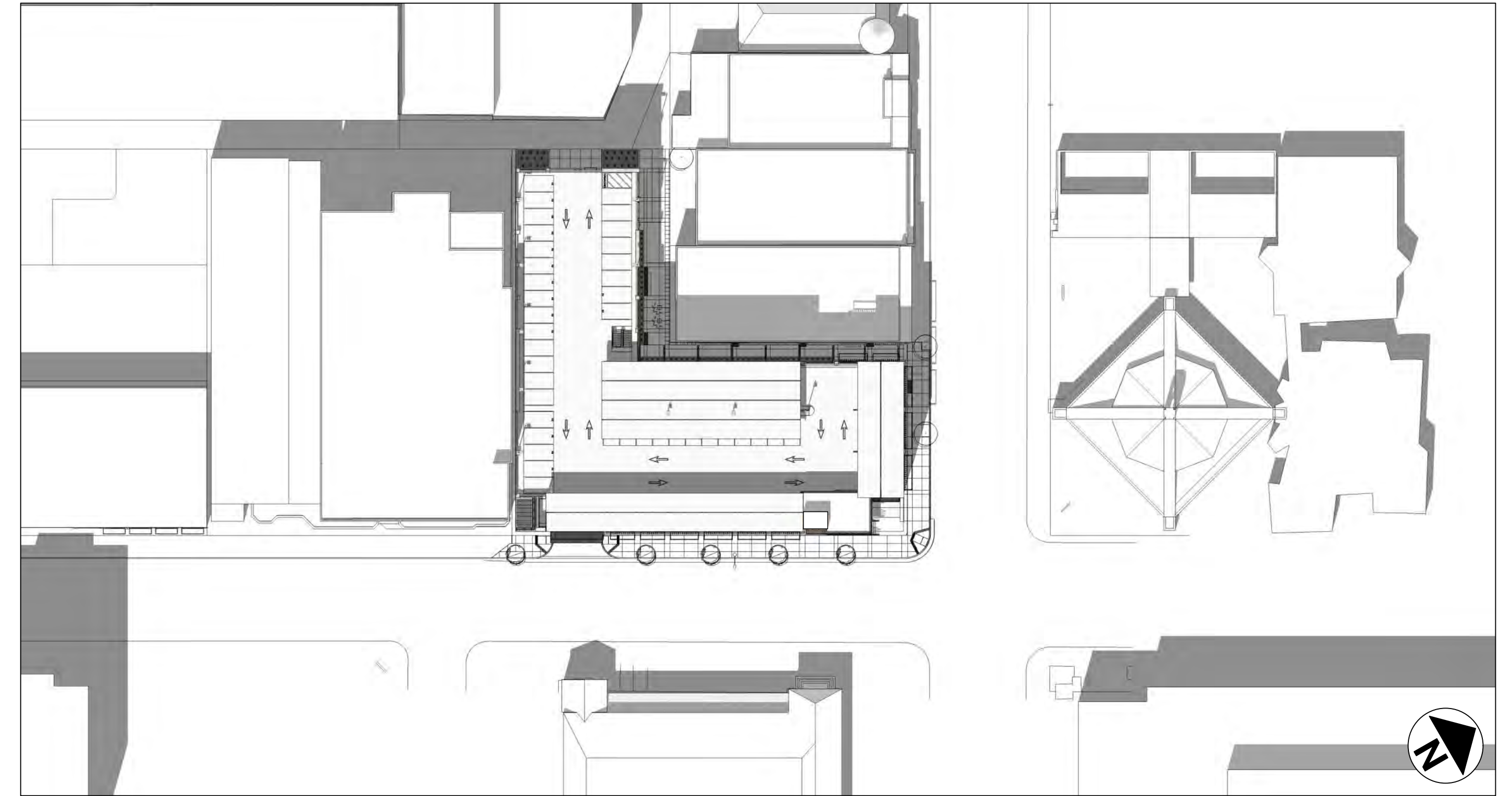
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**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/2018**

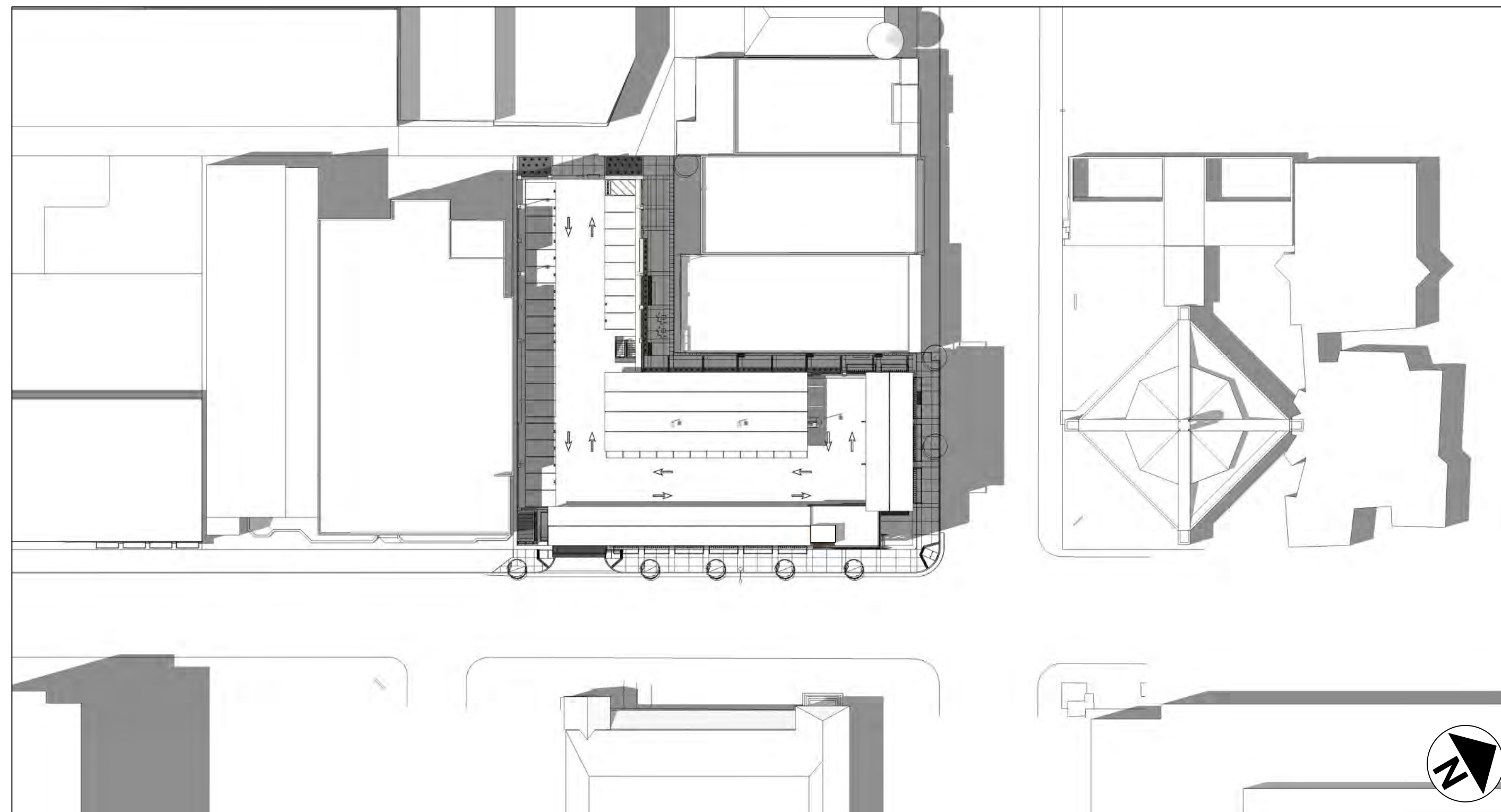




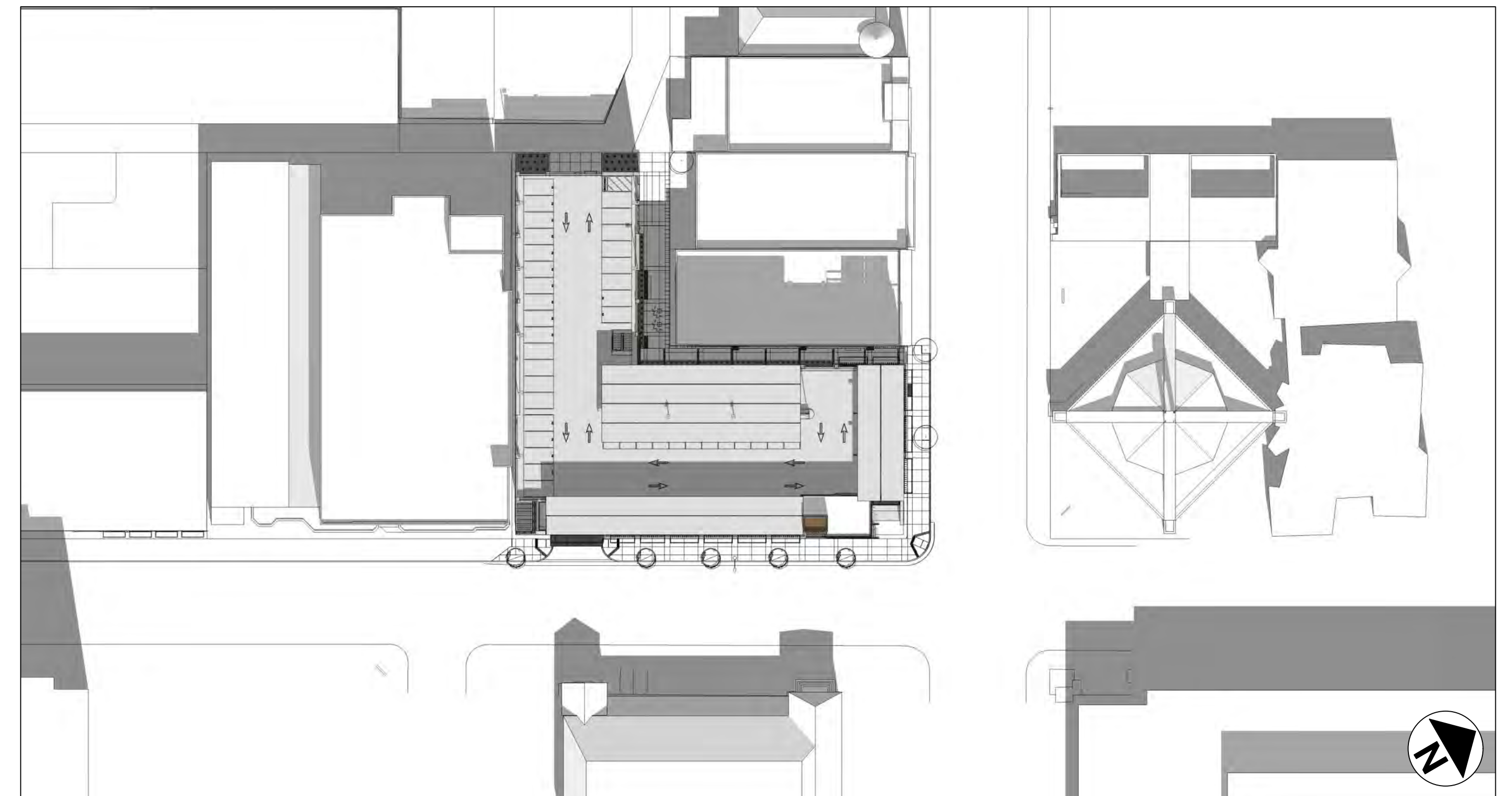
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**SEPTEMBER 21ST**  
**GARAGE SHOWN WITH PHOTOVOLTAIC PANELS**



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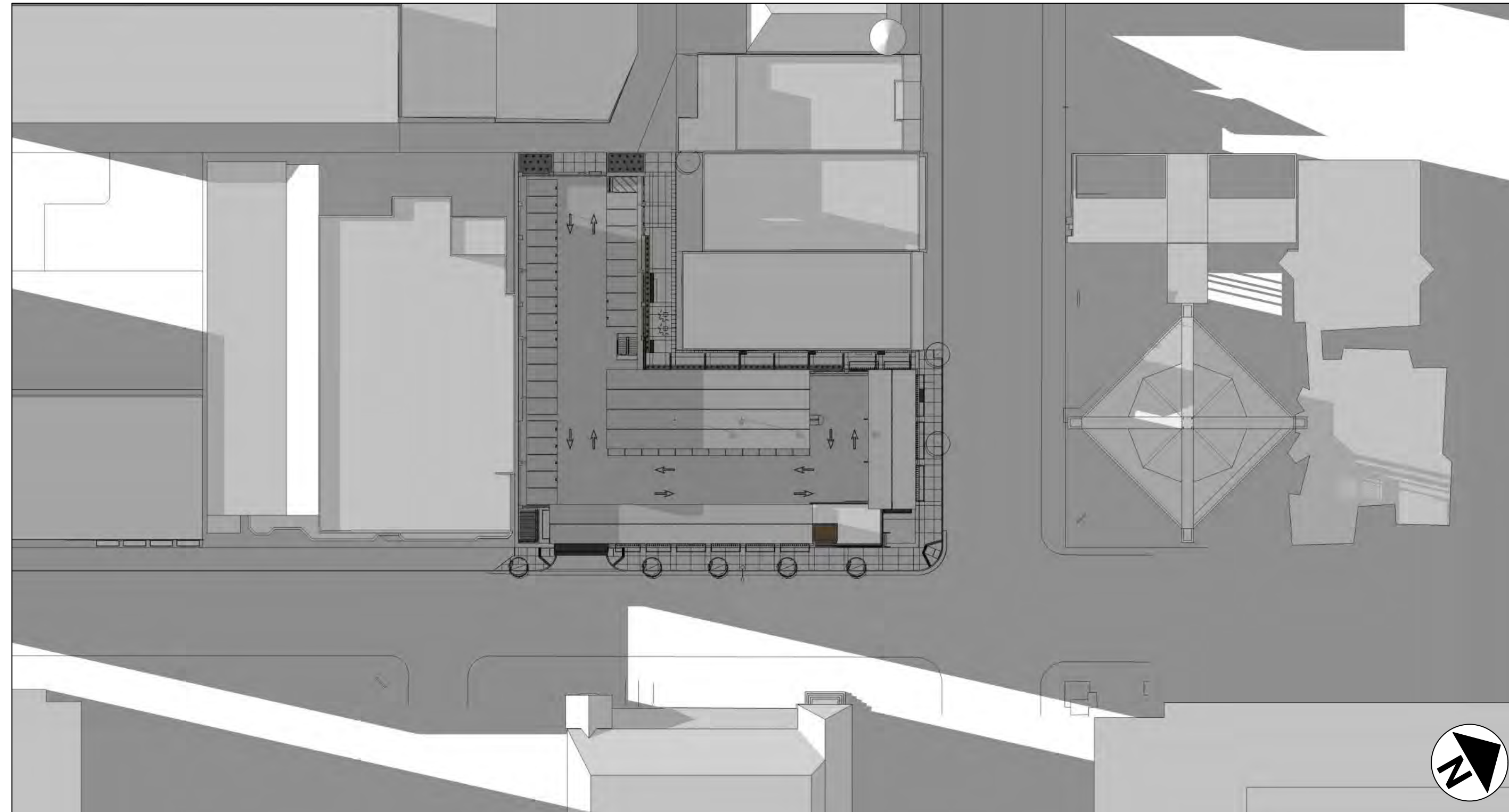
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**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
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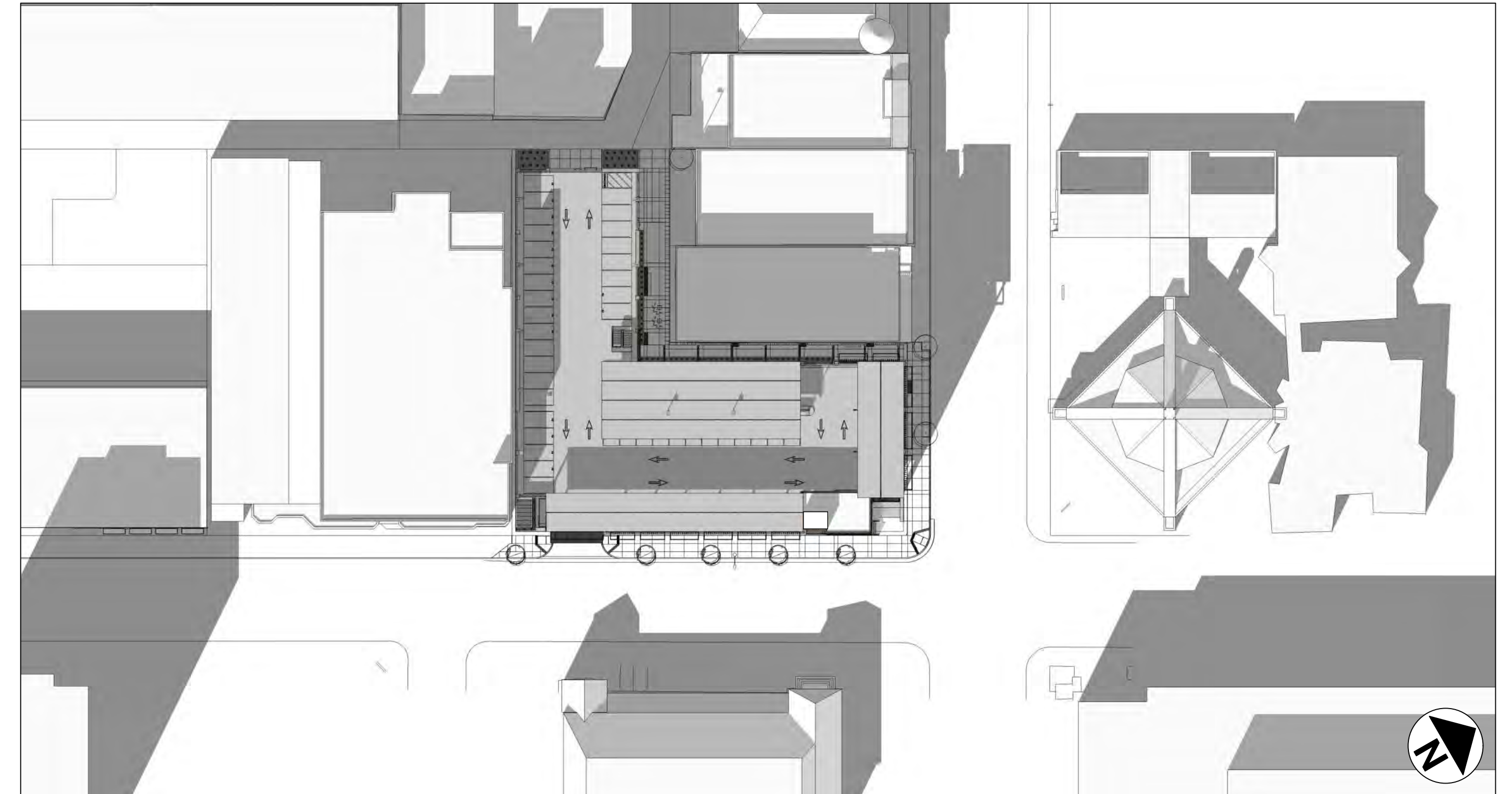
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**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/2018**

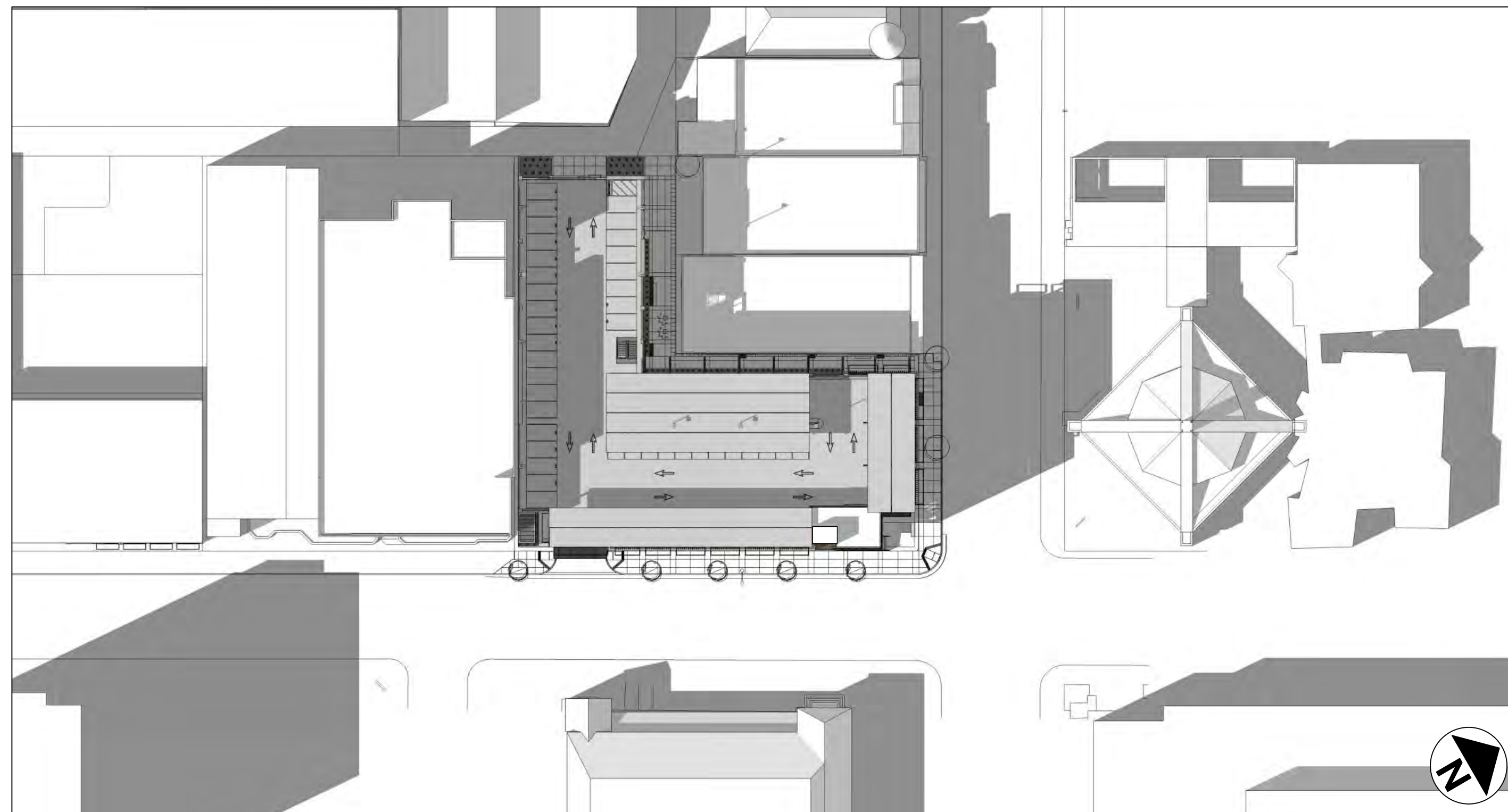




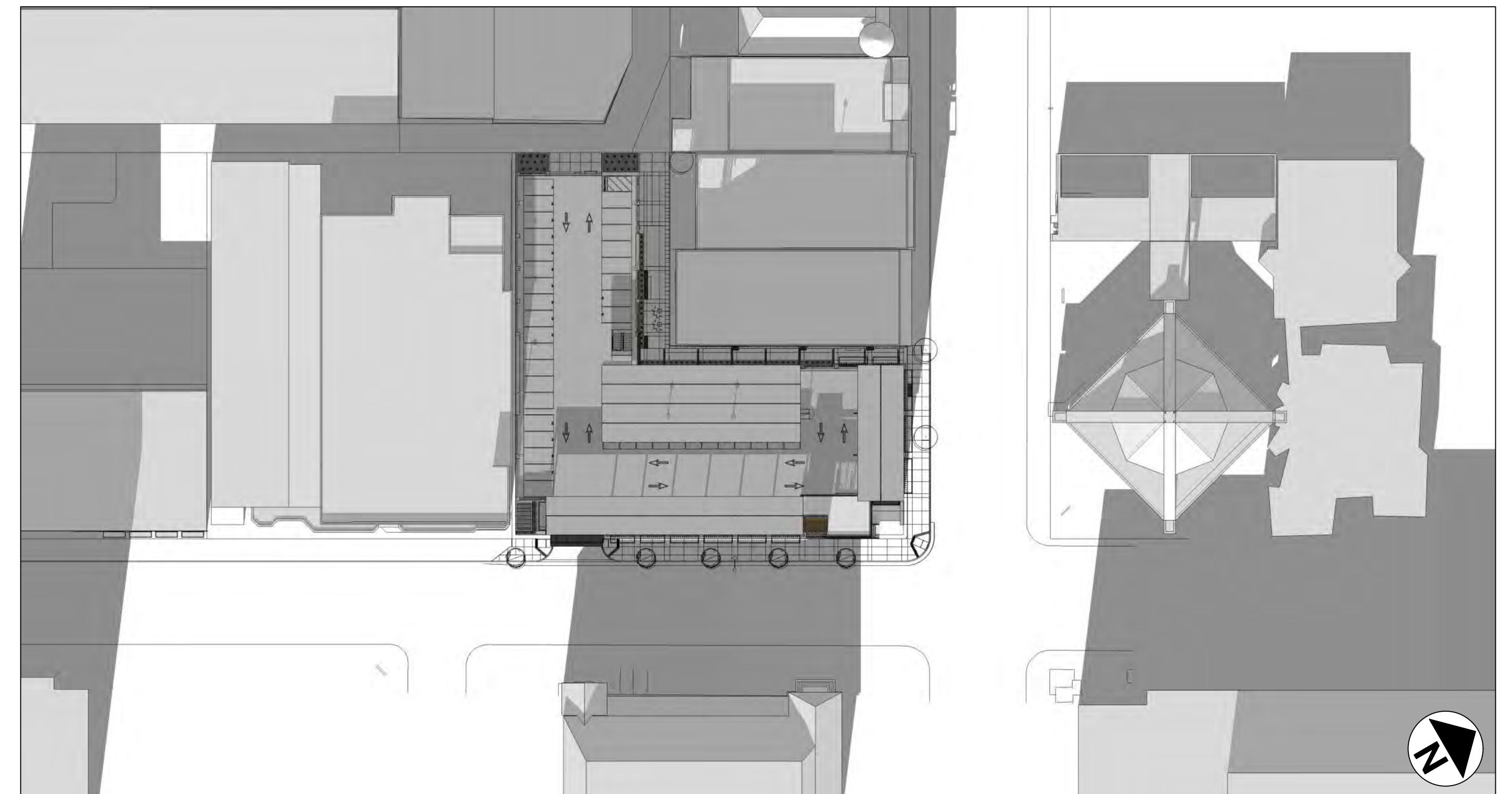
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**DECEMBER 21ST**  
**GARAGE SHOWN WITH PHOTOVOLTAIC PANELS**



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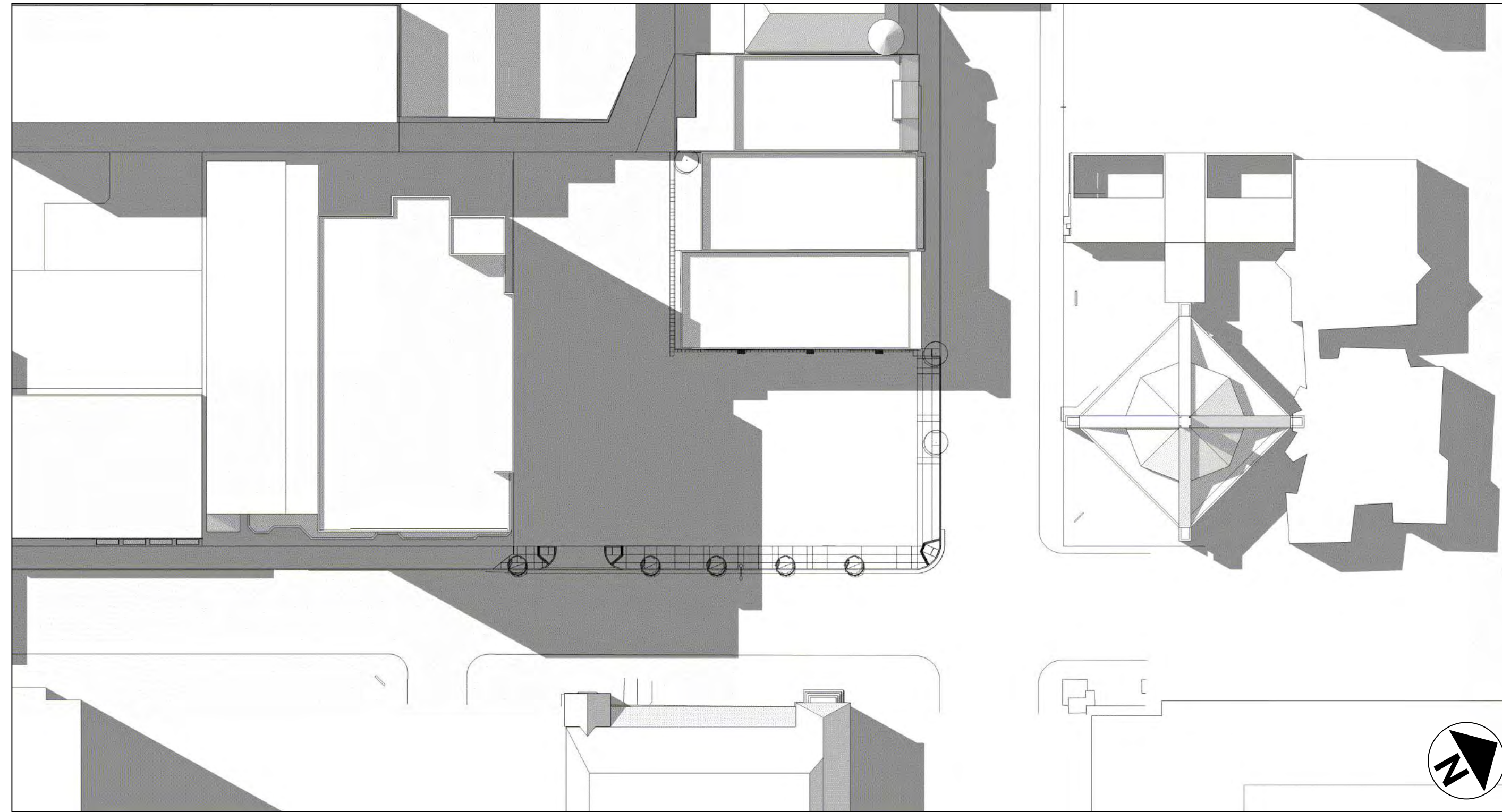
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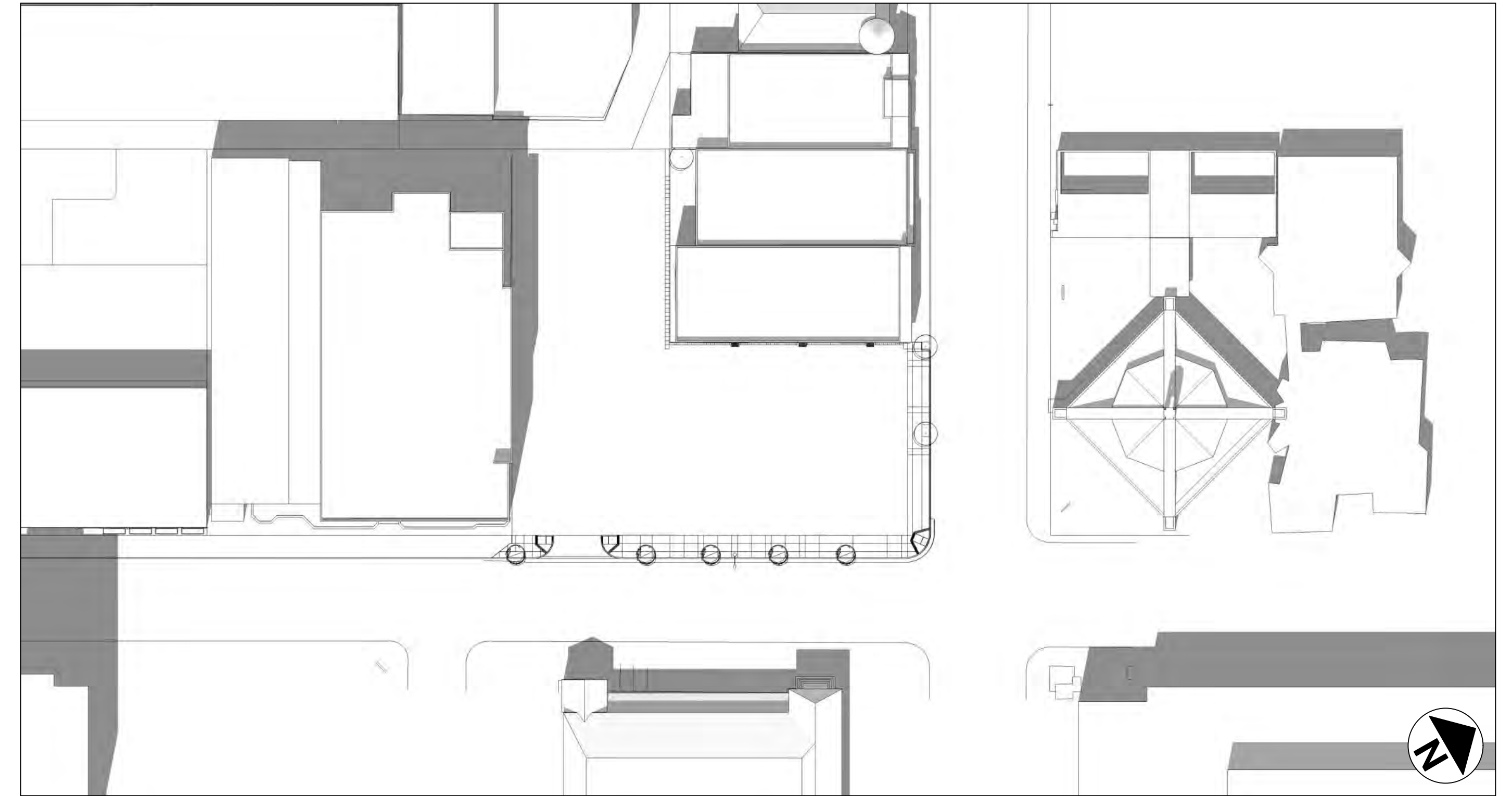
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**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/2018**

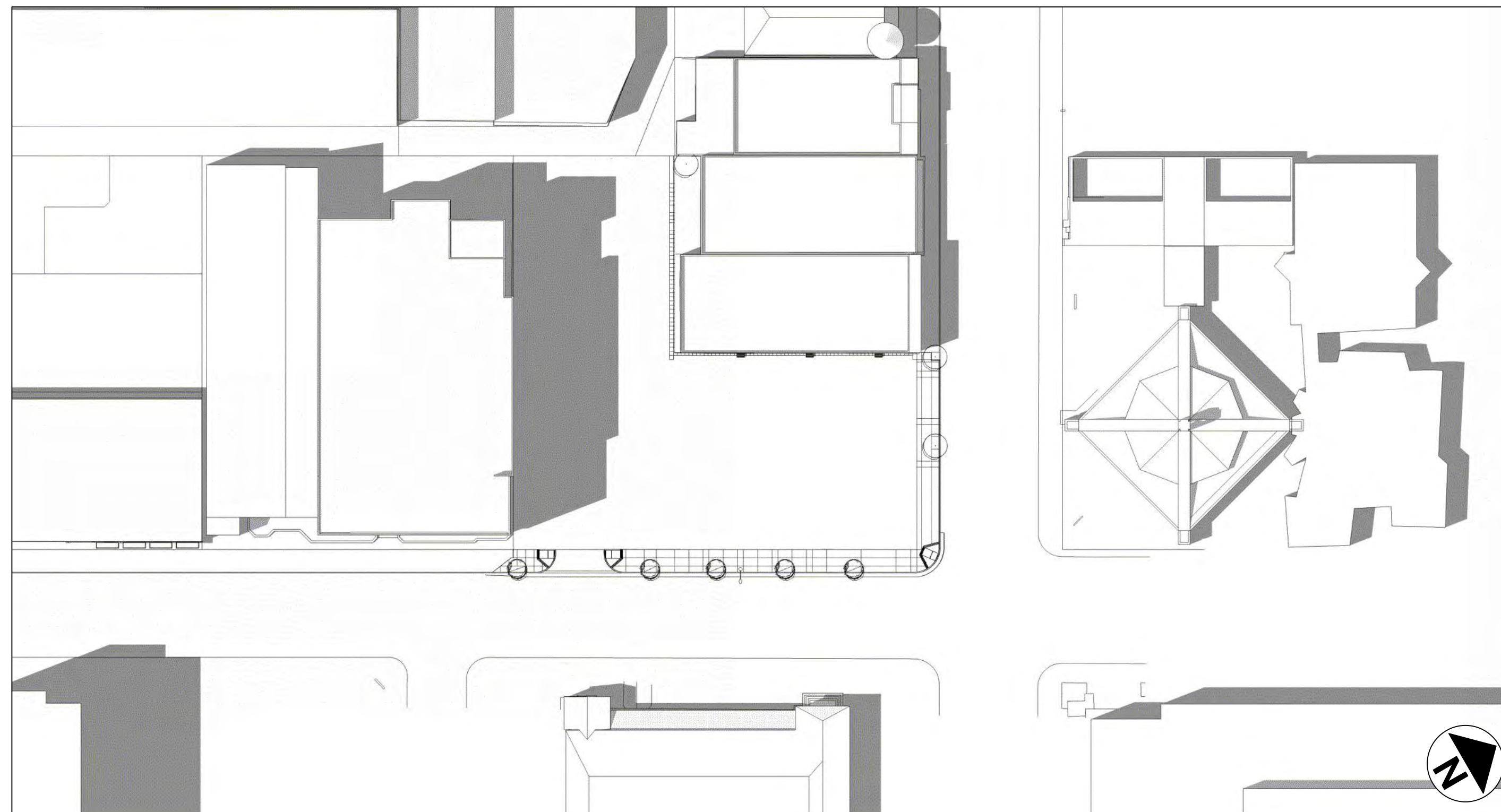




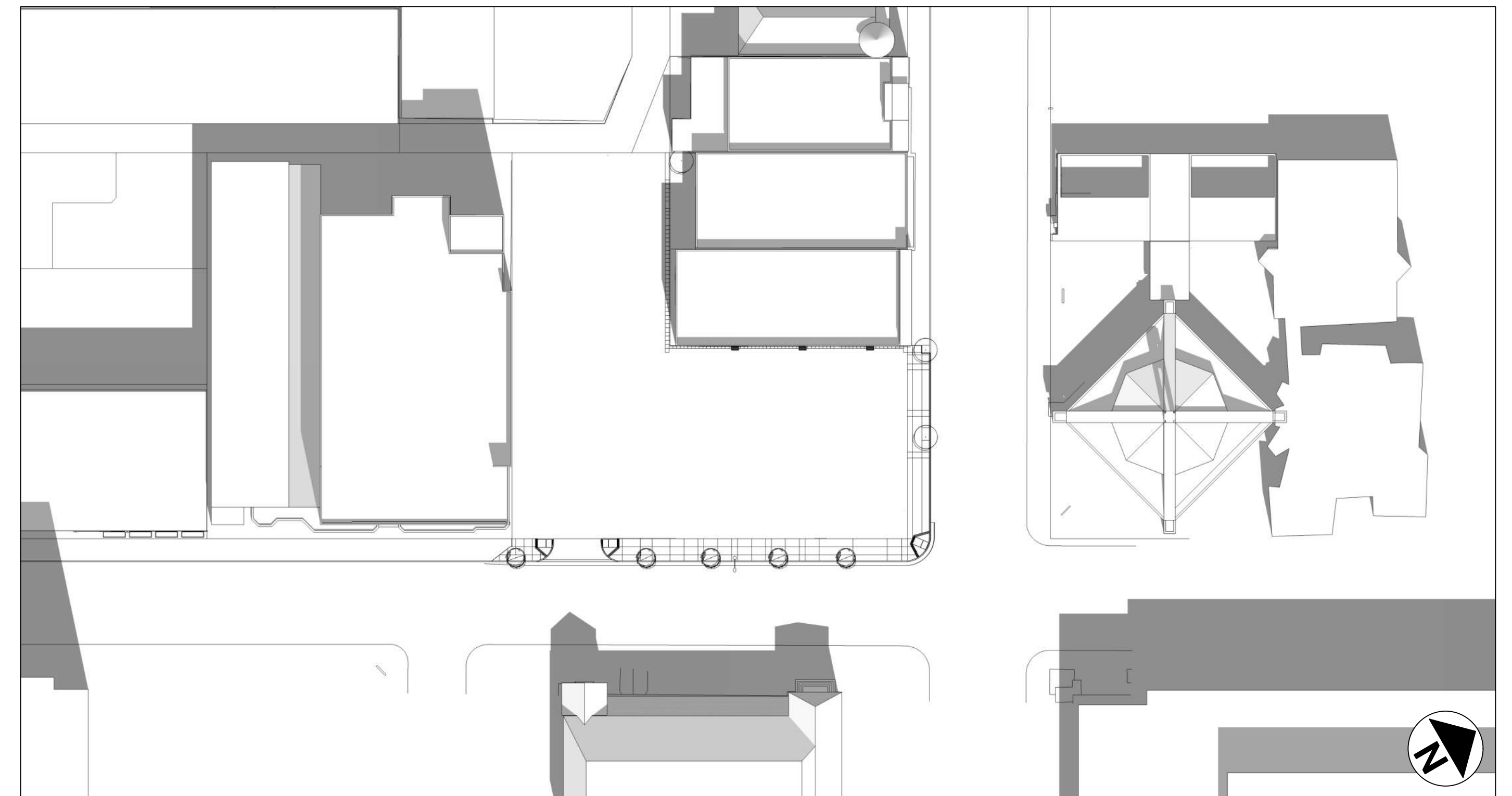
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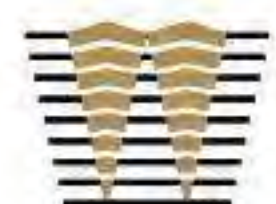


1:00 PM



9:00 AM

**MARCH 21ST**  
**EXISTING CONDITION (AT GRADE PARKING LOT)**



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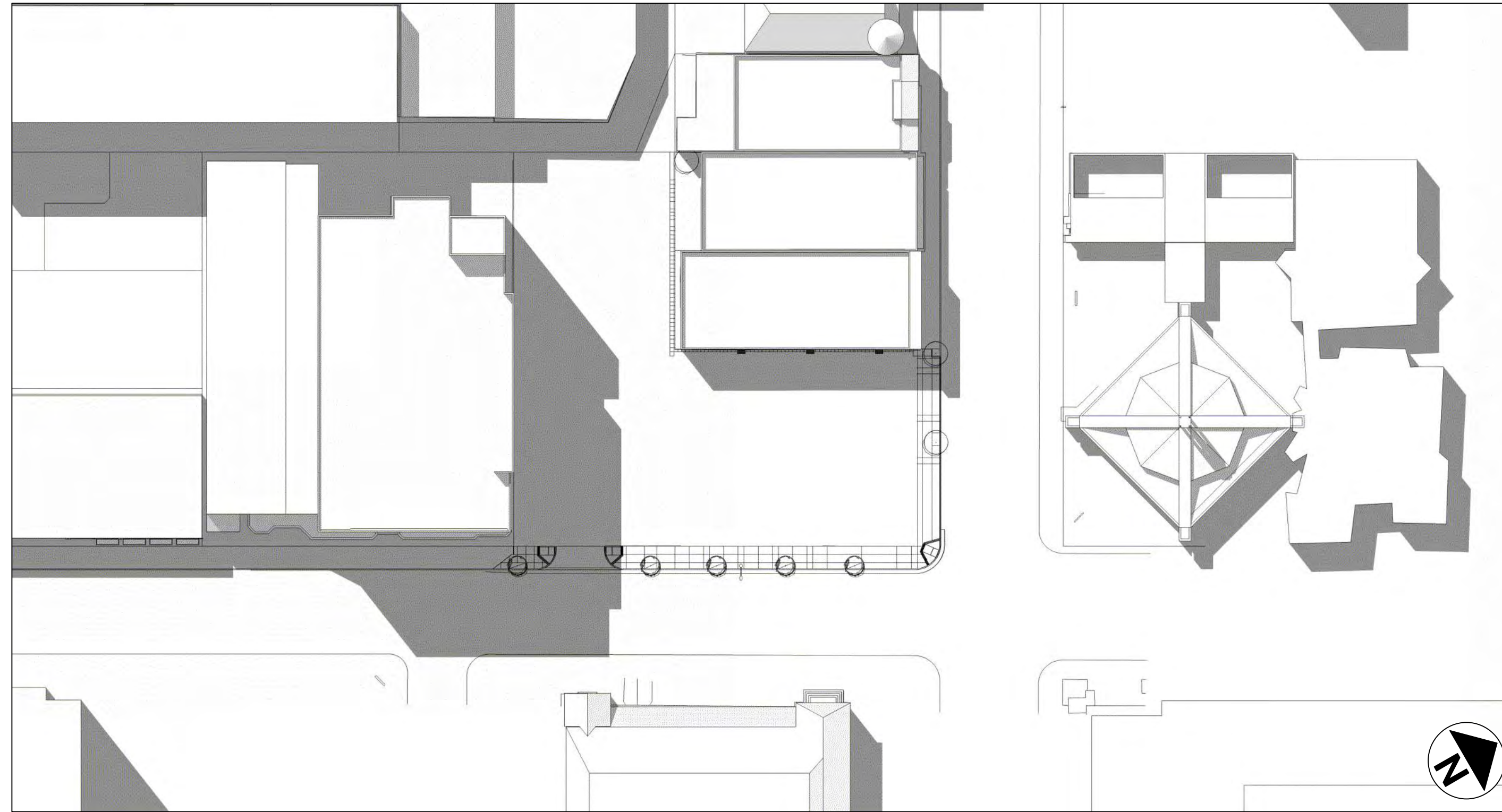
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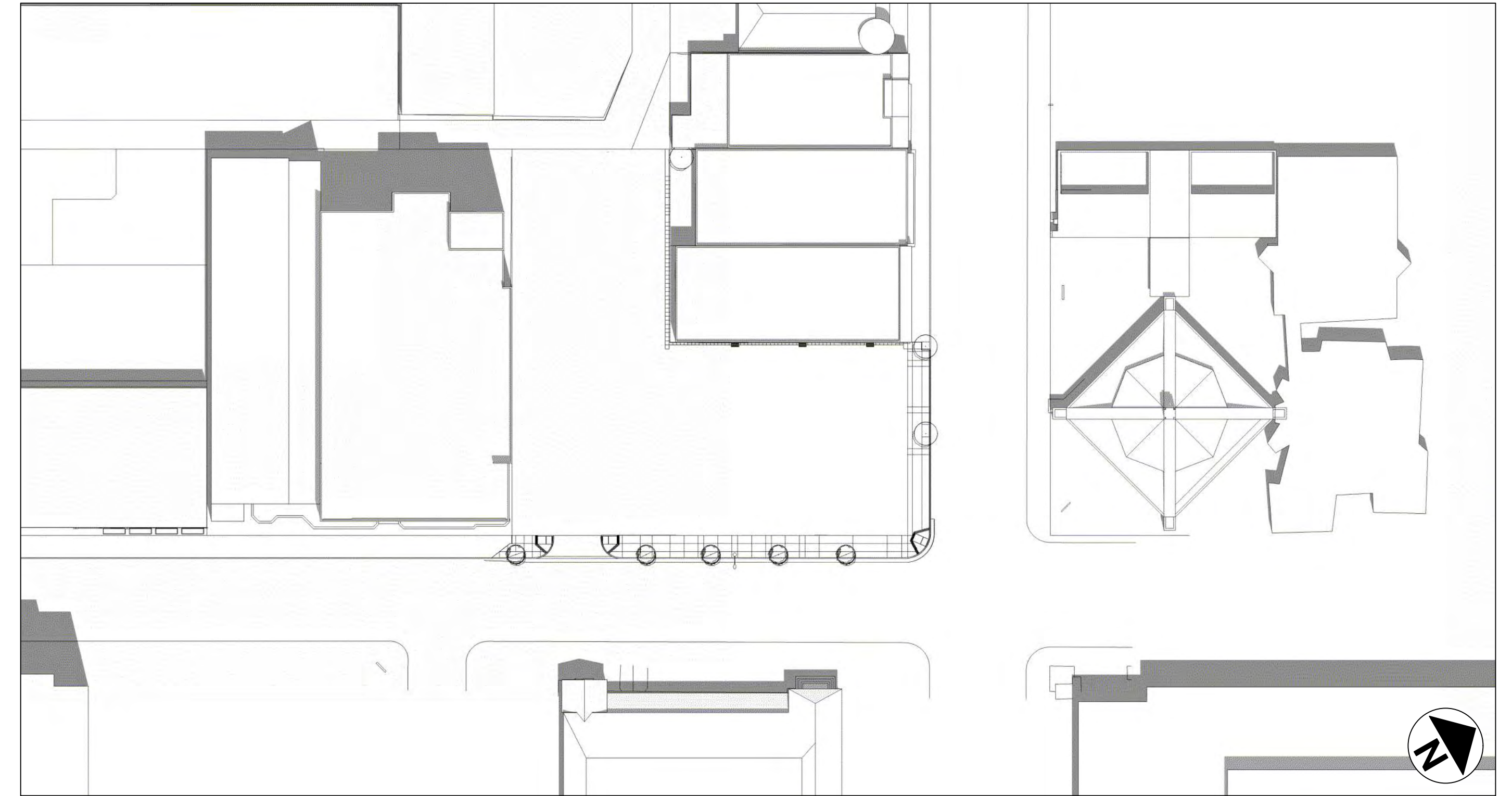
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**CITY OF PALO ALTO**

DATE ISSUED:  
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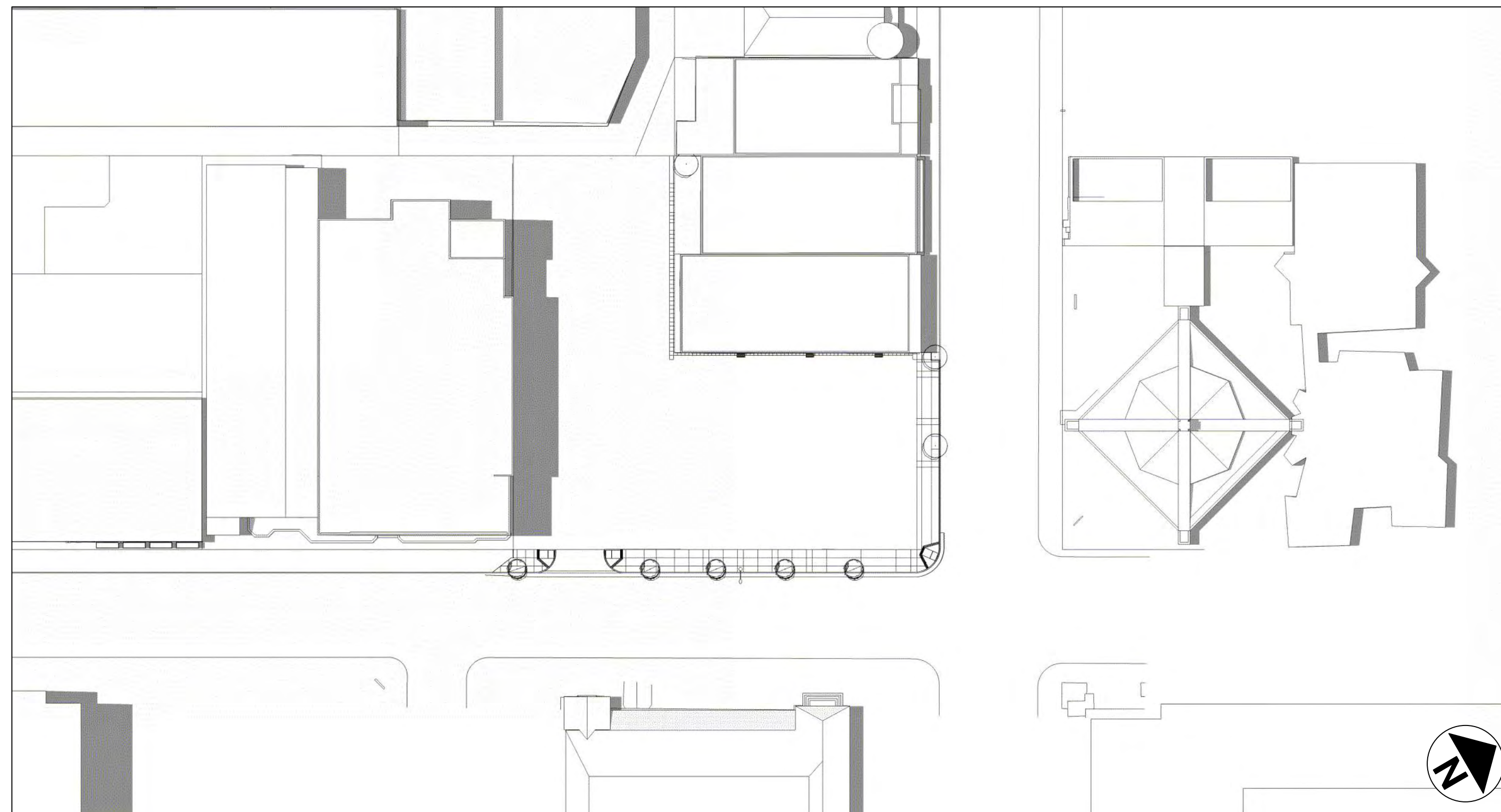




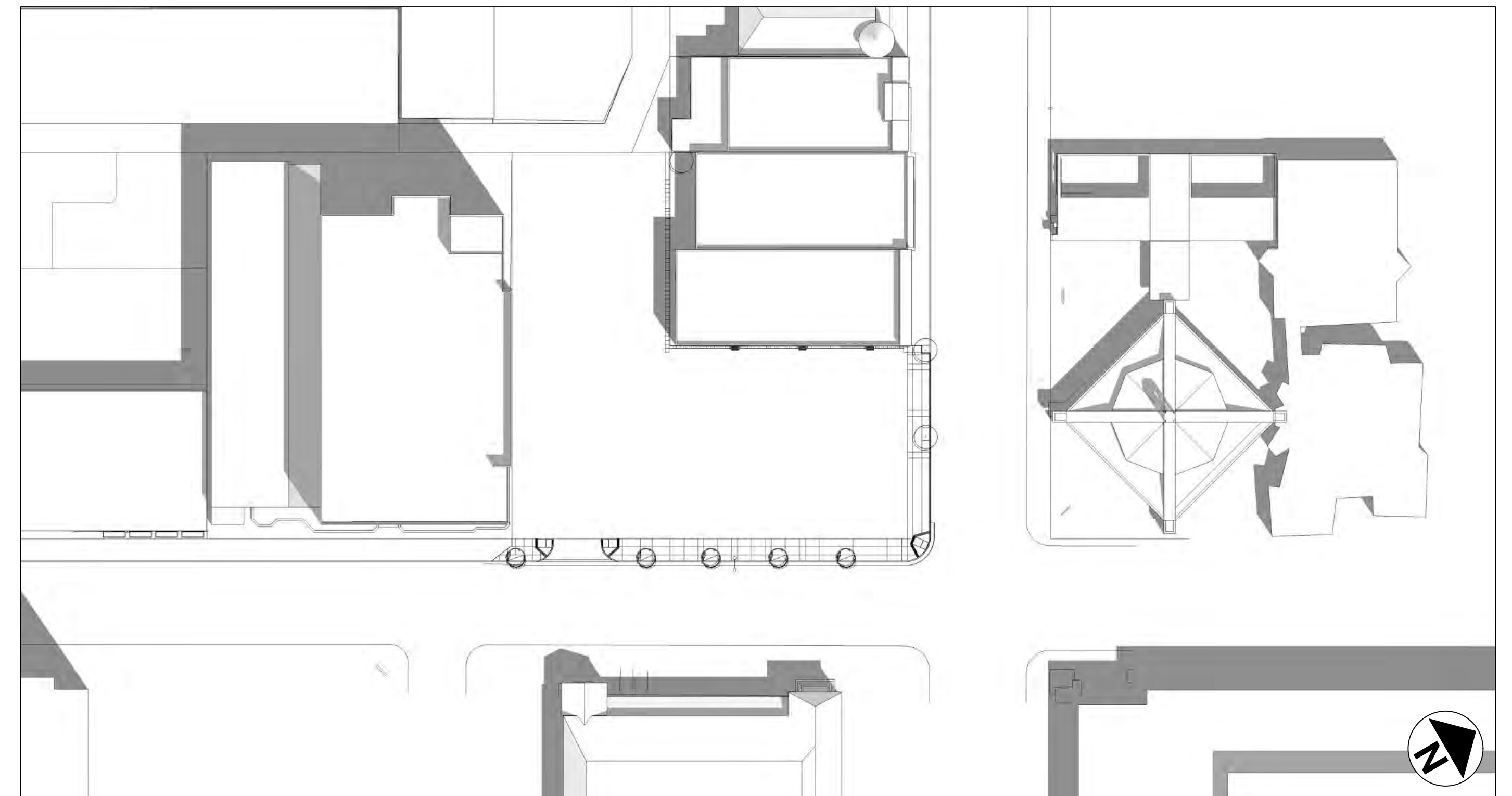
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JUNE 21ST

EXISTING CONDITION (AT GRADE PARKING LOT)



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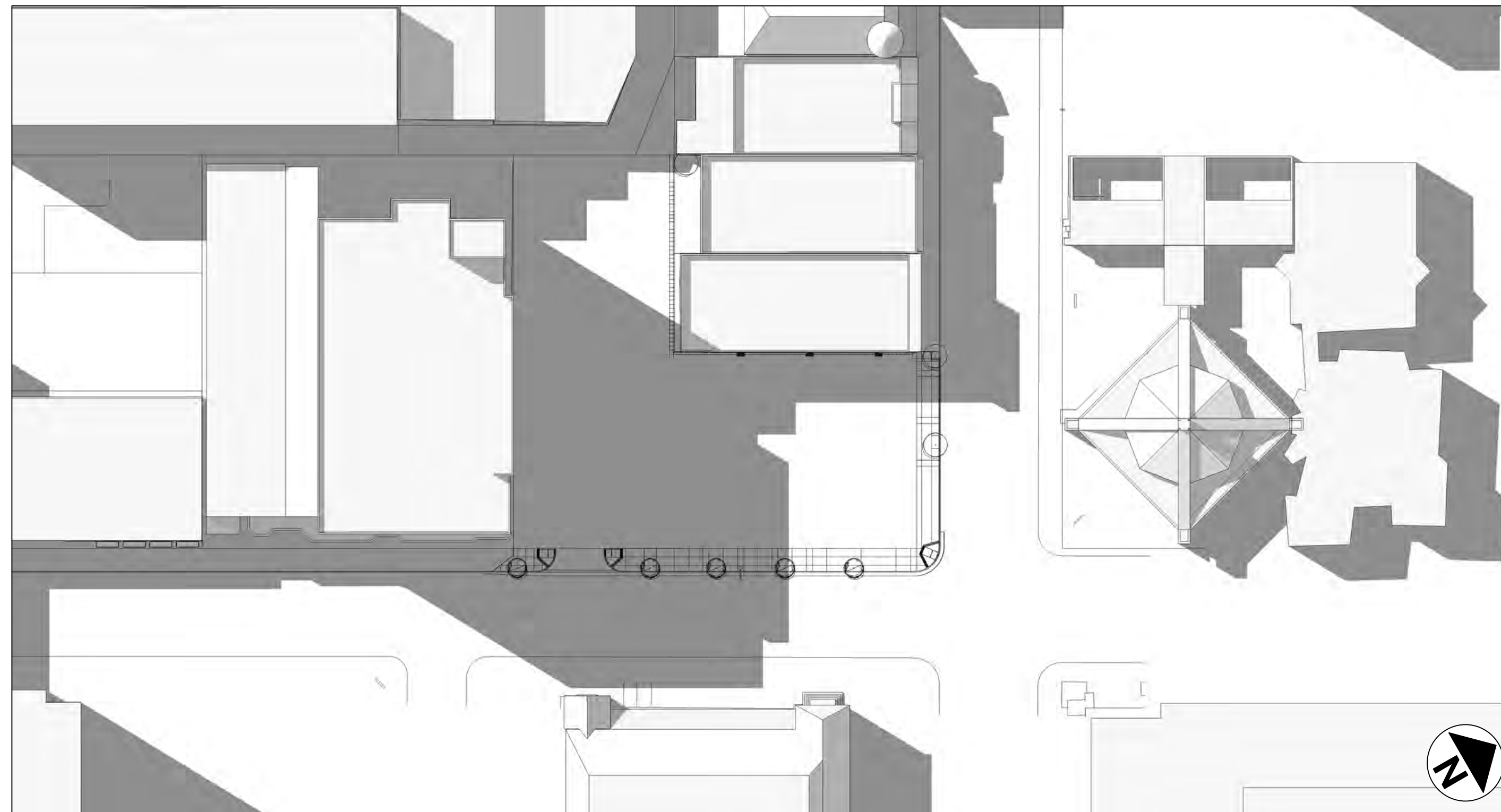
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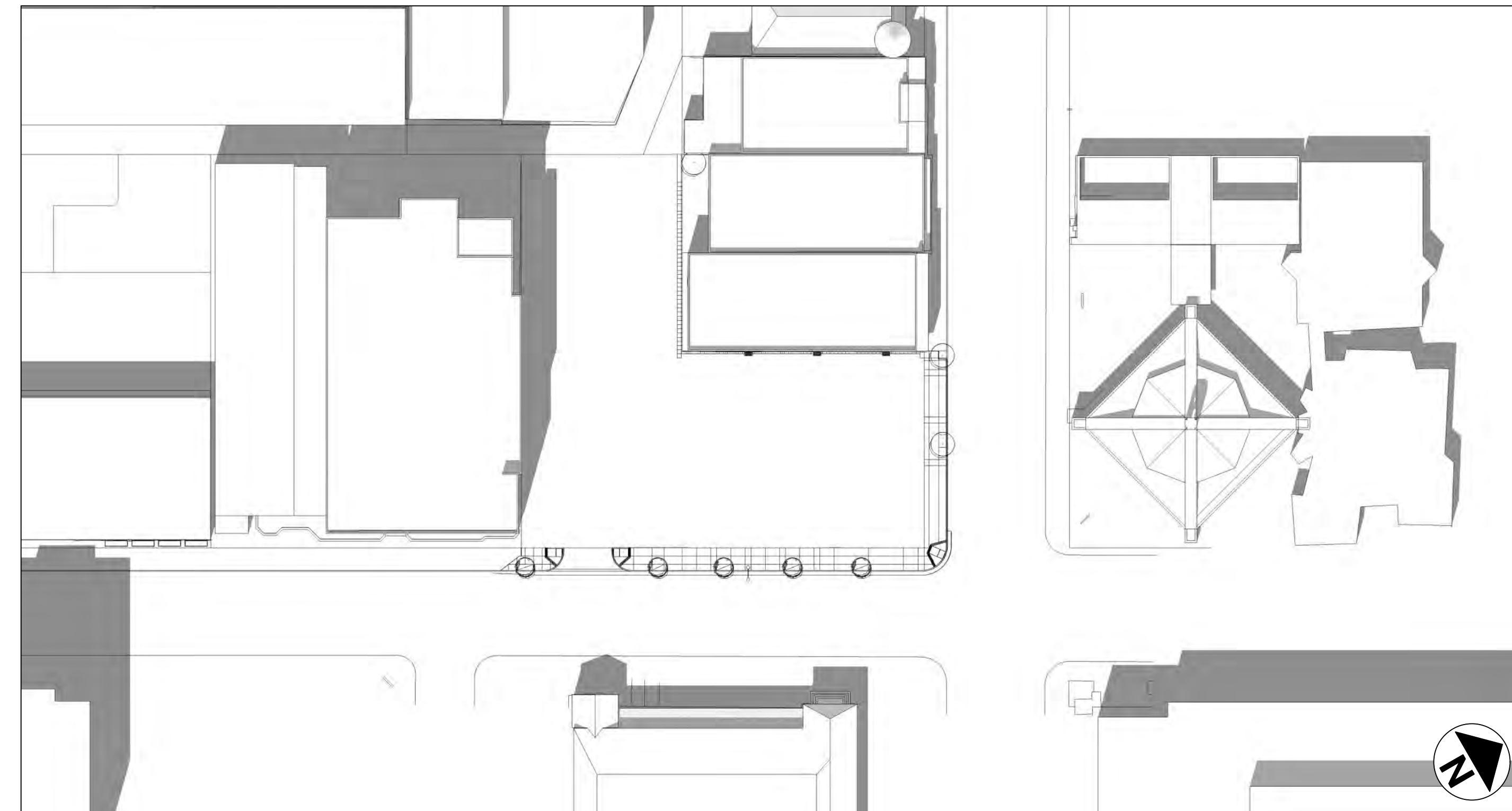
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**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/2018**

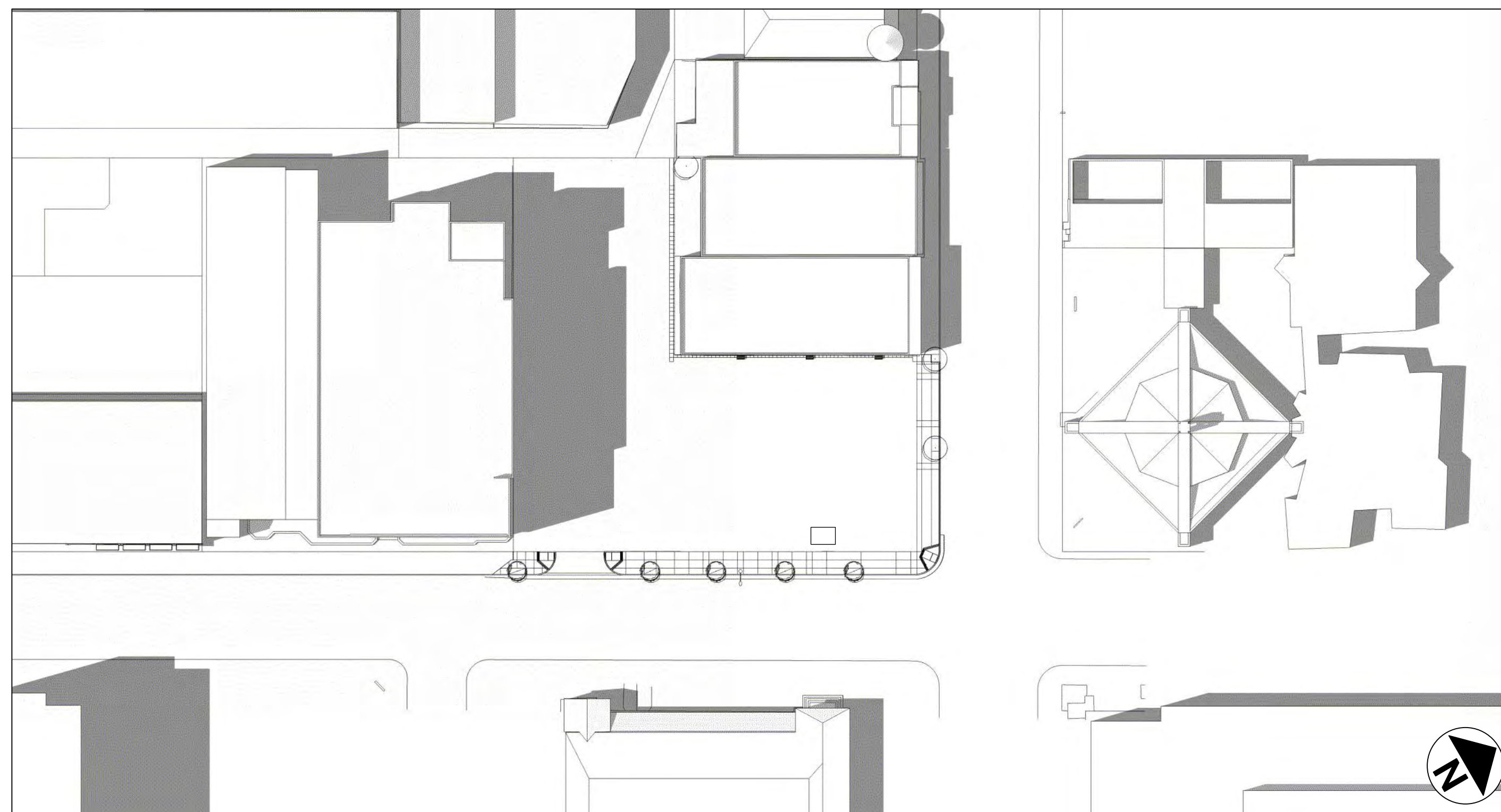




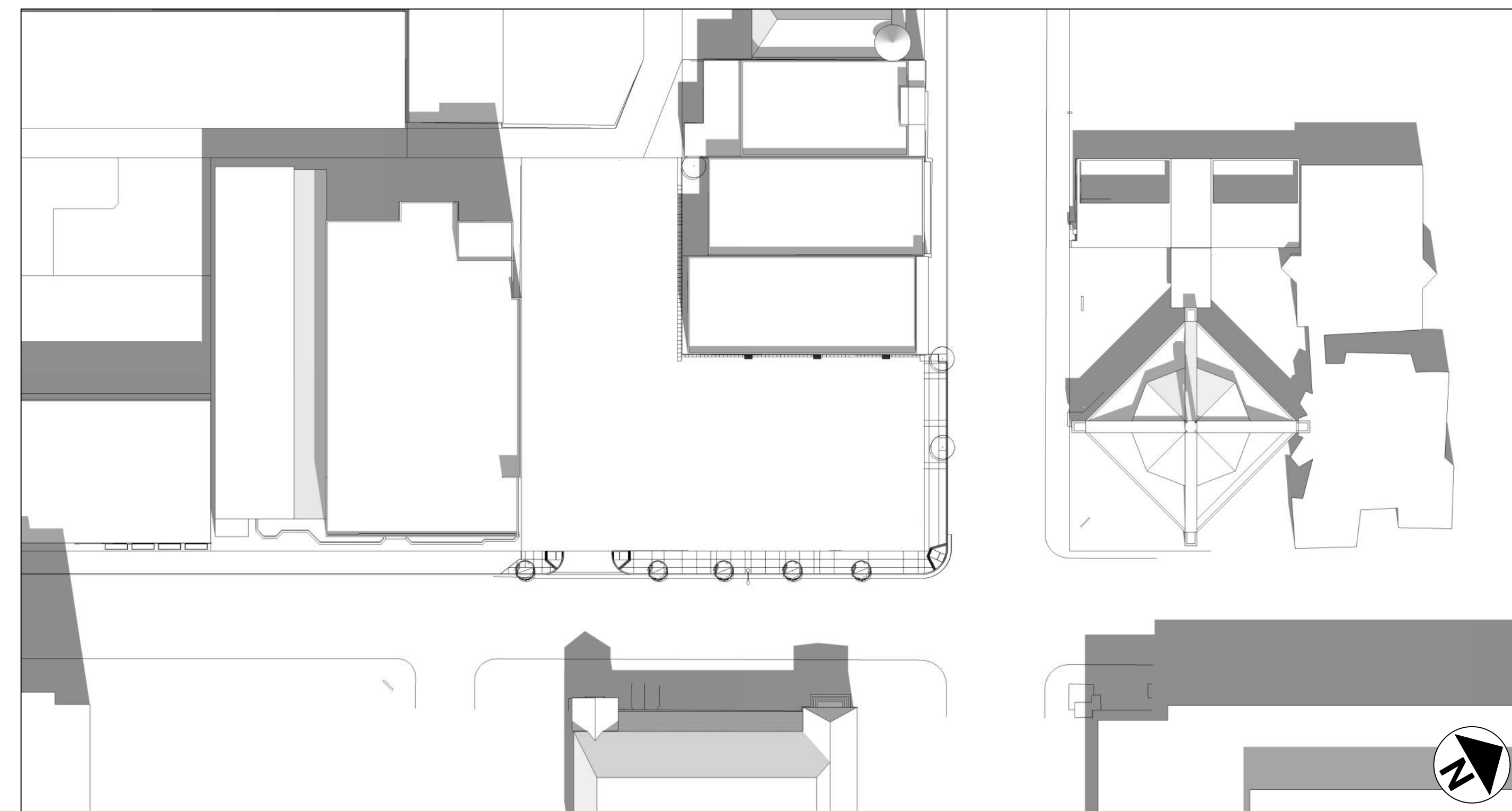
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9:00 AM

**SEPTEMBER 21ST**  
**EXISTING CONDITION (AT GRADE PARKING LOT)**



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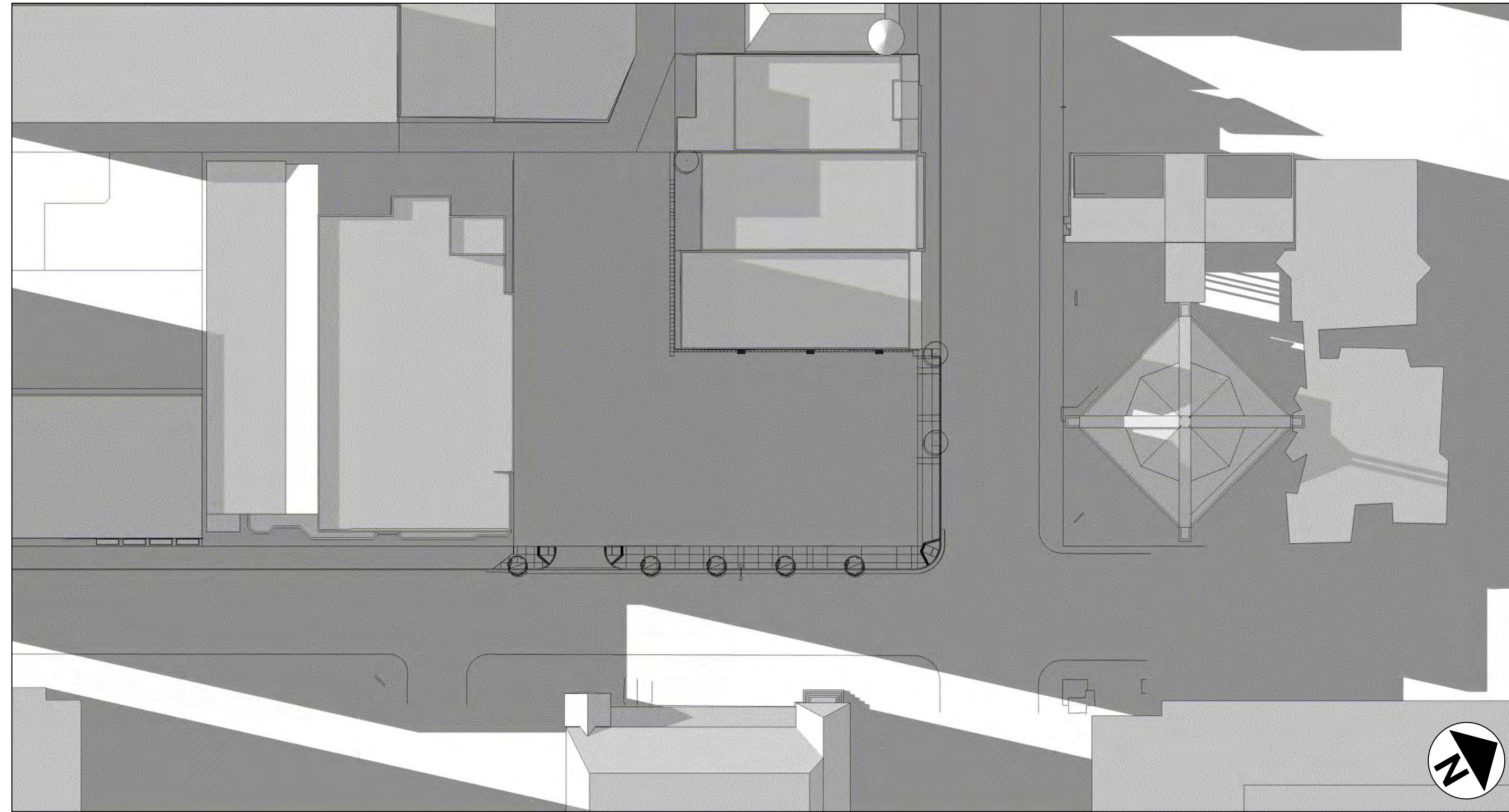
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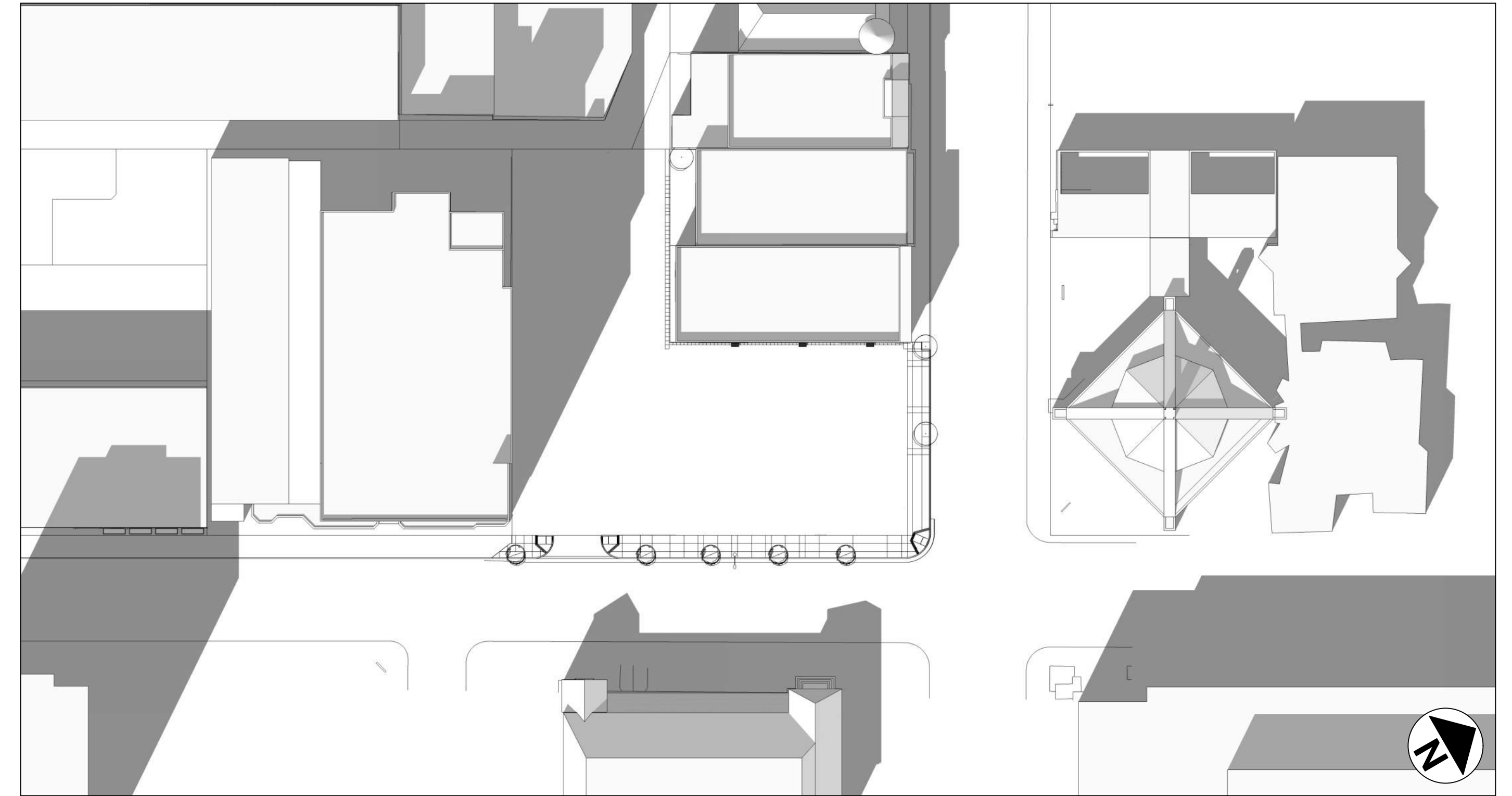
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**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/2018**

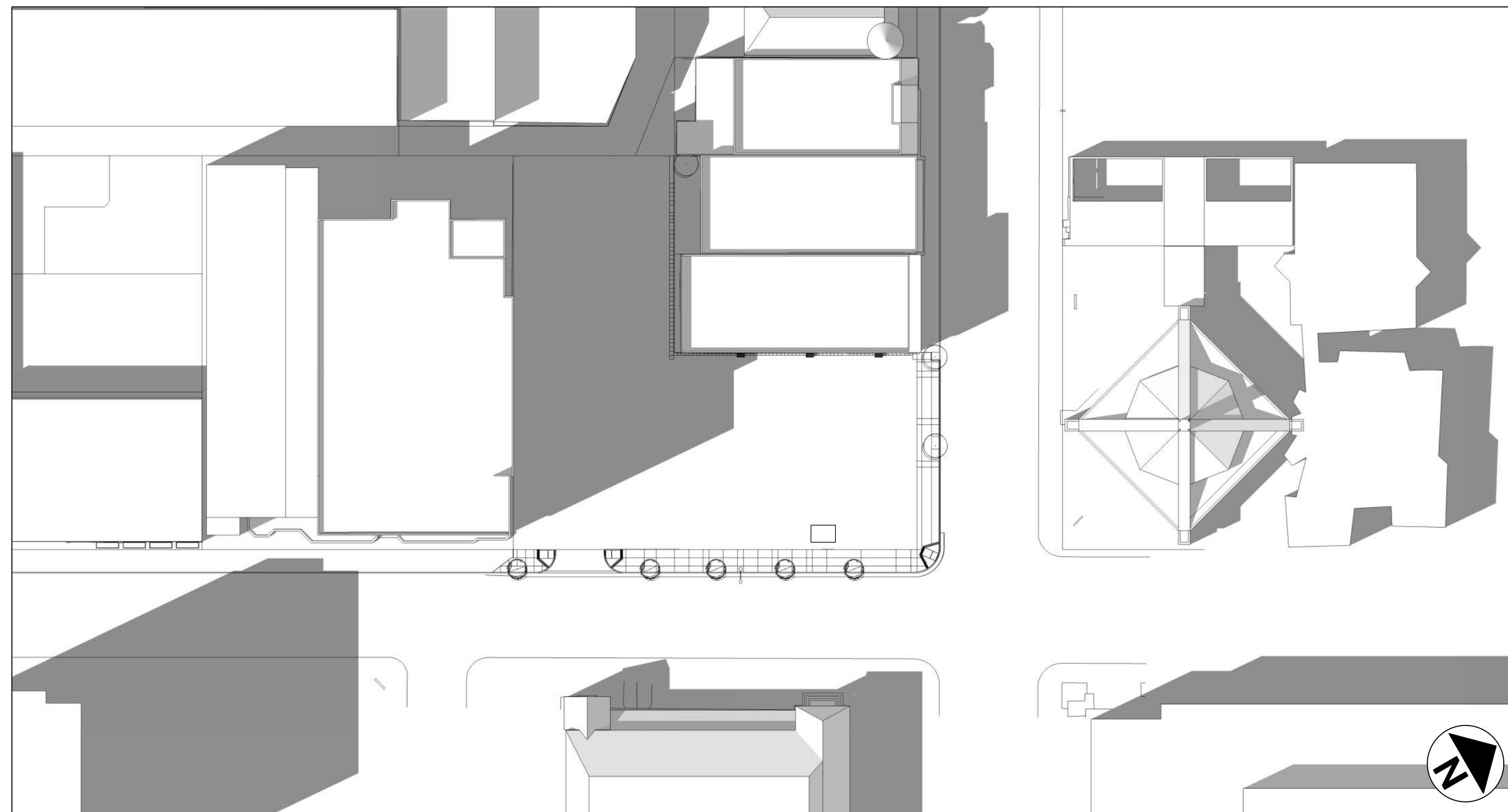




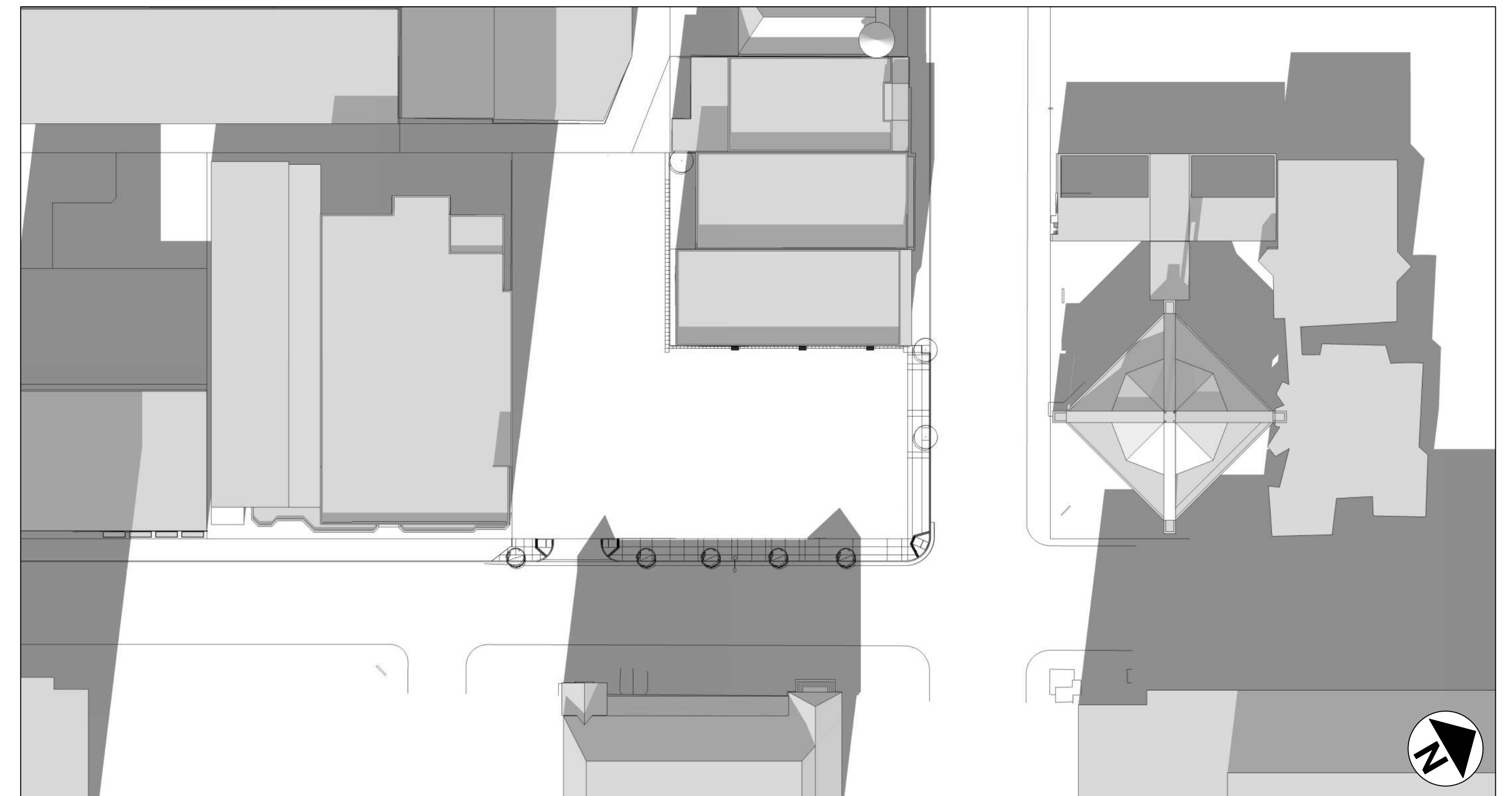
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**DECEMBER 21ST**  
**EXISTING CONDITION (AT GRADE PARKING LOT)**



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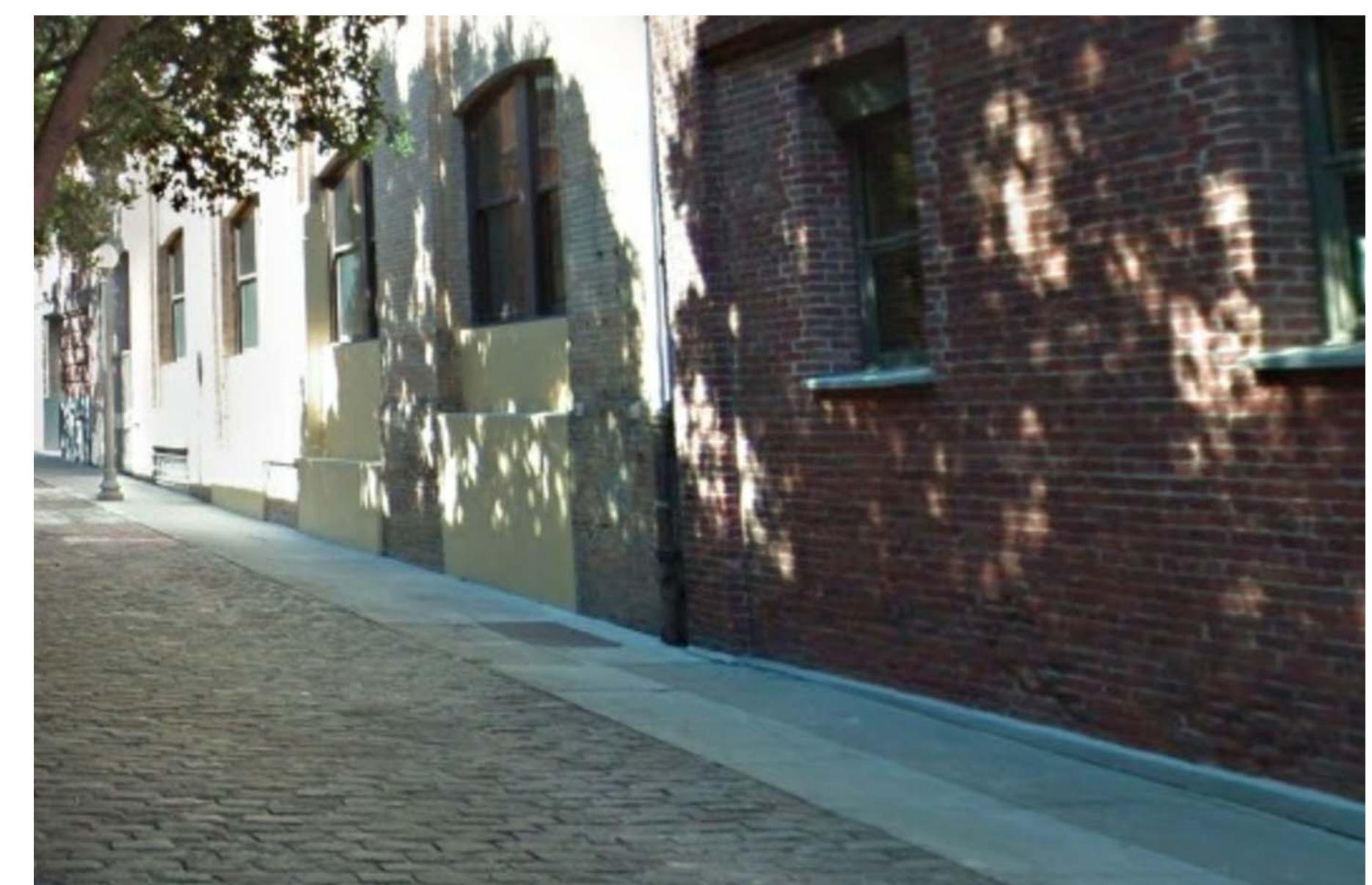
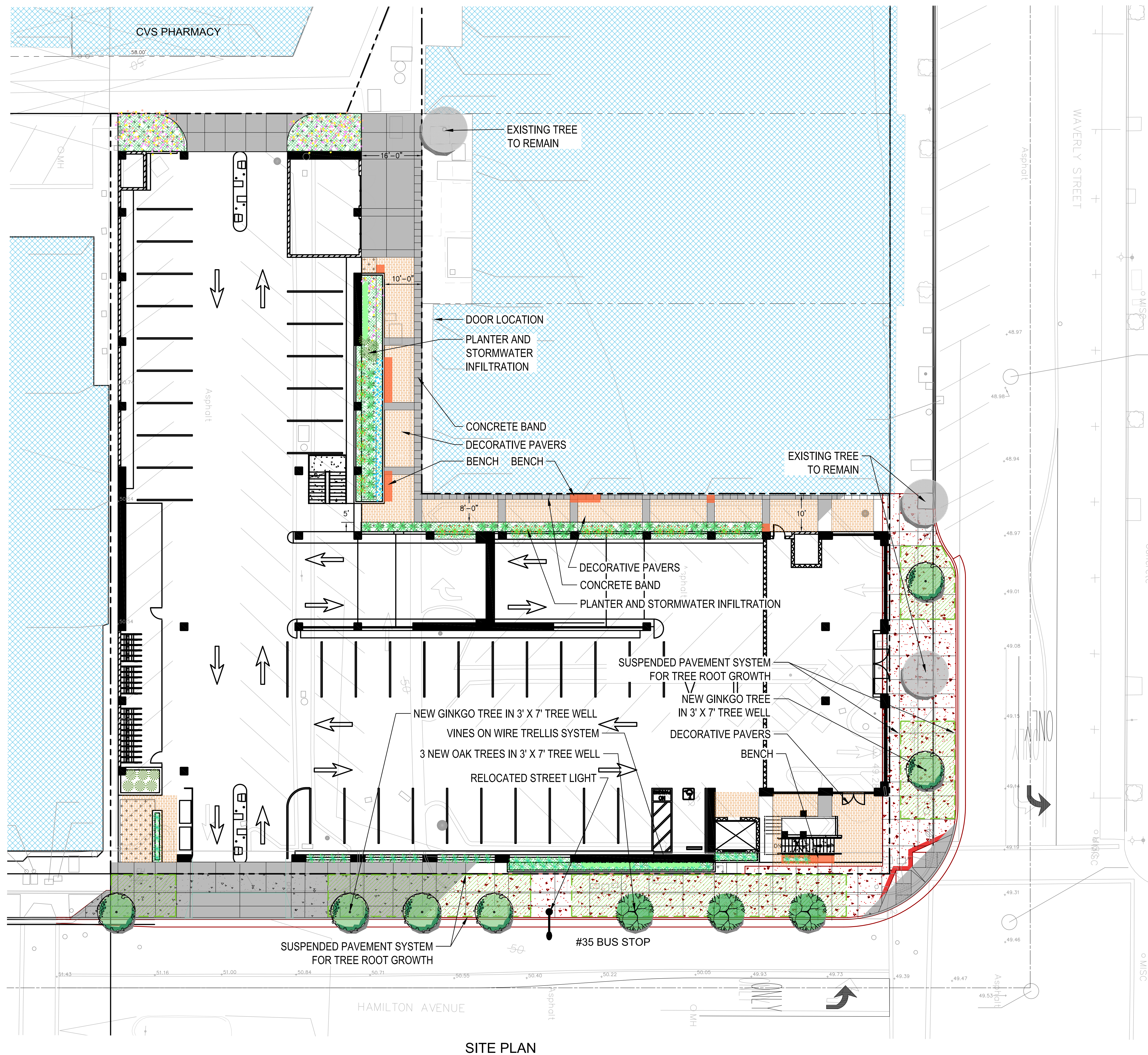
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**DOWNTOWN PARKING GARAGE**

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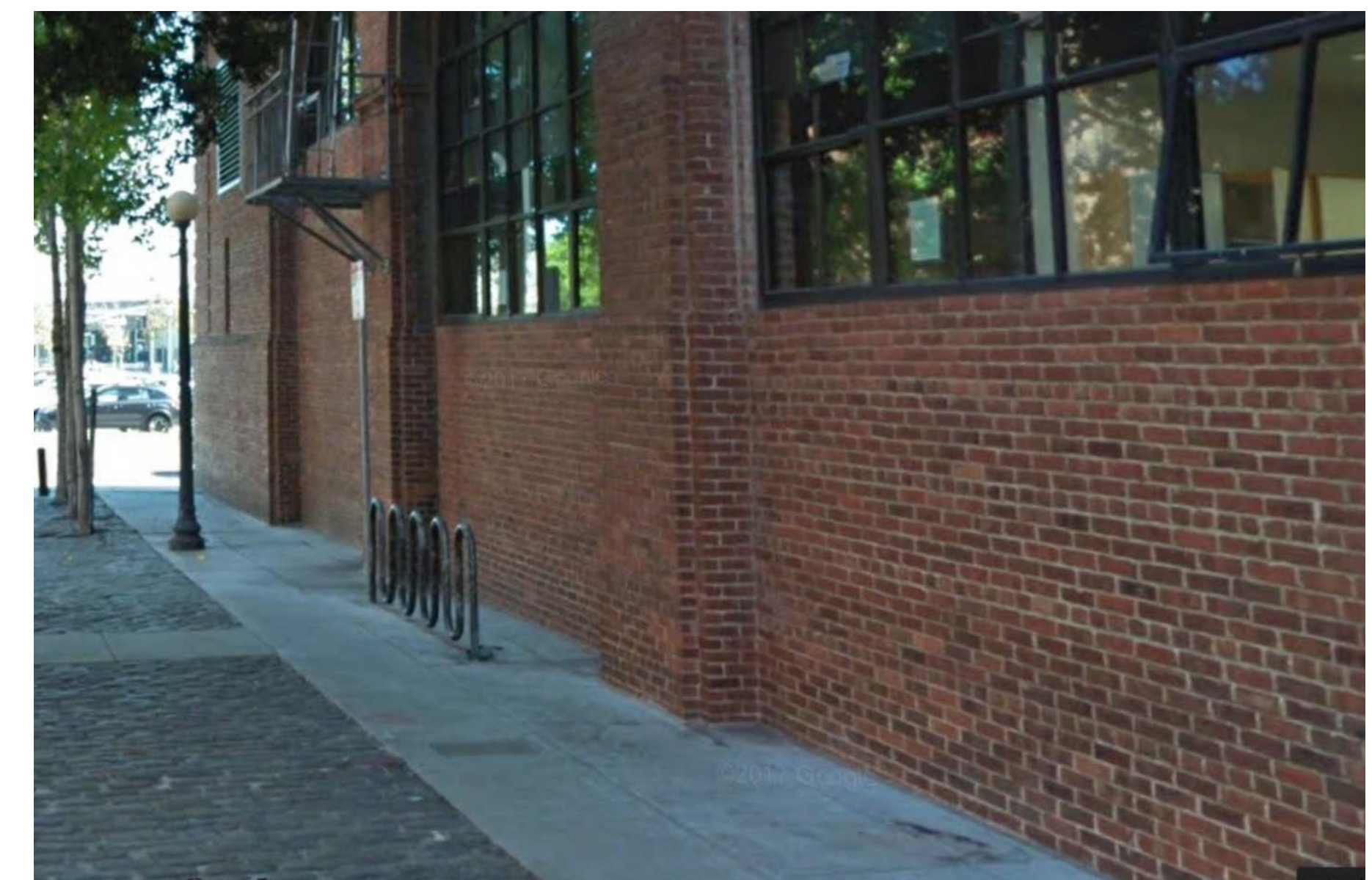
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**07/12/2018**





**REFERENCE IMAGE 1**  
**ALLEY CHARACTER**



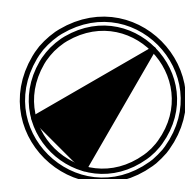
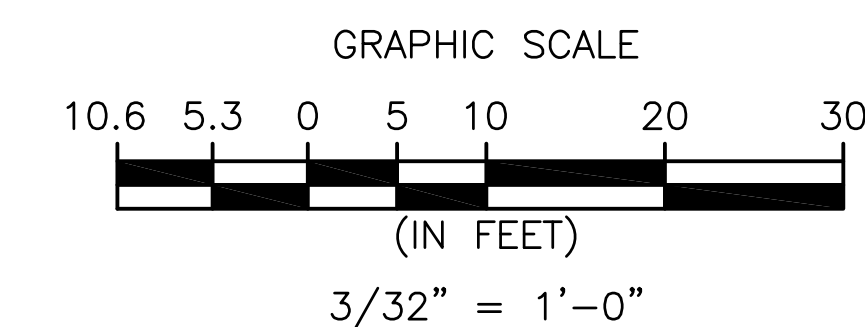
**REFERENCE IMAGE 2**  
**ALLEY CHARACTER**

PLANT LIST & LEGEND				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	3
	GINKGO BILOBA	MAIDENHAIR TREE	24" BOX	6
	ACHILLEA MILLEFOLIUM 'SUMMER PASTELS'	SUMMER PASTELS YARROW	5 G.C.	125
	PENNESETUM SPATHIOLATUM	SLENDER VELDT GRASS	5 G.C.	55
	VITUS CALIFORNICA	CALIFORNIA GRAPE	5 G.C.	24
	MUHLENBERGIA CAPILARIS	PINK MUHLEY	5 G.C.	10
	PENSTEMON SPECIOSUS	ROYAL PENSTEMON	5 G.C.	30
	POLYSTICHUM MUNIUM	SWORD FERN	5 G.C.	38
	RIBES SANGUINEUM	RED CURRANT	5 G.C.	23

**NOTES:**

1. PLANTING AREAS IN THE ALLEYWAY WILL BE FLUSH WITH THE PAVEMENT. ALL OTHER PLANTERS ARE RAISED ABOVE PAVEMENT LEVEL.
2. THERE WILL BE AN ADDITIONAL 50 - 60 SUPPLEMENTAL 1 GALLON SIZE PERENNIALS INCLUDED IN THE PLANTING BEDS ALONG THE PEDESTRIAN WAY. ADDITIONAL OPTIONAL PLANT SELECTIONS ARE SHOWN ON THE MATERIALS AND PLANT SELECTIONS SHEET.
3. IRRIGATION BACKFLOW PREVENTER AND IRRIGATION CONTROLLER WILL BE LOCATED WITHIN THE STRUCTURE IN A MECHANICAL AND ELECTRICAL SERVICE ROOM.

EXISTING TREE TO REMAIN. REFER TO ARBORISTS REPORT.







TUMBLER PAVERS WITH RUSTIC TEXTURE



'PLANK' PAVERS - SMOOTH LINEAR FORM



GINKGO STREET TREE - fall color



COAST LIVE OAK

DECORATIVE PAVER OPTIONS

PAVERS CAN BE PERVIOUS TO AID STORM WATER MANAGEMENT



GREEN SCREEN WELDED WIRE PANELS



POST AND STAINLESS STEEL WIRE SYSTEM

TRELLIS OPTIONS



TIMBERFORM 'COLOSSUS' - SIMPLE & TIMELESS



LANDSCAPE FORMS 'PARALLEL' - FORM SIMILAR TO BUILT-IN BENCH ON HAMILTON STREET

BENCH OPTIONS FOR ALLEY PASSAGE

WOOD IS THE MOST COMFORTABLE MATERIAL TO SIT ON

TREES - GINKGO TO MATCH EXISTING STREET TREES TO REMAIN, OAK AS MITIGATION FOR REMOVAL OF EXISTING



CALIFORNIA GRAPE DECIDUOUS VINE THAT PROVIDES SHADE IN SUMMER, FALL COLOR, AND LIGHT IN WINTER WHEN LEAVES FALL OFF. SUN OR SHADE TOLERANT.

VINE - TO BE TRAINED TO GROW ON EITHER THE GREENSCREEN OR THE WIRE TRELLIS SYSTEM



PERENNIAL / DEEP SHADE

SWORD FERN  
EVERGREEN PERENNIAL TO 3 FEET TALL. DOES WELL IN DEEP SHADE.



DECIDUOUS SHRUB / SHADE

RED CURRANT  
SMALL SHRUB TO 4 FEET TALL. BRIGHT PINK FLOWERS IN SPRING. DOES WELL IN SHADE.



PERENNIAL

VARIEGATED COPROSMA  
EVERGREEN GROUNDCOVER TO 3 FEET TALL.



PERENNIAL

PINK MUHLEY  
GRASS TO 3 FEET TALL. PINK FLOWERS THAT FLOWS IN THE BREEZE.



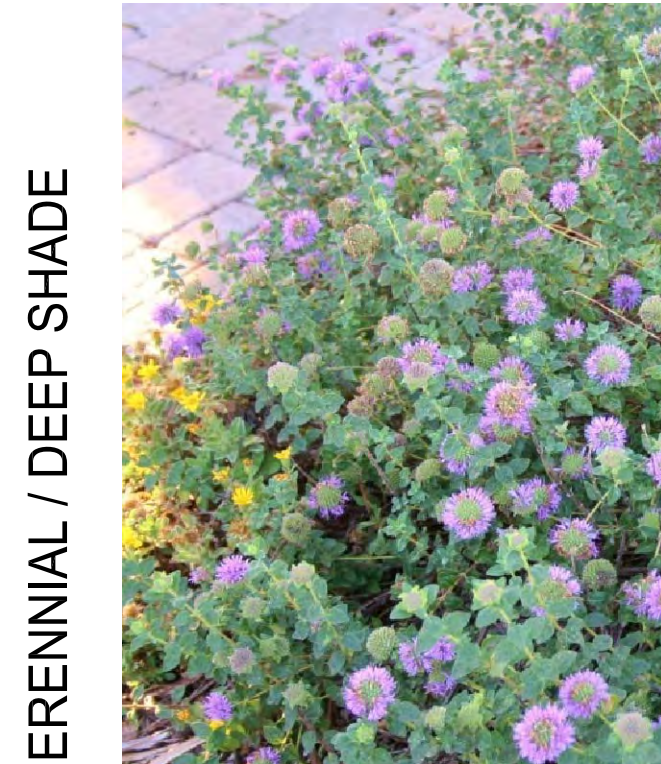
PERENNIAL

SLENDER VELDT GRASS  
PERENNIAL GRASS TO 2 FEET TALL.



PERENNIAL / SHADE

ROYAL PENSTEMON  
NATIVE PERENNIAL TO 2 FEET TALL. SHADE TOLERANT.



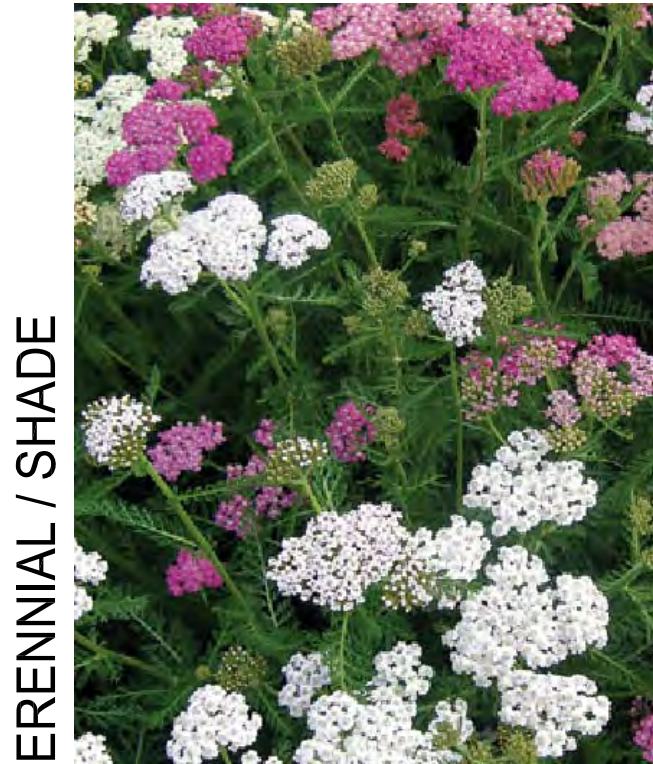
PERENNIAL / DEEP SHADE

COYOTE MINT  
EVERGREEN GROUNDCOVER TO 2 FEET TALL. DOES WELL IN SHADE.



PERENNIAL

MEXICAN PRIMROSE  
EVERGREEN GROUNDCOVER TO 1' FOOT TALL.



PERENNIAL / SHADE

YARROW  
EVERGREEN GROUNDCOVER TO 2 FEET TALL. FLOWERS IN SUMMER. SHADE TOLERANT.



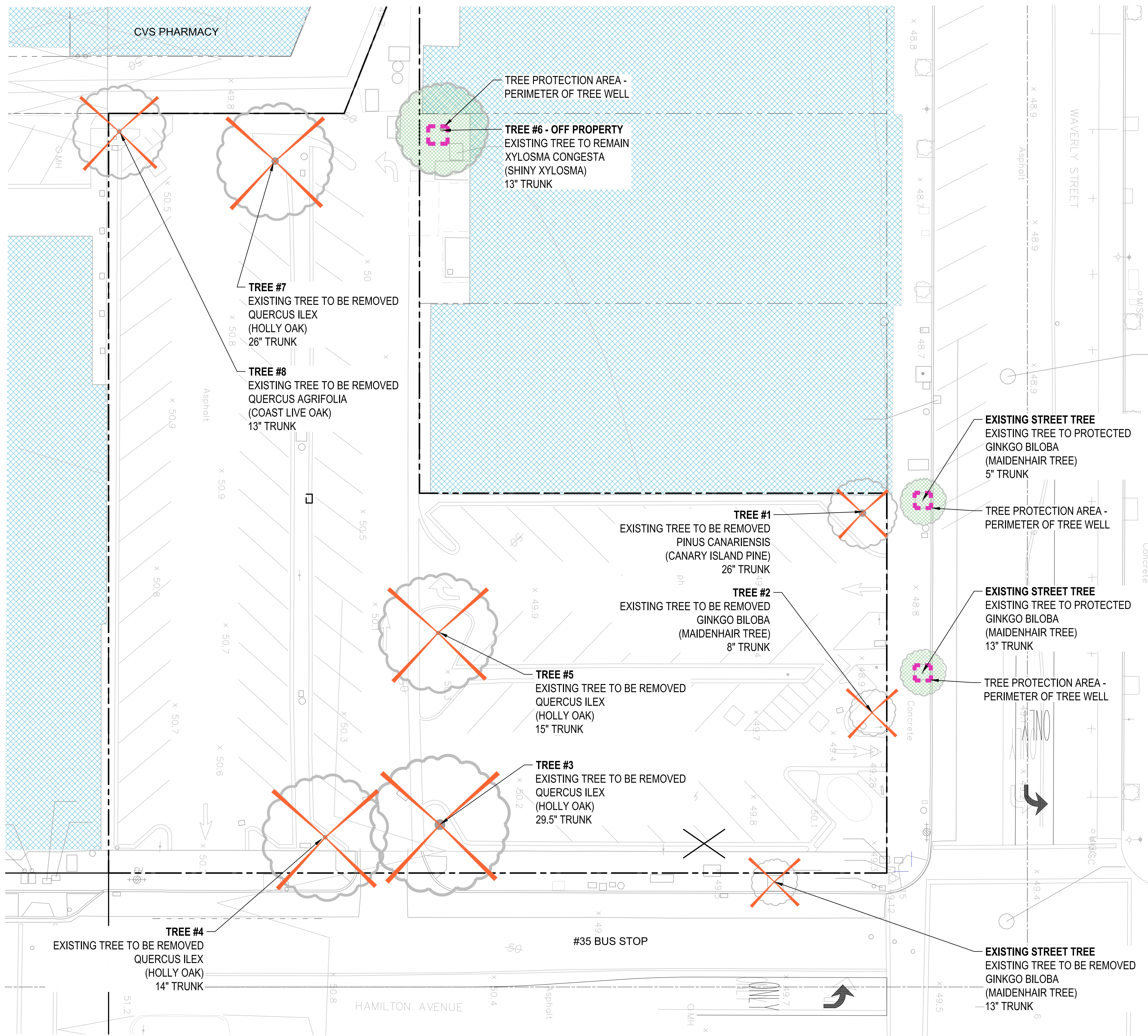
PERENNIAL / SHADE

DUNE SEDGE  
GRASS-LIKE EVERGREEN GROUNDCOVER TO 2 FEET TALL. SHADE TOLERANT.

PLANT SELECTIONS

ALL PLANT SELECTIONS ARE LOW WATER USE, AND LOW MAINTENANCE





## COLUMN HEADING DESCRIPTIONS

Tree# - Indicates tree number corresponding to Tree Location Map  
 Species - Scientific name  
 Common Name - Vernacular name  
 DBH - Diameter measured in inches at 4.5 feet above soil grade, unless otherwise indicated  
 Height - In feet  
 Spread - In feet  
 Health - Tree Health: E is Excellent, G is Good, F is Fair, P is Poor, D is Dead or Dying  
 Structure - Tree Structural Safety: E is Excellent, G is Good, F is Fair, P is Poor, H is Hazardous  
 Protected? - Attaining City of Palo Alto Protected Tree Status: Y is Yes, N is No  
 Notes - See below

## DEFINITIONS

**Notes**

**Included Bark** - This is a structural defect where bark is included between the branch attachment.  
**Codominant** - A tree with two or more stems which are of equal diameter and relative amounts of leaf area.  
**Codominant w/ Embedded Bark** - When bark is embedded between codominant stems, failure potential is very high and pruning to mitigate the defect is recommended.  
**Lion Tailing** - The improper practice of removing all or most secondary and tertiary branches from the interior portion of the crown, leaving most live foliage at the edge of the canopy.

Tree #	Species	Common Name	DBH	Height	Health	Structure	Protected ?	Notes
1	<i>Pinus canariensis</i>	Canary Island Pine	26	85	G	P	N	Codominant w included bark with likely internal crack, curb displacement
2	<i>Ginkgo biloba</i>	Maidenhair	8	30	G	G	N	Large trunk wound
3	<i>Quercus ilex</i>	Holly Oak	29.5	55	G	F-G	N	Lions-tailed, heavy end weight, dead branches over parking lot, truck damage to upper scaffold
4	<i>Quercus ilex</i>	Holly Oak	14	30	G	F	N	Heavy end weight over parking lot and sidewalk, under canopy of #4
5	<i>Quercus ilex</i>	Holly Oak	15	30	F	F	N	Dieback on one side, curb displacement
6	<i>Xylosma congestum</i>	Shiny Xylosma	13	25	G	F	N	Raised planter
7	<i>Quercus ilex</i>	Holly Oak	26	55	G	F-G	N	Codominant, heavy end weight
8	<i>Quercus agrifolia</i>	Coast Live Oak	13	30	F	P	Y	Recent lions-tailing, included bark in canopy, old large trunk wound closed over

Report Submitted By:

Molly Batchelder, Consulting Arborist  
 WC ISA Certified Arborist #9613A  
 Tree Risk Assessment Qualified (TRAQ)

SBCA Tree Consulting  
 1534 Rose St. Crockett, CA 94525  
[steve@sbcacorp.com](mailto:steve@sbcacorp.com)



## NOTES ON TREE PROTECTION:

ALL TREES SHOWN TO BE PROTECTED ARE OFF SITE, EITHER AS STREET TREES OR ON AN ADJACENT PROPERTY. ALL TREES TO BE PROTECTED ARE IN EXISTING TREE WELLS AND THE TREE PROTECTION FENCE WILL FOLLOW THE PERIMETER OF THE TREE WELL, WHICH IS GENERALLY 4X4 FEET.

ALL TREES TO BE PRESERVED SHALL BE PROTECTED WITH FIVE OR SIX (5' - 6') FOOT HIGH CHAIN LINK FENCES. FENCES ARE TO BE MOUNTED ON TWO INCH DIAMETER GALVANIZED IRON POSTS, DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST 2-Feet AT NO MORE THAN 10-FOOT SPACING (SEE PUBLIC WORKS DEPARTMENT DETAIL #505, APPENDIX K). THIS DETAIL SHALL APPEAR ON GRADING, DEMOLITION AND IMPROVEMENT PLANS.



**WATRY DESIGN, INC.**  
 Architects • Engineers • Parking Planners

PROJECT NUMBER:  
**16-138**

PROJECT NAME:  
**DOWNTOWN PARKING GARAGE**

SHEET NAME:  
**ARB 4.3- TREE PROTECTION PLAN**

CLIENT NAME:  
**CITY OF PALO ALTO**

DATE ISSUED:  
**07/12/18**





## TREE DISCLOSURE STATEMENT

**CITY OF PALO ALTO**  
Planning Division, 250 Hamilton Avenue  
Palo Alto, CA 94301  
(650) 329-2441  
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 375 Hamilton Ave.

Are there Regulated<sup>1</sup> trees on or adjacent to the property? **YES** NO (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

- ☒ On the property  
☒ On adjacent property overhanging the project site  
☐ In the City planter strip or right-of-way easement within 30' of property line (Street Trees)\*

\*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected<sup>1</sup> or Designated<sup>1</sup> Trees? **YES** Check where applicable NO

- ☒ Protected Tree (s)  
☐ Designated Tree (s)  
☐ On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? **YES** NO

If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, Tree Protection, its Part of the Plan!\*, per Site Plan Requirements.

4. Are the Site Plan Requirements\*\* completed? **YES** NO

\*\*Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: \_\_\_\_\_ Print: \_\_\_\_\_ Date: \_\_\_\_\_  
(Prop. Owner or Agent)

## FOR STAFF USE:

**Protective Fencing**  
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES NO  
(N/A if there are no protected trees, check here ☐)

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. YES NO  
(N/A if there are no street trees, check here ☐)

<sup>1</sup> Regulated Trees – a) Street trees – trees on public property; b) Protected trees – Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees – commercial or non-residential property trees, which are part of an approved landscape plan.

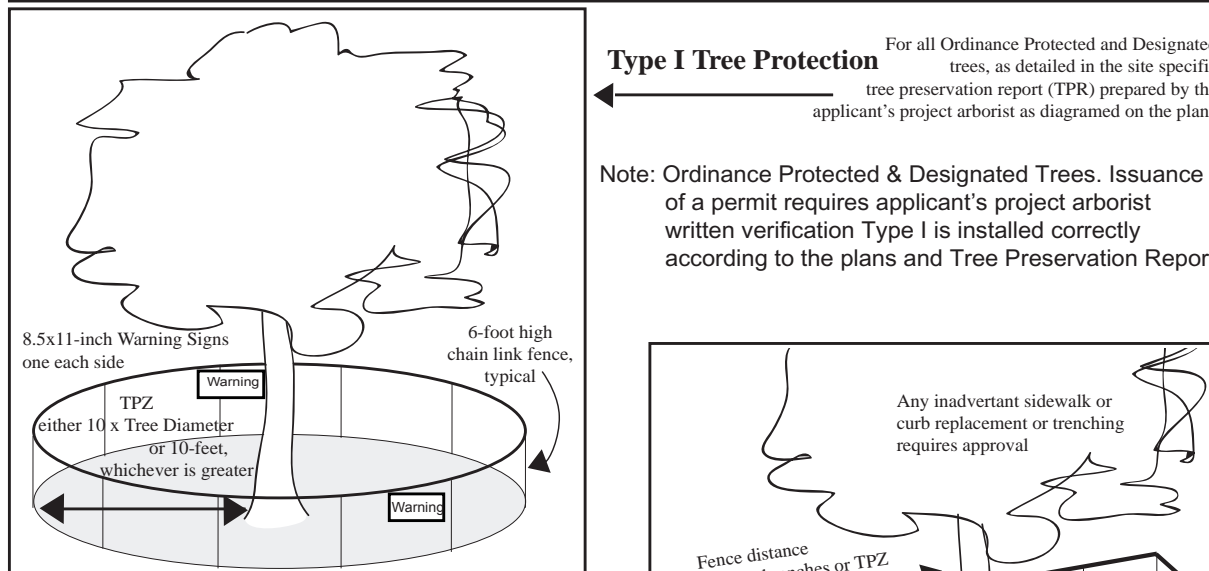
<sup>2</sup> Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at [http://www.cityofpaloalto.org/planning-community/tree\\_technical-manual.html](http://www.cityofpaloalto.org/planning-community/tree_technical-manual.html)

S:\Plan\Pladv\Arborist\Tree Protection Info\Tree Disclosure Statement

Revised 08/06

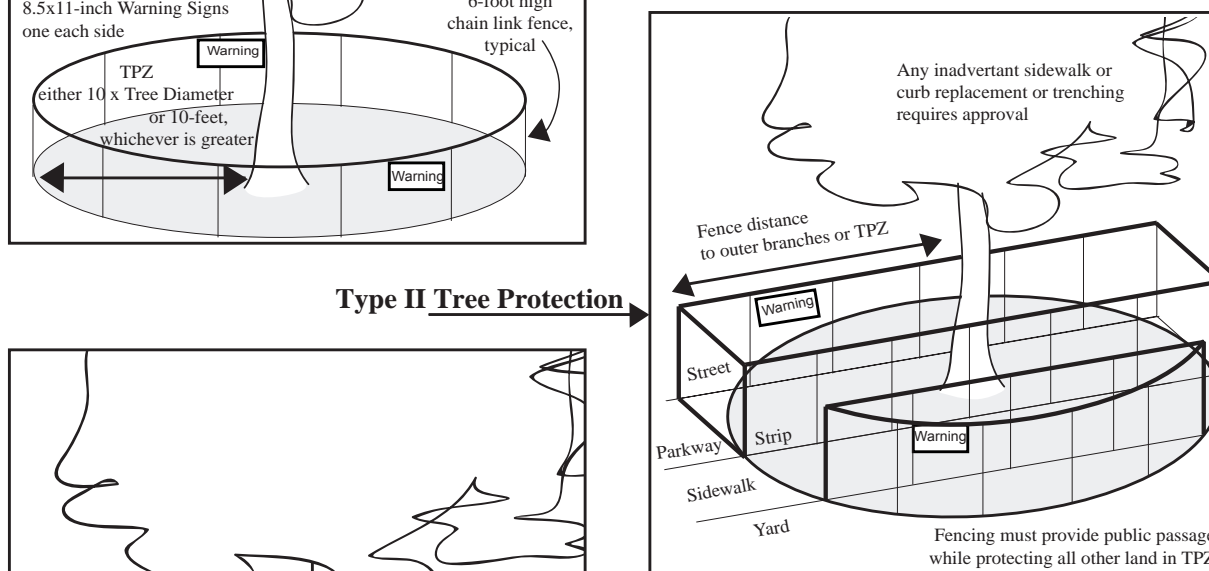
For written specifications associated with illustrations below, see Public Works Specifications Section 31  
Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) ([www.cityofpaloalto.org/trees/](http://www.cityofpaloalto.org/trees/))

**Tree Protection Zone (TPZ)** shown in gray (radius of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater):  
• Restricted activity area – see Tree Technical Manual Sec 2.15(E).  
• Restricted trenching area – see Tree Technical Manual Sec 2.20(C-D), any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call 650-496-5953.



**Type I Tree Protection** For all Ordinance Protected and Designated trees, as detailed in the site-specific tree preservation report (TPR) prepared by the applicant's project arborist as diagrammed on the plans.

Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report



Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.

**Type III Tree Protection**  
(to be used only with approval of Public Works Operations)

Rev	By	Date	Tree Protection During Construction	Approved by:
0	DWH	12/14/92		Dave Dockter
01	D.D.	08/04/04		PE No.
02	D.D.	08/10/06		Date 2006
Scale: NTS			City of Palo Alto Standard	Dwg No. 605



## PALO ALTO STREET TREE PROTECTION INSTRUCTIONS --SECTION 31--

## APPENDIX J

- 31-1 General**
- a. Tree protection has three primary functions.** 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- b. The Tree Protection Zone (TPZ)** is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet; whichever is greater, enclosed by fencing.
- 31-2 Reference Documents**
- a. Detail #605** - Illustration of situations described below.
- b. Tree Technical Manual (TTM) Forms** (<http://www.cityofpaloalto.org/trees/>)
- c. 1. Trenching Restriction Zones (TTM, Section 2.20(C))**  
**2. Arborist Reporting Protocol (TTM, Section 6.30)**  
**3. Site Plan Requirements (TTM, Section 6.33)**  
**4. Tree Disclosure Statement (TTM, Appendix J)**
- c. Street Tree Verification (STV) Form** (<http://www.cityofpaloalto.org/trees/forms>)
- 31-3 Execution**
- a. Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.
- b. Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
- c. Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.
- d. Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.
- e. 'Warning' signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."
- f. Duration.** Tree fencing shall be erected before demolition; grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.
- g. During construction**
- 1.** All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- 2.** The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
- 3.** The following tree preservation measures apply to all trees to be retained:
- a.** No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
- b.** The ground under and around the tree canopy area shall not be altered.
- c.** Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION  
City of Palo Alto 2004 Standard Drawings and Specifications  
Street Tree Verification of Protection, PWE, Section 31

Revised 08/06

Table 2-2 Palo Alto Tree Technical Manual

## CONTRACTOR &amp; ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at [www.cityofpaloalto.org/environment/](http://www.cityofpaloalto.org/environment/)

## ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- ☒ **Inspection of Protective Tree Fencing.** For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).
- ☒ **Pre-Construction Meeting.** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).
- ☒ **Inspection of Rough Grading or Trenching.** Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, damage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- ☒ **Monthly Tree Activity Report Inspections.** The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).
- ☒ **Special activity within the Tree Protection Zone.** Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- ☐ **Landscape Architect Inspection.** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- ☐ **List Other** (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

\* \_\_\_\_\_  
\* \_\_\_\_\_



**City of Palo Alto  
Tree Department**  
Public Works Operations  
PO Box 10250 Palo Alto, CA 94303  
650/496-5953 FAX: 650/552-9289  
[treeprotection@cityofpaloalto.org](mailto:treeprotection@cityofpaloalto.org)

## Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

<b>APPLICATION DATE:</b>	
<b>ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED:</b>	
<b>APPLICANT'S NAME:</b>	
<b>APPLICANT'S ADDRESS:</b>	
<b>APPLICANT'S TELEPHONE &amp; FAX NUMBERS:</b>	
This section to be filled out by City Tree Staff	
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is:	YES <input type="checkbox"/> NO* <input type="checkbox"/> * If NO, go to #2 below
<b>Inspected by:</b>	
<b>Date of Inspection:</b>	
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required:	
Indicate how the required modifications were communicated to the applicant.	
Subsequent Inspection	
Street trees at above address were found to be adequately protected:	YES <input type="checkbox"/> NO* <input type="checkbox"/> * If NO, indicate in "Notes" below the disposition of case.
<b>Inspected by:</b>	
<b>Date of Inspection:</b>	
<b>Notes:</b> List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.	
<b>Return approved sheet to Applicant for demolition or building permit issuance.</b>	

S:\PWO\OPS\Tree\DS\St/TreeProtect

5/17/06

City of Palo Alto Tree Technical Manual

ADDENDUM 11

Arborist Firm Data Here

Inspection Date:	Site address:	Contractor-Main Site Contact Information	#1: Job site superintendent Company: Email: Job site Office: Cell: Mail:
Inspection #	Palo Alto, CA		
		Also present:	• _____ • _____
Distribution:	1. City of Palo Alto 2. Others	Attn: Dave Dockter	<a href="mailto:dave.dockter@cityofpaloalto.org">dave.dockter@cityofpaloalto.org</a> 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits)
  - Pre-construction meeting requirement with sub-contractors
  - Inspect to verify that tree protection measures are in place
  - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
  - Tree Protection Fences (TPF) are ...
  - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
  - Tree Protection Fence (TPF) needs adjusting (tree # x, x, x)
  - Root zone buffer material (wood chips) can be installed next
  - Schedule sewer trench, foundation dig with ...

4. Photographs (use often)

5. Tree Location Map (mandatory 8.5 x 11 sheet)

6. Recommendations, notes or monitor items for project/staff/schedule

•

7. Past visits (list carry-over items satisfied/still outstanding)

•

Respectfully submitted,

Project site arborist  
Consultant contact information (Include email, cell#, and mailing)  
Cc:

Enter Date CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

# ---WARNING---

## Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day\*

\*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

## SPECIAL INSPECTIONS

## PLANNING DEPARTMENT

## TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: \_\_\_\_\_

DATE OF 1<sup>ST</sup> TREE ACTIVITY REPORT: \_\_\_\_\_

CITY STAFF: \_\_\_\_\_

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed



**WATRY DESIGN, INC.**  
Architects • Engineers • Parking Planners

HAYES  
GROUP  
ARCHITECTS

PROJECT NAME:

DOWNTOWN PARKING GARAGE

SHEET NAME:

ARB 4.4 T1 SPECIAL TREE  
PROTECTION INSTRUCTION SHEET

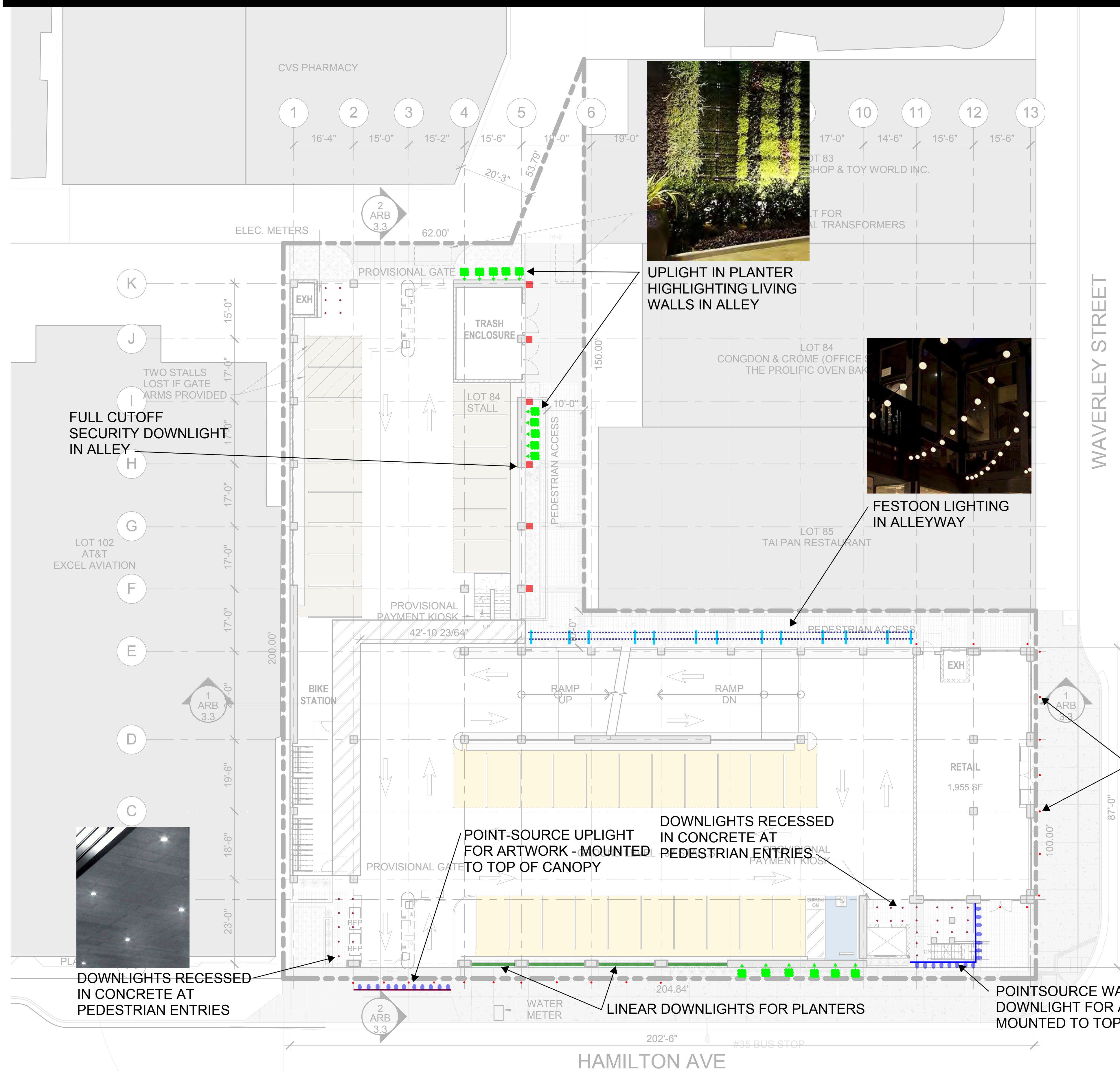
CLIENT NAME:

CITY OF PALO ALTO

DATE ISSUED:

07/12/18





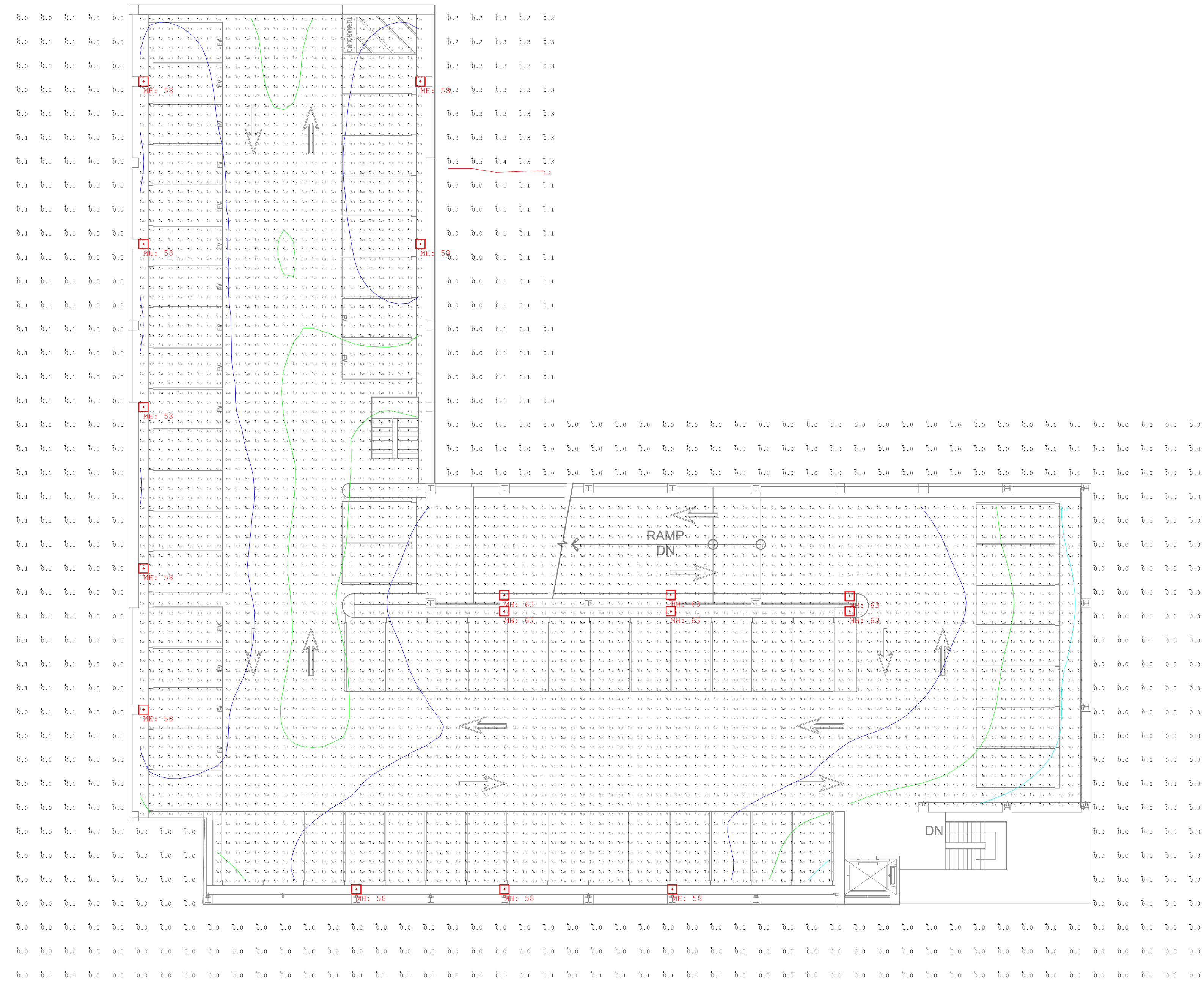
EXTERIOR LIGHTING DESIGN AND SCHEDULE

- LINEAR DOWNLIGHT GRAZING LIVING WALL ON HAMILTON AVENUE  
:: LUMENPULSE "LUMENFACADE" SERIES
- POINT SOURCE DOWNLIGHT FOR ART MOUNTED TO TOP OF WALL  
:: ECOSENSE "RISE" SERIES
- DOWNLIGHT RECESSED IN CONCRETE AT PEDESTRIAN ENTRIES  
:: DELTALIGHT "MINI-DIRO" SERIES
- DOWNLIGHT IN CANOPIES  
:: ZANIBONI "LUNA 2" SERIES
- LINEAR DOWNLIGHT HIDDEN IN CANOPY FRAMEWORK  
:: AION "WT402" SERIES
- FESTOON LIGHTING IN ALLEYWAY  
:: TOKISTAR "EXHIBITOR" SERIES
- UPLIGHT IN PLANTER HIGHLIGHTING LIVING WALL IN ALLEY  
:: B-K "DENALI" SERIES
- FULL CUTOFF SECURITY DOWNLIGHT IN ALLEY  
:: GARDCO "111 MINI" SERIES
- POINT SOURCE UPLIGHTING MOUNTED TO CANOPY  
:: ECOSENSE "RISE" SERIES

GROUND LEVEL PLAN

1/16" = 1'-0"





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
spill light	Illuminance	Fc	0.04	0.4	0.0	N.A.	N.A.
Top Deck	Illuminance	Fc	2.46	6.8	0.2	12.30	34.00



Philips Gardco SlenderForm SFA/SFV luminaires combine LED performance excellence and advanced Philips Gardco LED thermal management technology with a distinct styling to provide outdoor area lighting that is both energy efficient and aesthetically pleasing. SlenderForm is defined by its high performance, sleek low profile design and rugged construction.

[illegible]

1. Available only on 120, 208, 280, and 377 (or UNV).  
2. Specify input voltage.  
3. Not available with 347V or 480V.  
4. HFS not available with Type S.  
5. Not compatible with SFV fixtures.  
6. DD option is required for pole mount motion sensor.  
7. Pole mounted sensor must be ordered separately.  
(See accessories page)  
8. Not available with 6-GL.

SlenderForm\_SFA\_SFV\_LED 04/17 page 1 of 5

**PROPOSED LUMINAIRE FOR TOP DECK LIGHTING**  
INTEGRAL MOTION DETECTOR TO REDUCE LIGHTING TO 20% WHEN VACANT



UPLIGHT IN PLANTER HIGHLIGHTING LIVING WALL IN ALLEY  
:: B-K "DENALI" SERIES



LINEAR DOWNLIGHT HIDDEN IN CANOPY FRAMEWORK  
:: AION "WT402" SERIES

PROJECT NAME:

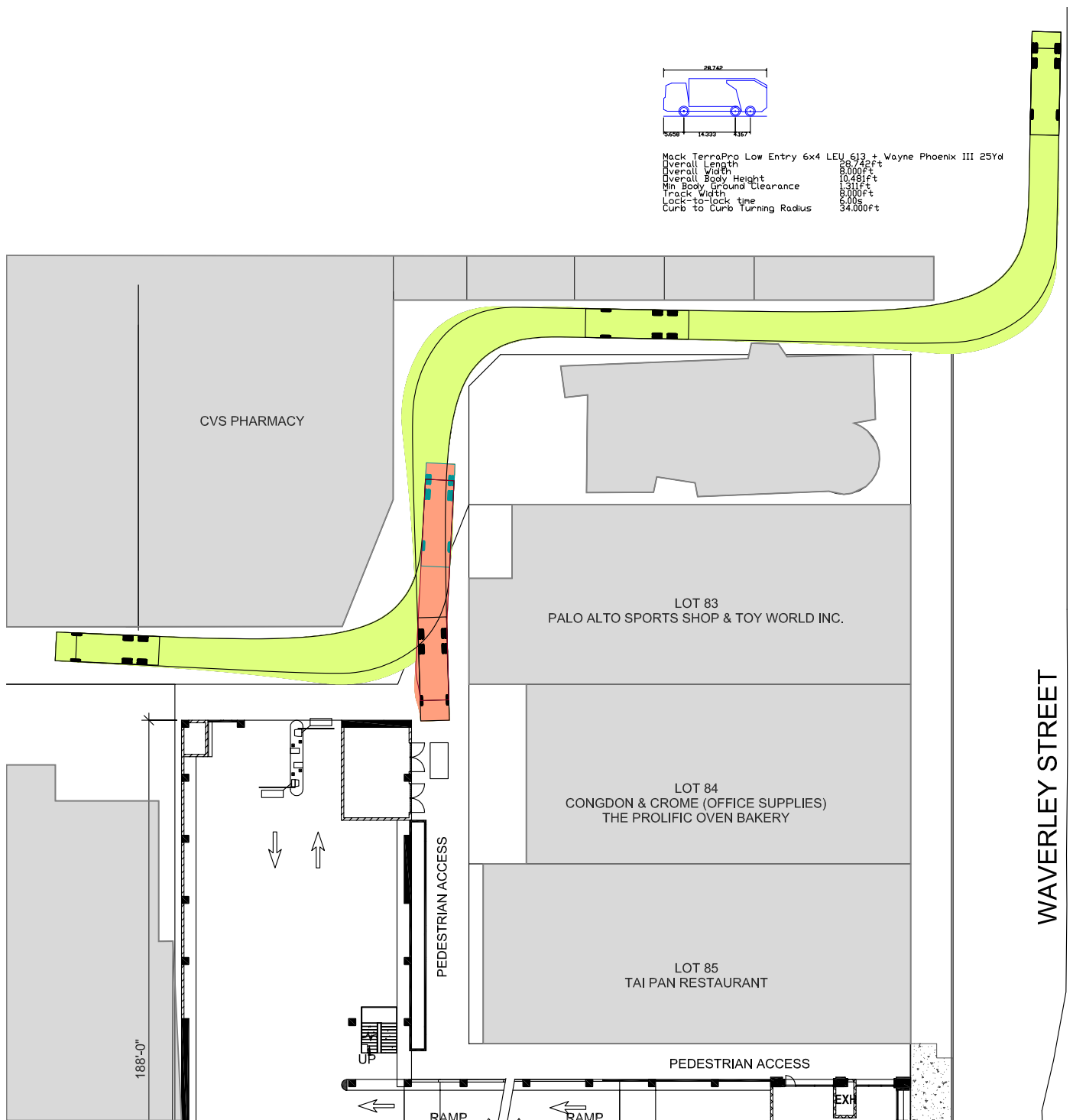
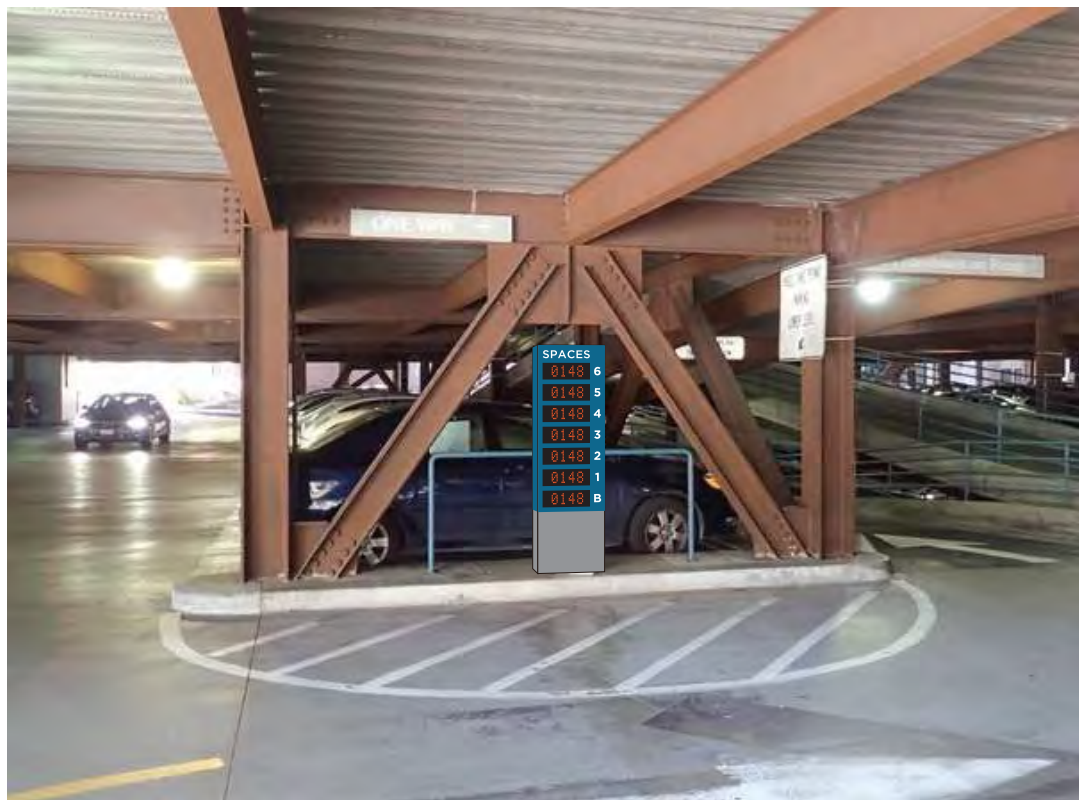
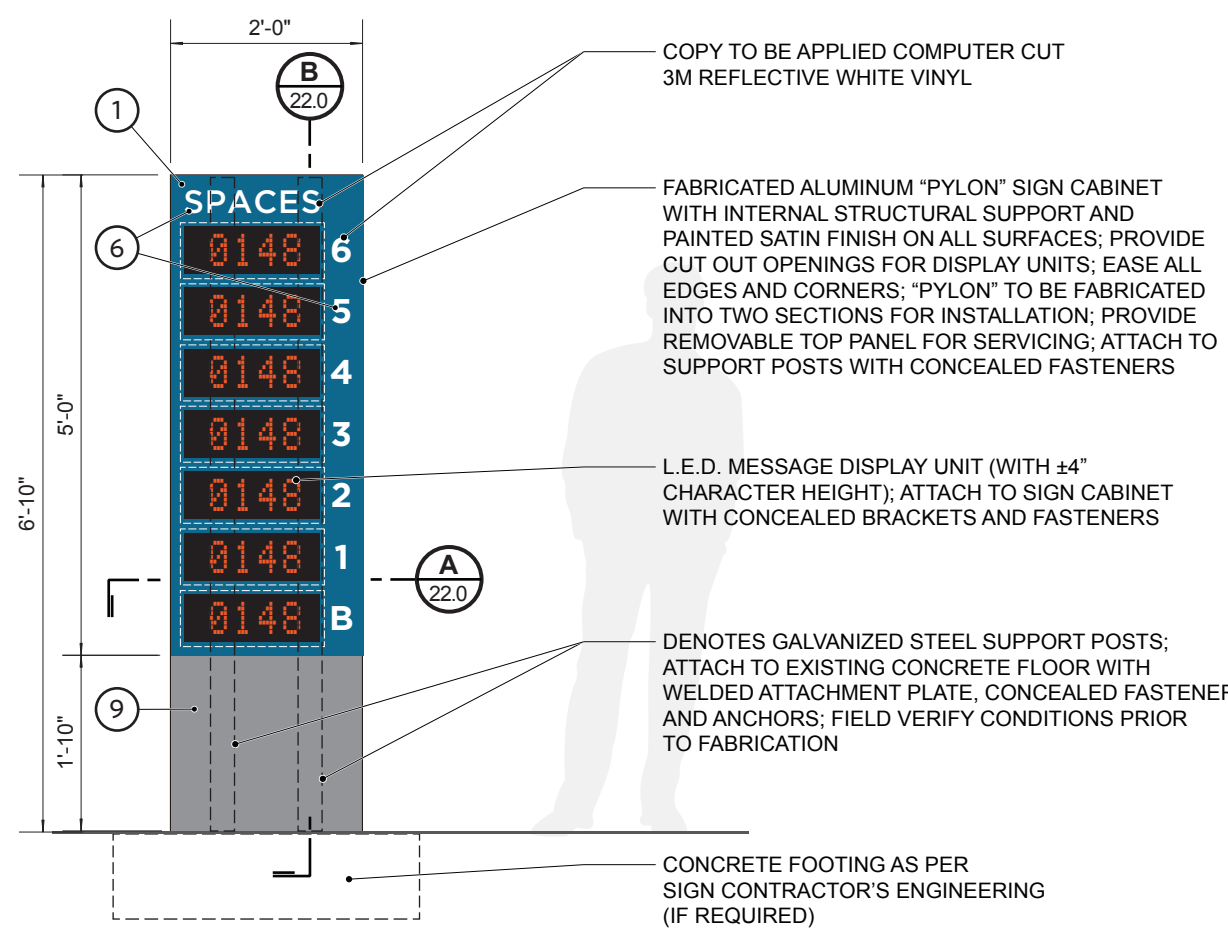
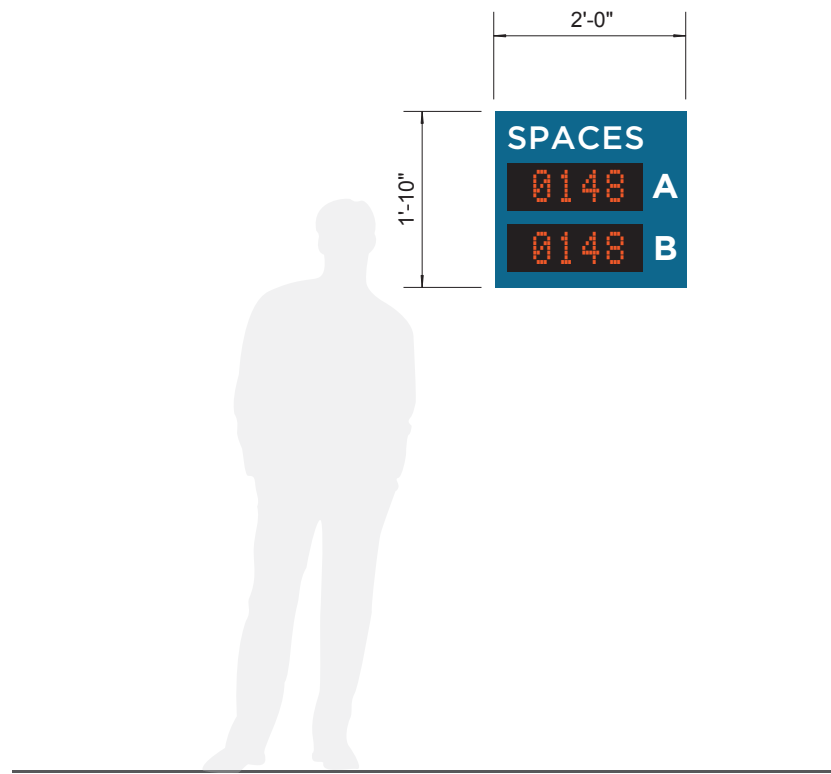
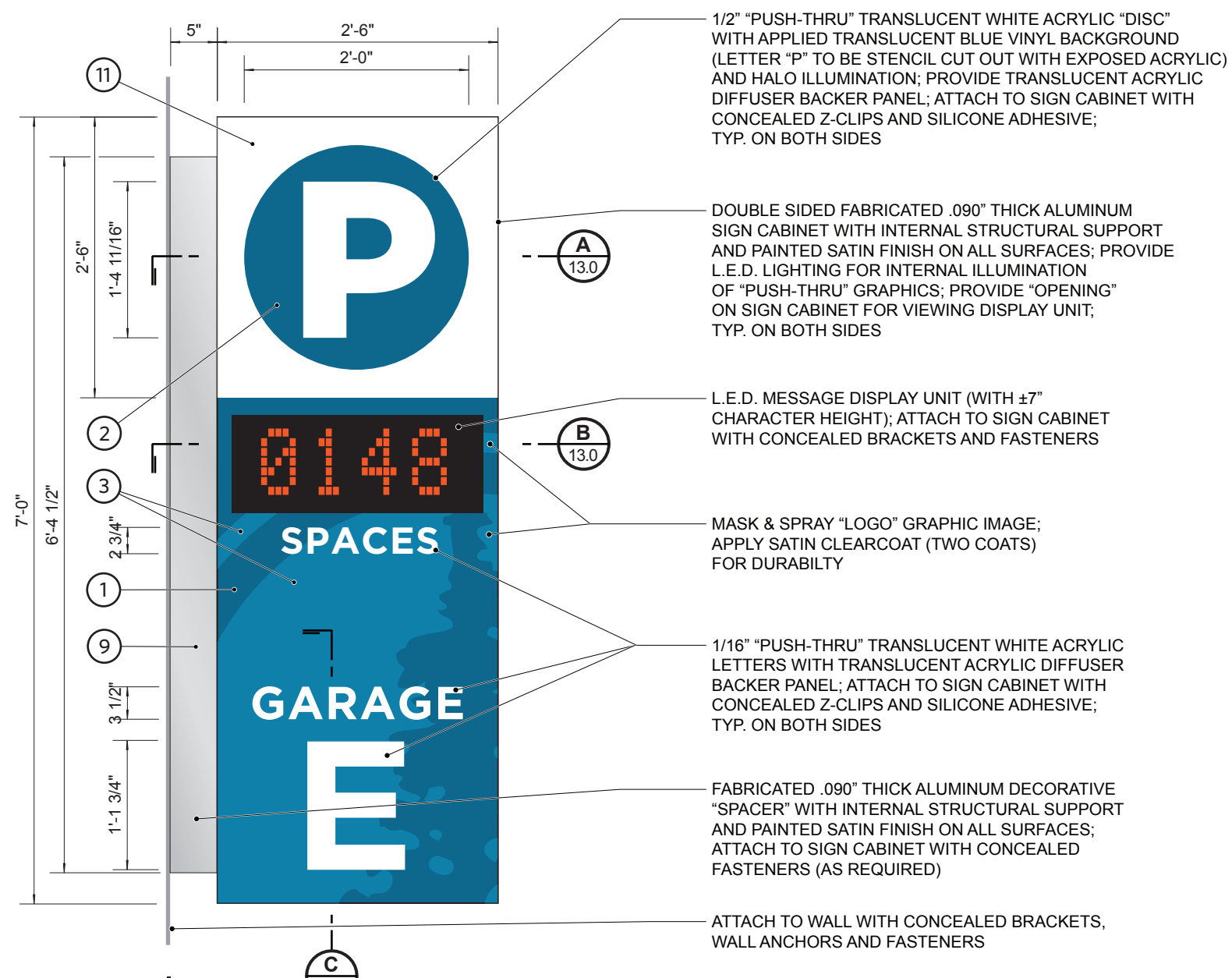
DOWNLIGHT RECESSED IN CONCRETE AT PEDESTRIAN ENTRIES  
:: DELTALIGHT "MINI-DIRO" SERIES

SHEET NAME:

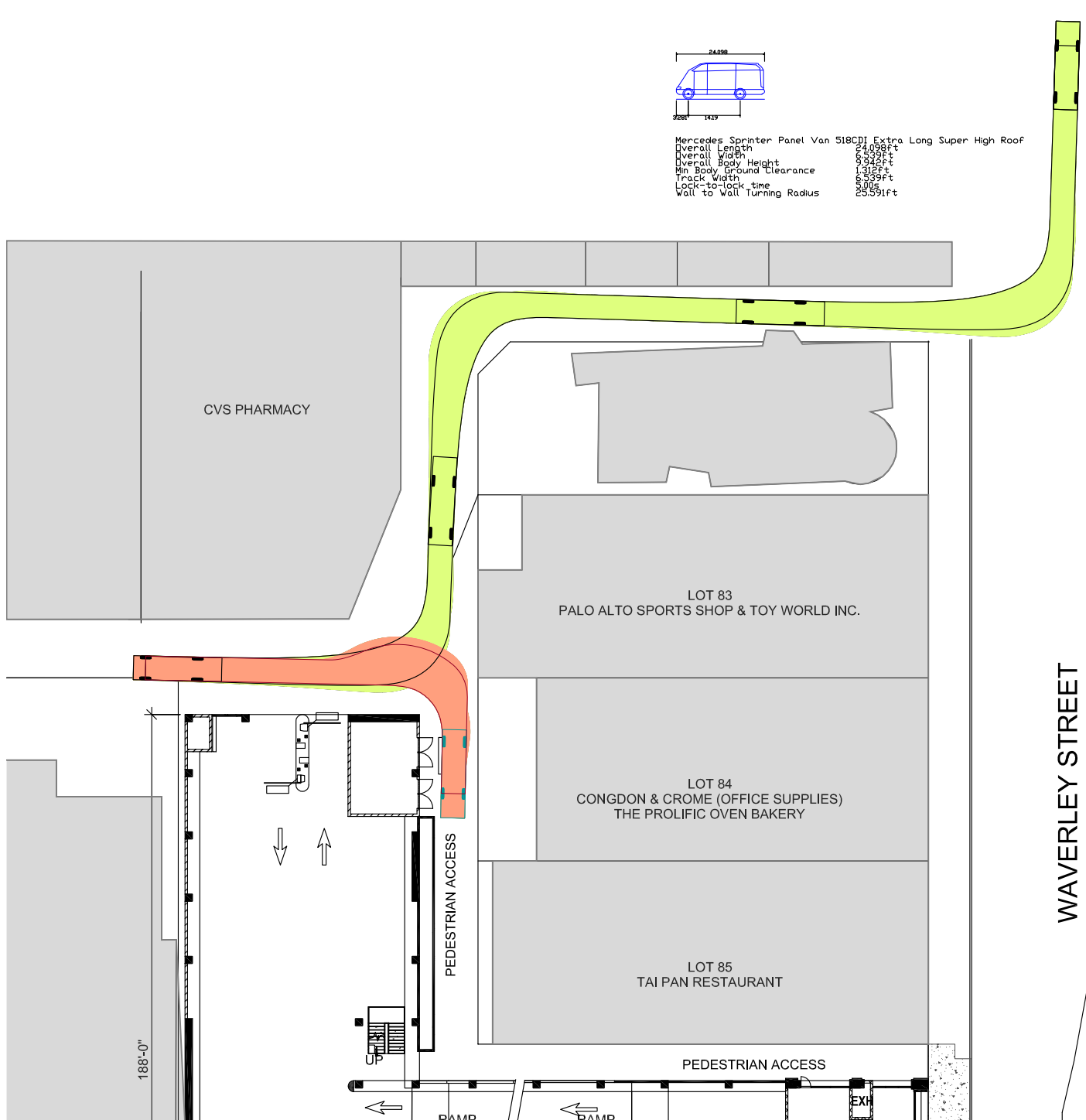
LINEAR DOWNLIGHT GRAZING LIVING WALL ON HAMILTON AVENUE  
:: LUMENPULSE "LUMENFACADE" SERIES

CLIENT NAME:	DATE ISSUED:
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Refuse Truck Turning Arc



Delivery Vehicle Turn Arc

**PARKING GUIDANCE SYSTEMS**  
Stall indicators and parking guidance signs will be used throughout the structure as part of the City's parking infrastructure development. Dynamic signage will mitigate any impact of dead end parking area.