

The Residences at Matadero Creek

RESIDENTIAL AND RETAIL



Palo Alto, 3400 El Camino Real



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

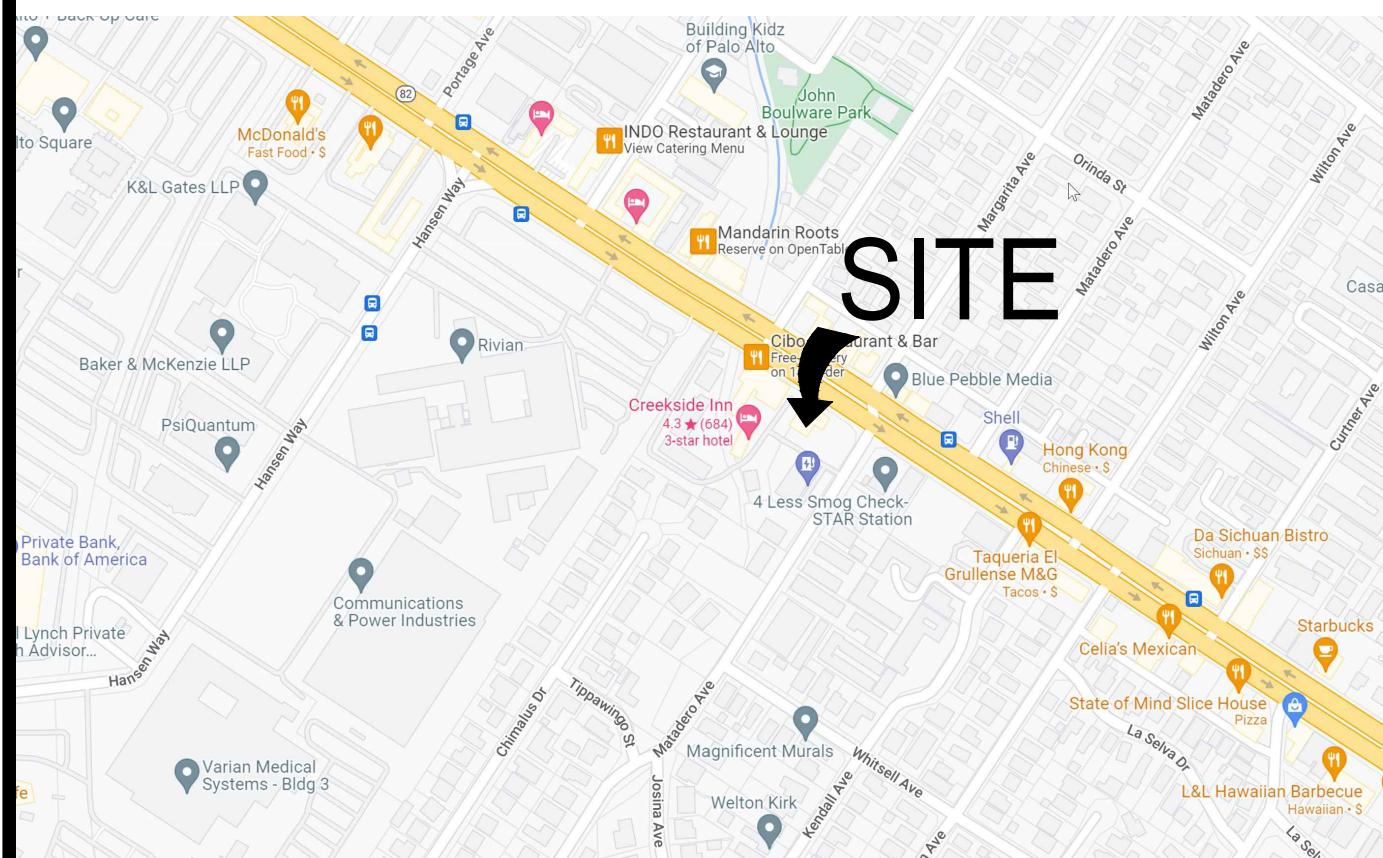
Residences At Matadero Creek
RESIDENTIAL AND RETAIL

Palo Alto, 3400 El Camino Real
Oxford Capital Group



FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

LOCATION MAP



SCOPE OF WORK

THE RESIDENCES AT MATADERO CREEK IS A WORKING NAME FOR A PLANNED HOUSING ZONE (PHZ) REDEVELOPMENT OF THE PROPERTY AT 3400 EL CAMINO REAL, PALO ALTO THAT WOULD CREATE 382 RESIDENTIAL RENTAL UNITS COMPRISED OF 44 STUDIOS, 243 ONE-BEDROOM, 86 TWO-BEDROOM AND 9 THREE-BEDROOM UNITS IN TWO BUILDINGS.

THE PROJECT WOULD REPLACE THE CREEKSIDE INN'S EXISTING 11 BUILDINGS WITH 136 HOTEL ROOMS AND ASSOCIATED HOSPITALITY OPERATIONS. THE HOTEL EMPLOYS 27 FULL TIME EMPLOYEES WHILE THE RESIDENCES WOULD EMPLOY 12 OR MORE FULL TIME EMPLOYEES. THE PROJECT WOULD DISPLACE NO EXISTING INDIVIDUAL OCCUPANTS BEFORE OR DURING CONSTRUCTION, I.E. ALL 382 UNITS ARE NET NEW. IN ADDITION, 4,485 SQUARE FEET OCCUPIED BY CIBO AND 4,250 SQUARE FEET OCCUPIED BY DRIFTWOOD DELI WOULD BE REPLACED BY A 4,000 SQUARE FOOT RETAIL SPACE ON EL CAMINO REAL WITH AN ADJACENT OPEN OUTDOOR SEATING PATIO.

FOR THE PROJECT, A LARGER OF TWO BUILDINGS WOULD FRONT EL CAMINO REAL AND CONTAIN 316 UNITS ON SIX LEVELS ABOVE GRADE OVER TWO LEVELS OF BELOW GRADE PARKING. THE BUILDING WOULD HAVE A HEIGHT OF 61 FEET TO THE BUILDING PARAPET WITH MECHANICAL EQUIPMENT ADDING ANOTHER 3 FEET IN HEIGHT. ON THE EL CAMINO FRONTAGE, THE BUILDING WOULD HAVE A 2-FOOT SETBACK AT THE SECOND FLOOR AND THE 6TH LEVEL WOULD FURTHER SETBACK FROM THE STREET BY ANOTHER 6-FEET ALONG EL CAMINO REAL AND MATADERO AVENUE. ON THE BACK SIDE OF THE PROPERTY INTERFACING THE R-1 NEIGHBORHOOD, THE 6TH FLOOR OF THIS BUILDING WOULD BE SETBACK NEARLY 27 FEET WHILE THE BASE OF THE BUILDING WOULD BE NEARLY 61 FEET.

THE SECOND BUILDING WOULD CONTAIN 66 UNITS ALSO WITH A HEIGHT OF 61 FEET PLUS 3 FEET IN TO ACCOMMODATE MECHANICAL EQUIPMENT FOR SIX LEVELS ABOVE GRADE, BUT NO BELOW GRADE PARKING STRUCTURE. THE BUILDING WOULD BE SETBACK IN RELATION TO THE REAR PROPERTY LINE BY 45.5 FEET WITH AN ADDITIONAL 6TH FLOOR SETBACK OF OVER 20 FEET. PARKING IS PROVIDED WITH A COMBINATION OF AT GRADE COVERED AND UNCOVERED STALLS AND TWO LEVELS OF BELOW GRADE PARKING BENEATH THE BUILDING FRONTING EL CAMINO REAL WITH A TOTAL OF 507 SPACES FOR RESIDENTIAL AND RETAIL USES THAT MEET PLANNING REQUIREMENTS. THE BELOW GRADE PARKING WOULD PROVIDE 400 PARKING SPACES. THE AT GRADE PARKING WOULD PROVIDE 107 PARKING SPACES THAT SET THE BUILDINGS BACK FROM ADJACENT PROPERTIES. THE PROPERTY WILL PROVIDE TWO-WAY CIRCULATION WITH ENTRY/EXIT ON BOTH EL CAMINO REAL AND MATADERO AVENUE FOR EVERYDAY AND EMERGENCY VEHICLE ACCESS. THE PROPOSED CIRCULATION PATTERN IS SIMILAR TO THE EXISTING INGRESS AND EGRESS PATTERNS ON THE PROPERTY.

RELATIVE TO PHZ REQUIREMENTS, 20% OF THE UNITS, OR 76 TOTAL, WOULD BE DESIGNATED FOR AFFORDABLE HOUSING, ALLOCATED AT 5% TO VERY LOW INCOME, 5% TO LOW INCOME, 5% TO MODERATE INCOME AND 5% TO THE ABOVE MODERATE INCOME, OR "WORKFORCE" CATEGORIES AS DETERMINED BY THE AREA MEDIAN INCOME. THIS IS 19 UNITS TO EACH CATEGORY. THE UNITS WOULD BE DISPERSED THROUGHOUT THE TWO BUILDINGS.

THE PROJECT WOULD CREATE AN ADDITIONAL COMMUNITY BENEFIT IN THE FORM OF AN ENHANCED FOOT PATH WITH SEATING AREAS OPEN TO THE PUBLIC ALONG MATADERO CREEK, WHICH BISECTS AND RUNS DIAGONALLY ACROSS THE PROPERTY. THE PATH WOULD ENABLE PEDESTRIANS TO TRAVEL TO OR FROM MATADERO AVENUE AT THE REAR CORNER OF THE PROPERTY TO THE OPEN SEATING AREA ADJACENT TO A GROUND FLOOR RETAIL ON EL CAMINO REAL.

DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
- STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D
- SOLAR PHOTOVOLTAIC SYSTEM TO BE UNDER A SEPARATE PERMIT

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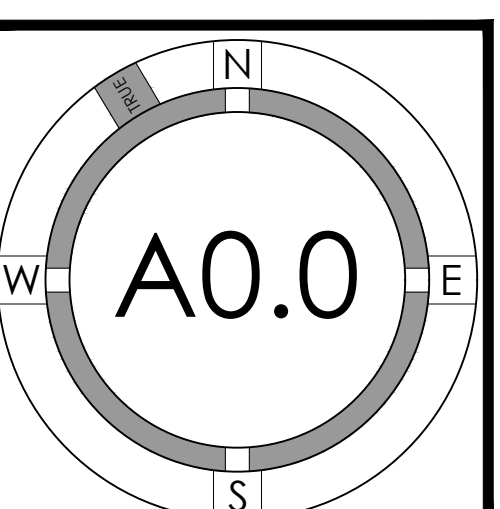
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PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY	JA/IG	JA/IG
22-002		2022.06.03	CITY COUNCIL PRE-SCREENING			
		2022.08.05	PLANNING RESUBMITTAL			

COVER SHEET





Explore Real Estate
CA BRE # 01478789
2625 Middlefield Rd, #101
Palo Alto, CA 94306

June 14, 2022
[Updated: July 7, 2022]

City Council
City of Palo Alto
250 Hamilton Avenue
Palo Alto, CA 94301

**Subject: Planned Home Zoning Residential Pre-Screening
Project Description, 3400 El Camino Real
The Residences at Matadero Creek**

Dear Honorable Mayor and Members of the City Council:

SF Creekside, LLC, an Oxford Capital Group-led joint venture ("Oxford"), owns the approximately 3.6-acre property at 3400 El Camino Real. The Creekside Inn is currently located on the property and includes 11 buildings with 136 hotel rooms, and ancillary event and conference space. The property also includes two existing restaurants, the Driftwood Deli and Cibo. The site is bounded by El Camino Real (and commercial uses across El Camino Real), Rivian corporate offices to the east, commercial and multi-family (RM-30) uses to the west, and single family residential to the south.

Since acquiring the property in 2020, Oxford has carefully considered options for the property including enhancing the existing hospitality focus or creating a multi-family housing project. To help determine the best way to move forward, Oxford had a Historic Resource Evaluation (HRE) prepared by VerPlanck Consulting in April 2022. The HRE concluded, based on criteria generally applicable to environmental impact studies, that the property does not appear eligible for listing on the California Register; and therefore, the Creekside Inn is not historic and does not need to be preserved. Oxford also engaged WRA Environmental Consultants to better understand Matadero Creek and incorporate their expertise into a new site plan that improves its natural setting.

Most importantly, Oxford carefully studied Palo Alto. The property is located along El Camino Real in an area Palo Alto has identified as appropriate for higher density housing. The City has identified the property in the Housing Element as a site that would be appropriate for up zoning. The City of Palo Alto has received an

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unprecedented Regional Housing Need Allocation (RHNA) and needs to produce a significant number of market rate and affordable housing units. Further, the City Council has signaled its interest in seeing housing projects through the discretionary Planned Home Zoning (PHZ) process, which allows flexibility for projects that benefit the community by providing needed housing. While making a multi-family residential project financially feasible in Palo Alto is a challenge, Oxford is excited about the opportunity to pursue the multi-family residential PHZ project described herein with a working name of "The Residences at Matadero Creek."

Project Description

The Residences at Matadero Creek would bring 382 new residential rental units, inclusive of 44 studios, 243 one-bedroom, 86 two-bedroom and 9 three-bedroom units in two buildings, to the City of Palo Alto. Of those, 20% or 76 units would be affordable.

One building would front El Camino Real and contain 316 units on six levels above grade over two levels of below grade parking. The building would have a height of 61 feet to the building parapet with mechanical equipment adding another 3 feet in height. On the El Camino frontage, the building would have a 2-foot setback at the second floor and the 6th level would further setback from the street by another 6-feet along El Camino Real and Matadero Avenue. In order to respect the adjacent residential neighborhood at the rear of the property, the 6th floor of this building would be setback another nearly 27 feet while the setback from the rear property line of the base of the building would be nearly 61 feet.

The second, smaller building, set back from El Camino Real and on the other side of Matadero Creek, would contain 66 units also with a height of 61 feet and another 3 feet in height to accommodate mechanical equipment. This structure would have six levels above grade, but no below grade parking structure. The building would be setback in relation to the rear property line by 45.5 feet with an additional 6th floor setback of over 20 feet. These setbacks respect neighboring properties while allowing for the density needed to create a feasible residential rental project.

Parking for the property would be provided with a combination of at grade covered and uncovered stalls and two levels of below grade parking beneath the building fronting El Camino Real with a total of 507 spaces for residential and retail uses that meet planning requirements. The parking would utilize an open stall configuration with no mechanical parking equipment. The larger building would provide 400 parking spaces below grade. At grade parking would provide 107 parking spaces that set the buildings back from adjacent properties and are accessed by a two-way ingress and egress passage for everyday and emergency vehicle access. The proposed circulation pattern is like existing ingress and egress patterns on the property.

Further, the project plans to unbundle parking spaces from rental units, i.e., occupants would pay an additional fee for an assigned parking space. Unbundling parking is a proven transportation demand management tool to reduce the need for parking and encourage alternative modes of travel. The project provides adequate parking for the residential units. Although guest parking spaces are not

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a requirement of a PHZ project, it is reasonable to assume that parking provided will adequately provide for guest parking. If unbundling parking reduces parking demand by 10%, those spaces not utilized by residents can be allocated to guest parking uses on a predictable basis. With this project, if 90% of spaces were leased, 48 parking spaces would be available to be managed as guest parking spaces, which would avoid any potential neighborhood parking intrusion.

In accordance with City Council direction relative to PHZ projects, 20% of the new units would be designated according to "Option 1" of the Planning Staff Report dated June 23, 2020. This equally distributes the units across four categories of the Area Median Income (AMI), or 5% of units as Very Low Income, 5% Low Income, 5% Moderate Income and 5% Workforce Housing. These 76 units would be dispersed throughout the two proposed buildings.

In addition to providing a community a benefit in the form of housing, the project is proposing to enhance the natural environment and include a meandering path with seating areas open to the public along Matadero Creek, which bisects and runs diagonally across the property. This path would enable pedestrians to travel to or from Matadero Avenue at the rear corner of the property to an open seating area adjacent to a ground floor retail area on El Camino Real. This is a unique feature of the proposed project and one which has been carefully designed to provide the entire community a new open space area.

The retail area on El Camino Real would be approximately 4,000 square feet with ground floor and mezzanine areas with an adjacent open outdoor seating patio. A total of 25 parking spaces out of the 507 total spaces would be allocated to the retail use and could be configured with a combination of at grade and below grade spaces. Retail and residential are complimentary uses that are appropriate for shared parking because retail demand is higher at the times when residential demand is lowest.

Key Project Considerations

The property currently includes three zoning designations – service commercial (CS), service commercial with a hotel overlay (CS(H)), and multi-family residential (RM-20). Oxford would like to comprehensively redevelop the site with a single vision that maximizes the residential potential, respects Matadero Creek and provides substantial public benefit, which would not otherwise be attainable under the existing zoning. Thus, consistent with Planned Community zoning and the City Council's PHZ guidance, Oxford is proposing a unified residential development plan with site specific development regulations, including residential density, floor area ratio, height, setback, and other open space requirements. These are a deviation from underlying zoning but are necessary for the comprehensive redesign of the property.

Floor Area Ratio. The project proposes a floor area ratio (FAR) of 2.49 for the residential development. If existing zoning were utilized, an FAR ranging from 0.5 to 2.0 would be allowable. As proposed, this is an increase of 24% over the maximum allowable 2.0 FAR. Given that the project proposes 20% affordable

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units, this increase is reasonable and similar to what would be allowed if the project utilized State Density Bonus Law and its incentives and waivers.

Density. The project proposes 106 units per acre for a total of 382 net new residential units. For comparison and context, the nearly completed Wilton Court project across El Camino Real is 128 dwelling units per acre. The recently completed and leasing up Alta Locale, also on El Camino Real, is 127 units per acre. Although this number of units per acre exceeds existing zoning, it is not unprecedented and can be allowed with the PHZ rezoning application.

Building Height. The project proposes up to 61 feet in height plus an additional 3 feet for mechanical equipment in certain areas. The gross height of these measurements compares similarly to a potential allowable gross height on the property of 50 feet to a building parapet with mechanical equipment allowed to exceed height by another 15 feet for a gross height of 65 feet, see Palo Alto Municipal Code 18.40.090. In addition, although the Planned Community zoning provides a maximum of 50 feet in height, it allows for projects to exceed that height pursuant to Palo Alto Municipal Code Chapter 18.76. The City Council has expressed interest in seeing residential projects along El Camino in areas zoned for commercial. This is the perfect location for approval of a PHZ allowing increased heights to generate housing units. The project proposes a unified and coherent design that creates a sense of order and a desirable environment for occupants, visitors and the community. It respects the creek and responds to the natural features of the land, including a path along the creek that allows for safe and easy pedestrian access.

Setbacks. As described above, the buildings are significantly setback from the rear property line with additional setbacks on the upper floors to minimize the massing for adjacent properties. The City Council can exercise its discretion to modify the setbacks through the PHZ ordinance that will be adopted for the project, especially where the project creates a unified and coherent design that provides community benefits. See for example PAMC 18.16.060(b), where the findings in Chapter 18.76 can be made and the setback reduced from 150 to 50 feet.

Development Impact Fees. The City of Palo Alto recently raised its development impact fees, in part to support affordable housing. However, these fees, including the recent and significantly increased park fees, are quite high, particularly for a project that would provide affordable housing, such that the fees make a residential project infeasible. Based on the proposed 382-unit project, the estimated park impact fees at \$42,468 per unit are over \$16 million dollars, making the provision of affordable housing or even market rate impossible. These are preliminary fee estimates, but they illustrate the magnitude of fees that are likely to be imposed on a project of this scale and that would make the provision of housing on-site infeasible. Therefore, as part of the PHZ rezoning ordinance, Oxford is proposing the Council support reducing or eliminating certain fees based on project considerations such as the provision of affordable housing or publicly accessible open space.

As described above, the City Council can make the necessary findings to approve a PHZ for this project. The property is in a commercial district within the South El Camino Real Multi-Neighborhood Center on a primary gateway of Palo Alto and is

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well suited for high density housing. The three different zoning designations on the property unduly constrain development and rezoning would provide flexibility for a cohesive and quality housing project. The housing project will result in community benefits not otherwise attainable, including both affordable housing and public access to Matadero Creek creating a pedestrian connection between residential and retail. Housing will be consistent with the Comprehensive Plan; specifically, policies like L-2.5 and 2.11 that support the creation of affordable housing units and that encourage redevelopment to incorporate natural features. Finally, the project will be compatible with existing and potential uses on adjoining sites or within the general vicinity as there is a mix of uses in the surrounding area including office, commercial, single and multi-family housing.

The City Council has considered several prescreening applications and almost none of them have moved forward. The City has learned from and continues to learn from these applications. However, it is time to do more than learn – the Council needs to encourage formal applications to come forward that include the necessary modifications to see the actual development of housing in Palo Alto. Thus, we encourage the Council to encourage Oxford to move this important residential project forward.

In advance, we thank Planning Staff for the review of this application and forthcoming prescreening with City Council and the constructive feedback the process is intended to provide.

Best Regards,

Ted O'Hanlon
Consulting Project Executive

cc: Jonathan Lait (jonathan.lait@cityofpaloalto.org)
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Leigh Prince (lp@jsmf.com)

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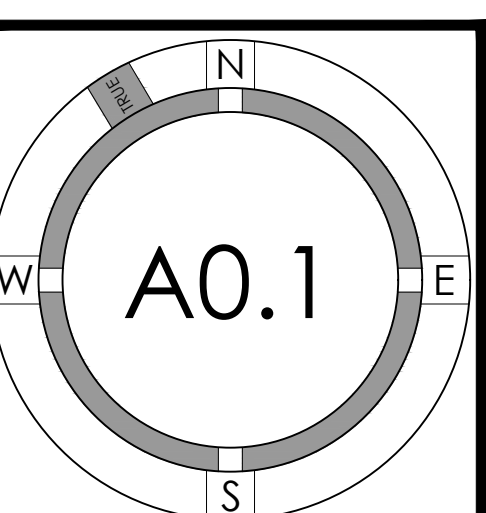
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Residences At Matadero Creek
RESIDENTIAL AND RETAIL
Palo Alto, 3400 El Camino Real
Oxford Capital Group



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22-002	2022.06.03	CITY COUNCIL PRE-SCREENING	JA/IG
	2022.08.05	PLANNING RESUBMITTAL	JA/IG

PROJECT NARRATIVE





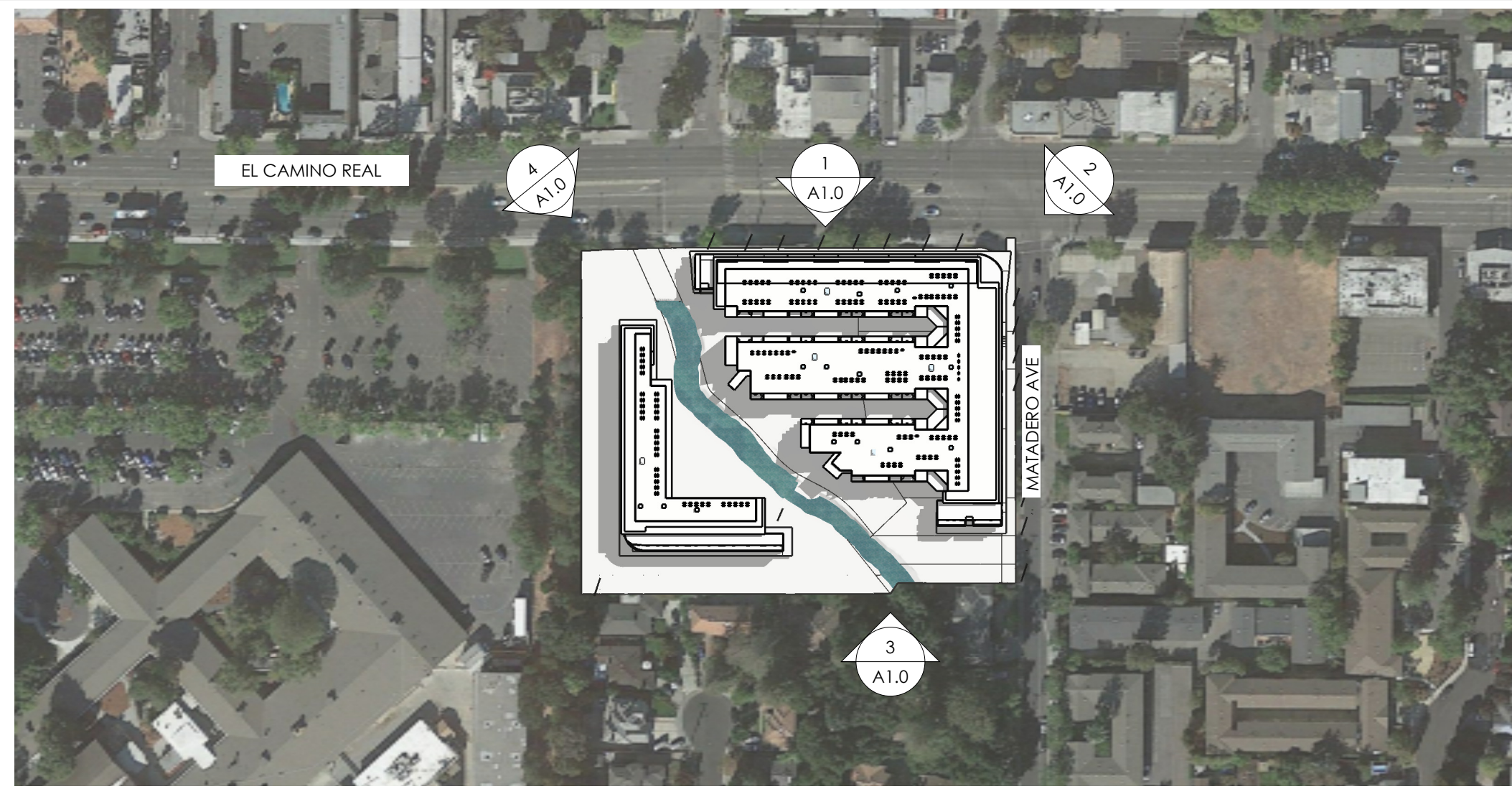
VIEW - EL CAMINO REAL LOOKING DOWN TO MATADERO AVE

2



VIEW - MATADERO AVE

1

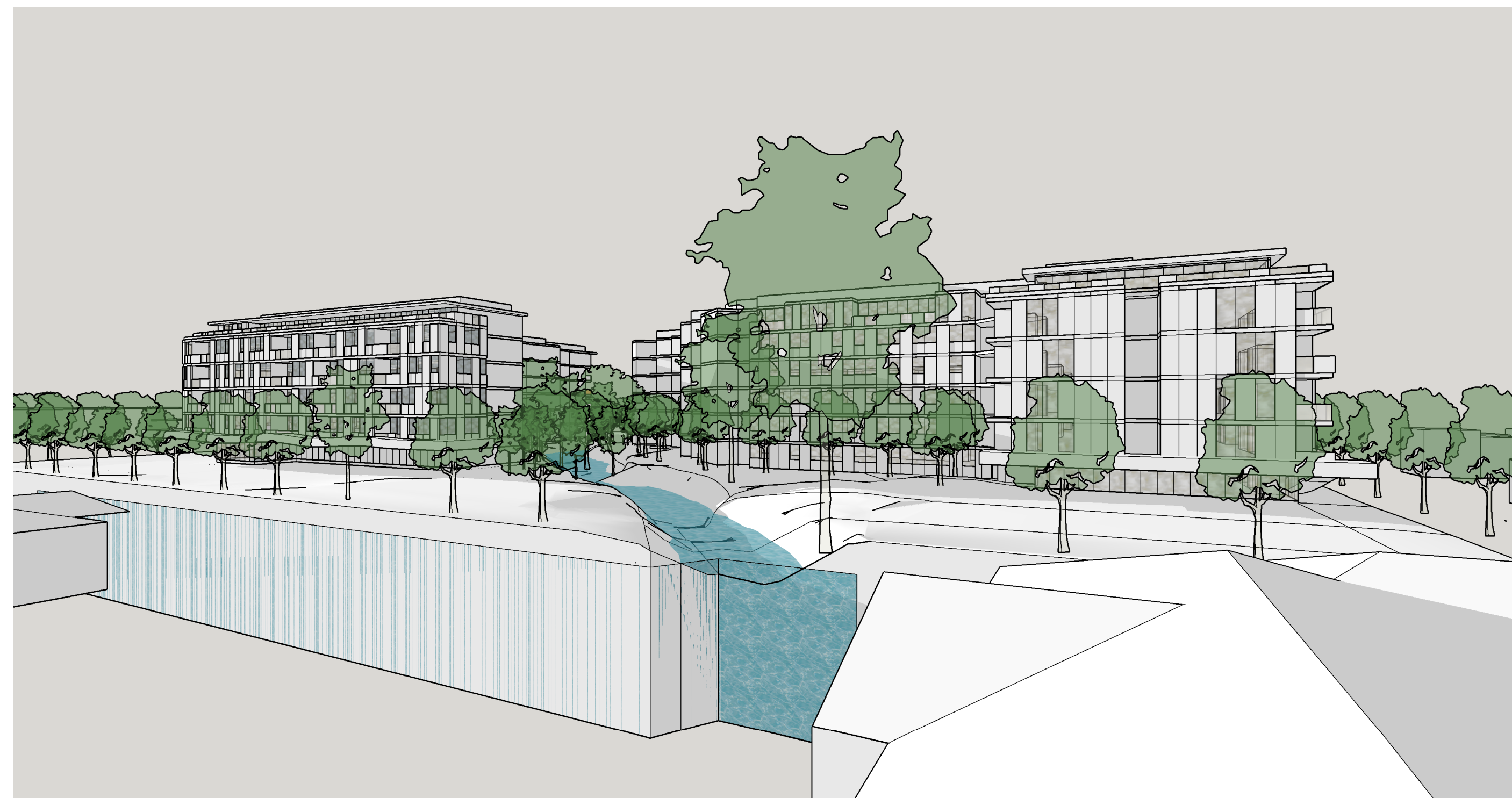


KEYPLAN



VIEW - EL CAMINO

4



VIEW - REAR SIDE

3



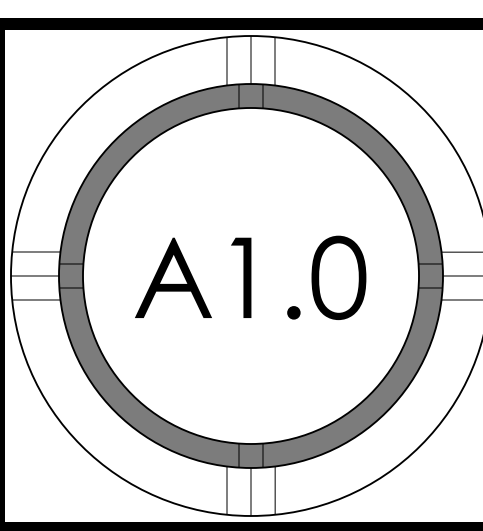
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Palo Alto, 3400 El Camino Real
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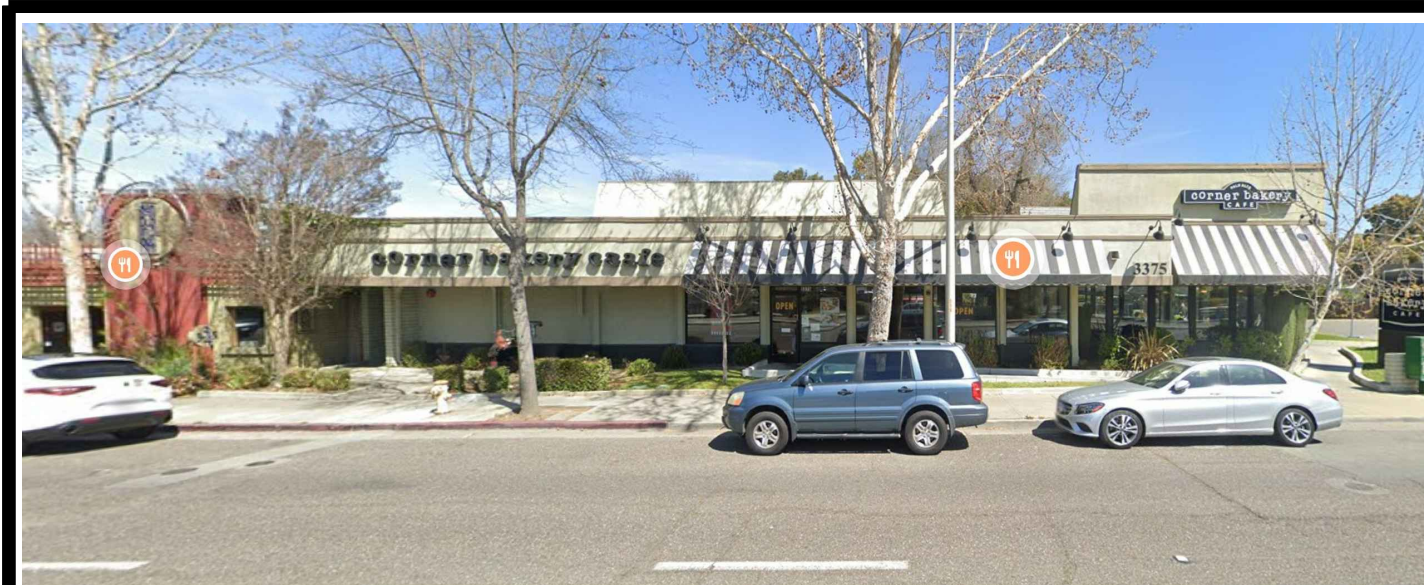


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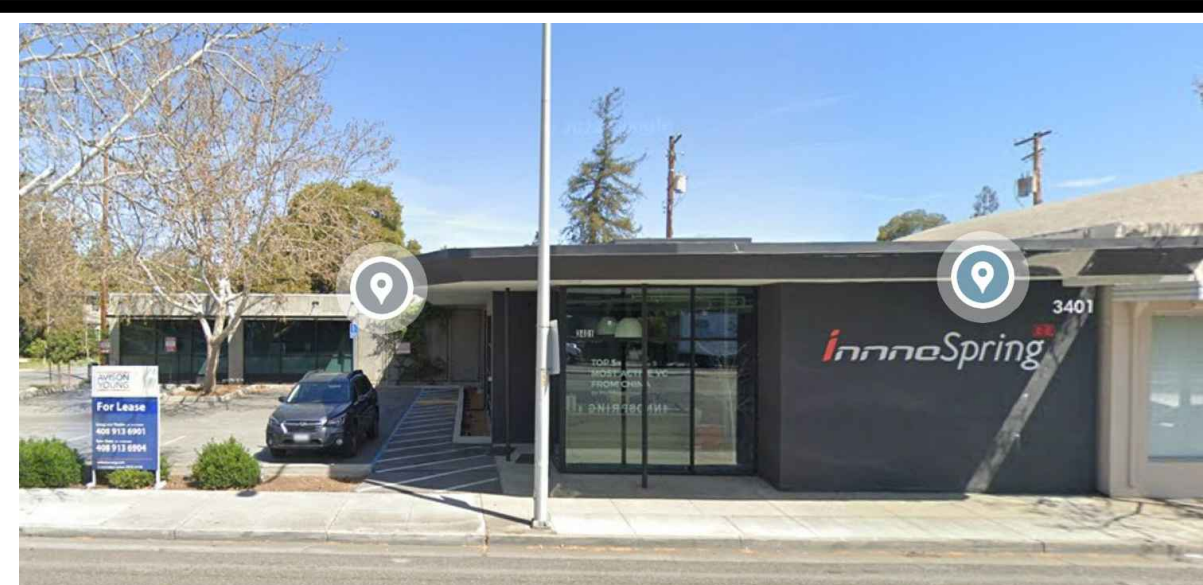
STREETVIEW
PERSPECTIVES



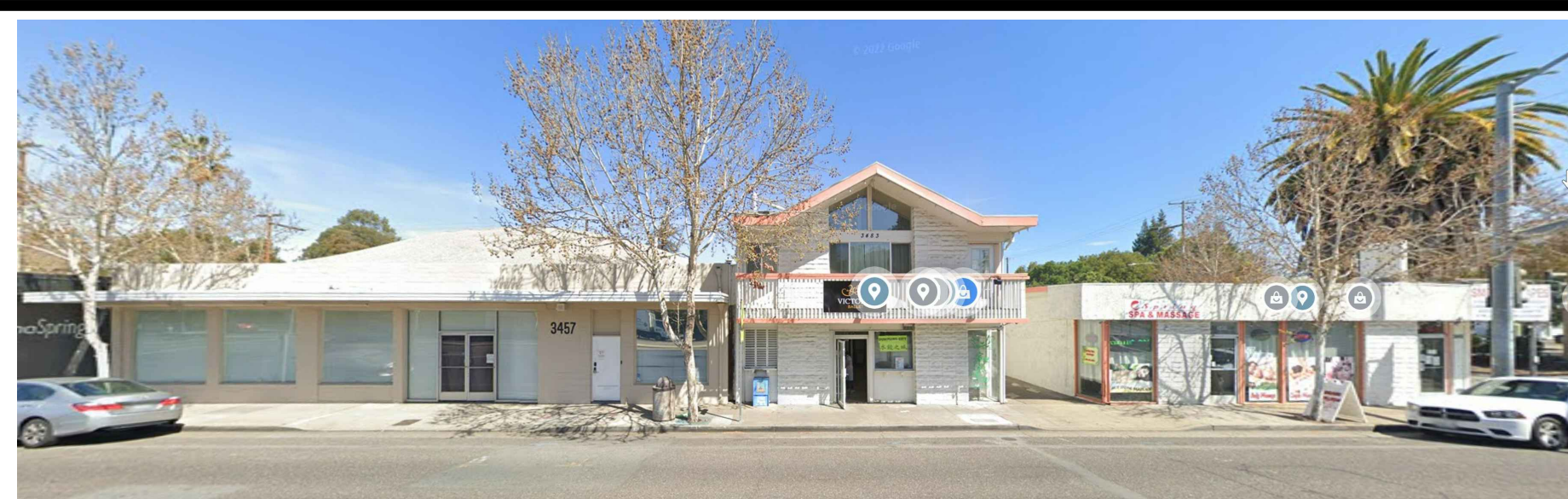
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3375 El Camino Real



3401 El Camino Real



3457 El Camino Real

3483-3485 El Camino Real

3489-3491 Camino Real



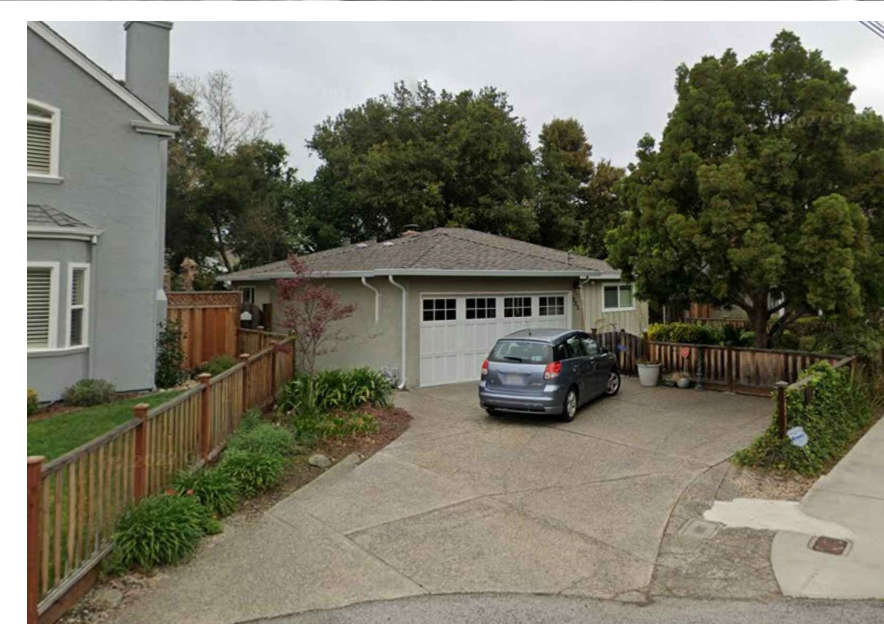
3505 El Camino Real



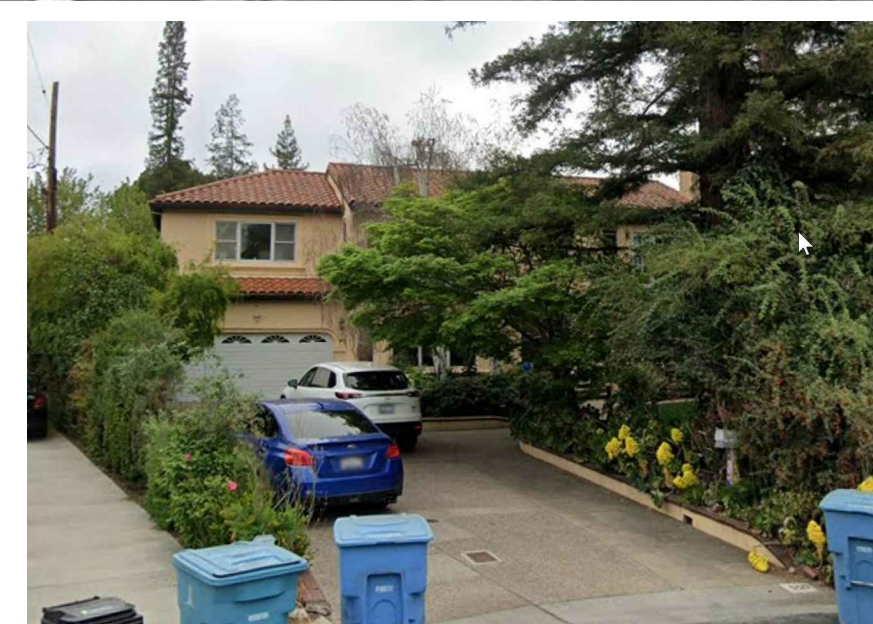
**3400 EL CAMINO REAL
6 STORY RESIDENTIAL AND RETAIL
(PROPOSED)**



Hansen Way



572 Chimalus Dr



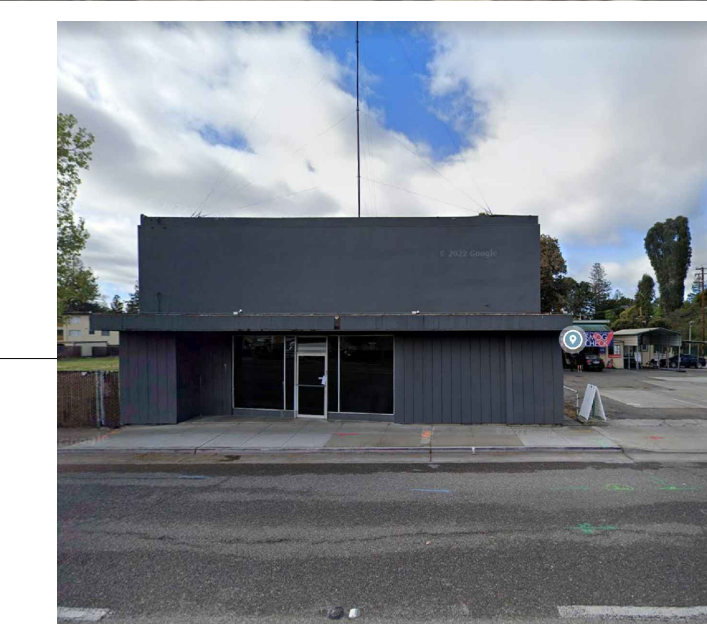
550 Chimalus Dr



568 Matadero Ave



529 Matadero Ave



3516 El Camino Real

CONTEXTUAL SITE PLAN 50' 1



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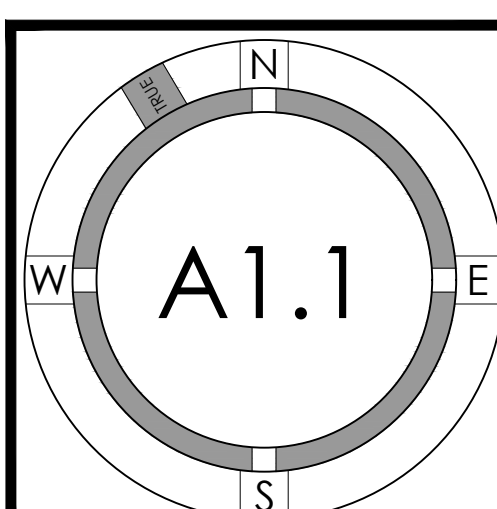
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CONTEXTUAL SITE PLAN



REQUIREMENTS LISTED FOR CS ZONING

SETBACKS REQUIRED:
 FRONT (EL CAMINO REAL) 12' SIDEWALK AT ECR
 SIDE (MATADERO AVE) 5'
 LEFT SIDE INTERIOR SETBACK 5'
 REAR AT R-1 10'

OPEN SPACE REQUIRED:
 150 SF/UNIT REQUIRED 57,300 SF/ 382 UNITS

MAXIMUM LOT COVERAGE: 50% (78,424 SF)

MAXIMUM FAR: 1.5:1 (235,273 SF)

SETBACKS PROVIDED:
 FRONT (EL CAMINO REAL) 14'-0" @ THE SHALLOWEST
 SIDE (MATADERO AVE) 14'-9"
 LEFT SIDE INTERIOR SETBACK 45'-6"
 REAR TO R-1 45'-6" FOR BUILDING "B"
 60'-10 1/2" FOR BUILDING "A"

HEIGHT:
 BUILDING HEIGHT AT 5TH FLOOR PARAPET : 51'
 BUILDING HEIGHT AT 5TH FLOOR TERRACES GUARDRAILS : 50' + 3'-6"
 BUILDING HEIGHT AT 6TH FLOOR : 61' + 3' OF MECH. EQUIPMENT

OPEN SPACE PROVIDED:
 COMMON OPEN SPACE 38,613.0 SF
 PROVIDED AT PRIVATE BALCONIES 38,879.8 SF
 TOTAL OPEN SPACE PROVIDED 77,492.8 SF
 *THE 6TH FLOOR COMMON AREA DECKS ARE NOT INCLUDED

LOT COVERAGE PROVIDED: 42% (66451.98 SF)

PROPOSED FAR: 2.5:1 (392,178 SF)

TOTAL LOT AREA: 156,849 SF (3.6 ACRES)
RESIDENTIAL DENSITY: 382 DU / 3.6 ACRES = 106.111 DU/AC
GROSS BUILDING AREA:

BUILDING A : 52,190 SQ. FT. LEVEL 1* 9,034 SQ. FT. LEVEL 1*
 49,163 SQ. FT. LEVEL 2 15,351 SQ. FT. LEVEL 2
 53,050 SQ. FT. LEVEL 3 15,351 SQ. FT. LEVEL 3
 53,050 SQ. FT. LEVEL 4 15,351 SQ. FT. LEVEL 4
 53,050 SQ. FT. LEVEL 5 15,351 SQ. FT. LEVEL 5
 48,101 SQ. FT. LEVEL 6 11,729 SQ. FT. LEVEL 6
 308,604 SF TOTAL 82,167 SF TOTAL

BUILDING B : 9,034 SQ. FT. LEVEL 1*
 15,351 SQ. FT. LEVEL 2
 15,351 SQ. FT. LEVEL 3
 15,351 SQ. FT. LEVEL 4
 15,351 SQ. FT. LEVEL 5
 11,729 SQ. FT. LEVEL 6
 82,167 SF TOTAL

*LEVEL 1 INCLUDES 2,600 SF RETAIL SPACE AND LEVEL 2 INCLUDES 1,400 SF RETAIL SPACE

LEVEL	UNIT MIX A & B BUILDINGS:									
	STUDIO		1 BED		2 BED		3 BED		TOTAL	
	BLDG. A	BLDG. B	BLDG. A	BLDG. B	BLDG. A	BLDG. B	BLDG. A	BLDG. B	BLDG. A	BLDG. B
LEVEL 1	8	0	36	1	4	4	0	0	48	5
LEVEL 2	8	1	40	4	4	8	0	0	52	13
LEVEL 3	8	1	42	4	8	8	0	0	58	13
LEVEL 4	8	1	42	4	8	8	0	0	58	13
LEVEL 5	8	1	42	4	8	8	0	0	58	13
LEVEL 6	0	0	22	2	11	7	9	0	42	9
	40	4	224	19	43	43	9	0	316	66
	44		243		86		9		382	
			11.5%		63.6%		22.5%		2.3%	100%



- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
 - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
 - (E) GAS METER TO BE RELOCATED
 - (N) GAS METER LOCATION -- INSTALL TWO 2" DIAMETER x 30" TALL STEEL PIPE BOLLARDS EMBEDDED IN 2 FT DEEP CONCRETE FOOTINGS IF GAS METER IS WITHIN 3 FEET OF DRIVEWAY
 - (E) ELECTRICAL BOX LOCATION
 - (E) ELECTRICAL TRANSFORMER LOCATION
 - (E) SOFTSCAPE TO REMAIN
 - (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION
 - (E) DRIVEWAY TO REMAIN
 - (N) DRIVEWAY
 - (N) RAMP DOWN TO GARAGE
 - (N) SLOPED WALKWAY TO ENTRY -- WALKWAY SLOPE TO BE LESS THAN 5% -- SEE LANDSCAPE & CIVIL PLANS FOR MORE INFORMATION
 - (N) TRAIL (DECOMPOSED GRANITE)
 - ENTRANCE TO PARKING GARAGE
 - (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL--SEE CIVIL PLANS
 - BALCONY OR DECK, TYP. AT BUILDING EXTERIOR
 - BIKE RACK (SHORT TERM STORAGE)
 - (N) SWIMMING POOL AT GRADE
 - (N) 6' HIGH SOLID PRIVACY WALL
 - POOL RECREATION AREA FOR PROJECT RESIDENTS
 - RECREATION AREA FOR PROJECT RESIDENTS
 - OUTDOOR SPACE AT RETAIL SPACE
 - RELOCATED VEHICULAR BRIDGE
 - RELOCATED PEDESTRIAN BRIDGE

SITE PLAN KEYNOTES	
---	PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
---	REQUIRED YARD SETBACK/EASEMENT

- NEW BUILDING AREA
- NEW HARDSCAPE[--SEE FINISH PLAN/LANDSCAPE PLAN FOR MORE INFO]

NOTES:
 1. (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
 2. (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.
 3. SEE LS PLANS FOR ALL SITE CONCRETE AND HARDSCAPE DETAILS--CO-ORDINATE WITH CIVL & GEOTECH. REQUIREMENTS



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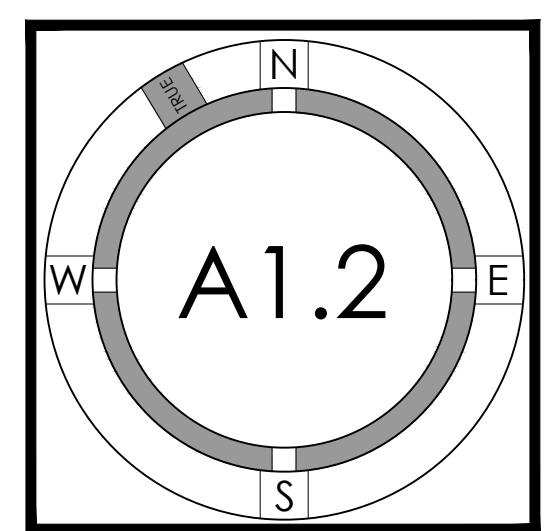
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SITE PLAN



15 30 45 feet

SITE PLAN | 1" = 30' | 1

SITE PLAN LEGEND

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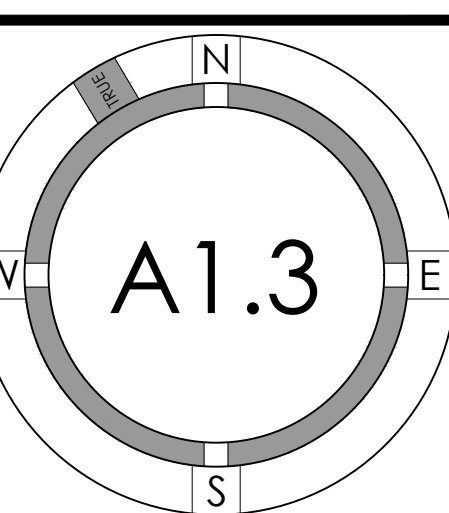
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OPEN AREA CALCULATION



BALCONY/PRIVATE OPEN SPACES				
Level	Balcony area (SF)		Total SF per level	
	BLDG. A	BLDG. B	BLDG. A+B	
Level 1	B1A 4,579.0	B1B 431.8	5,010.8	
Level 2	B2A 4,915.0	B2B 1086	6,001.0	
Level 3	B3A 5,650.0	B3B 1086	6,736.0	
Level 4	B4A 5,650.0	B4B 1086	6,736.0	
Level 5	B5A 5,650.0	B5B 1086	6,736.0	
Level 6	B6A 6,896.0	B6B 764	7,660.0	
TOTAL (SF)	33,340.0	5539.8	38,879.8	

COMMON OPEN SPACE			
Level	Common open area (SF)		Total SF per level
	BLDG. A	BLDG. B	
Level 1	COS1 37,263.0		37,263.0
Level 2			0.0
Level 3			0.0
Level 4			0.0
Level 5			0.0
Level 6	COS2 773.0		773.0
	COS3 577.0		577.0
TOTAL (SF)			38,613.0

Usable open space areas	
Private open space (private unit balconies)	38,879.8
Common open space (podium courtyard + roof top)	38,613.0
TOTAL OPEN SPACE PROPOSED	77,492.8
Required Open Space= 150 sf per unit x 382	57300

COMMON AREA DECKS			
Level	Common open area (SF)		Total SF per level
	BLDG. A	BLDG. B	
Level 6	CAD1 1,337.6		1,337.6
	CAD2 3,012.2		3,012.2
TOTAL (SF)			4,349.8

POS
COS
TOS= POS + COS

B# - BALCONY/PRIVATE OPEN SPACE (MIN. 6 FT IN ANY / ALL DIMENSION) MIN 60 S.F.

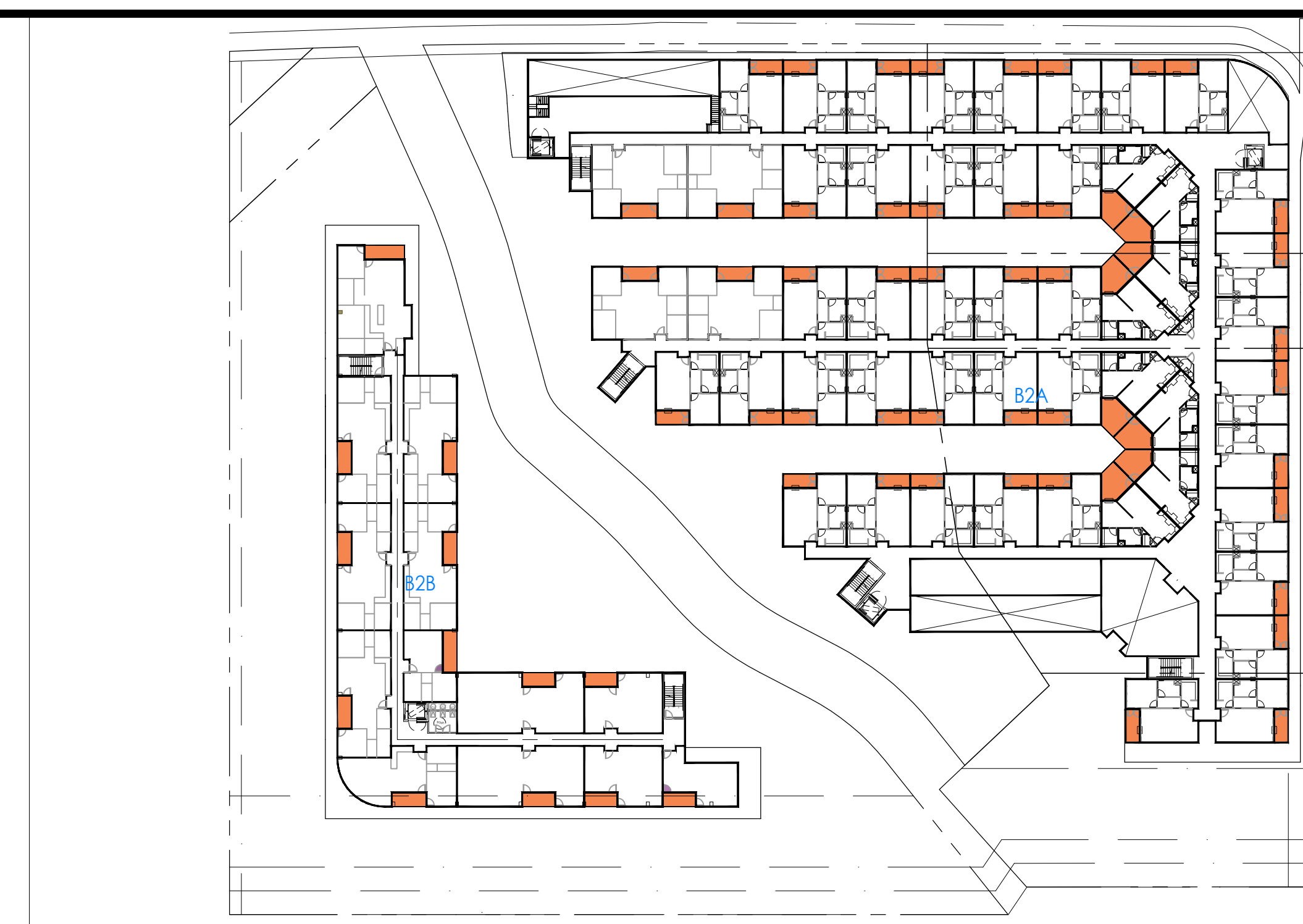
COS - COMMON OPEN SPACE (MIN. 12 FT IN ANY / ALL DIMENSION)

CAD - THE 6TH FLOOR COMMON AREA DECKS ARE NOTE INCLUDED IN COMMON OPEN SPACE

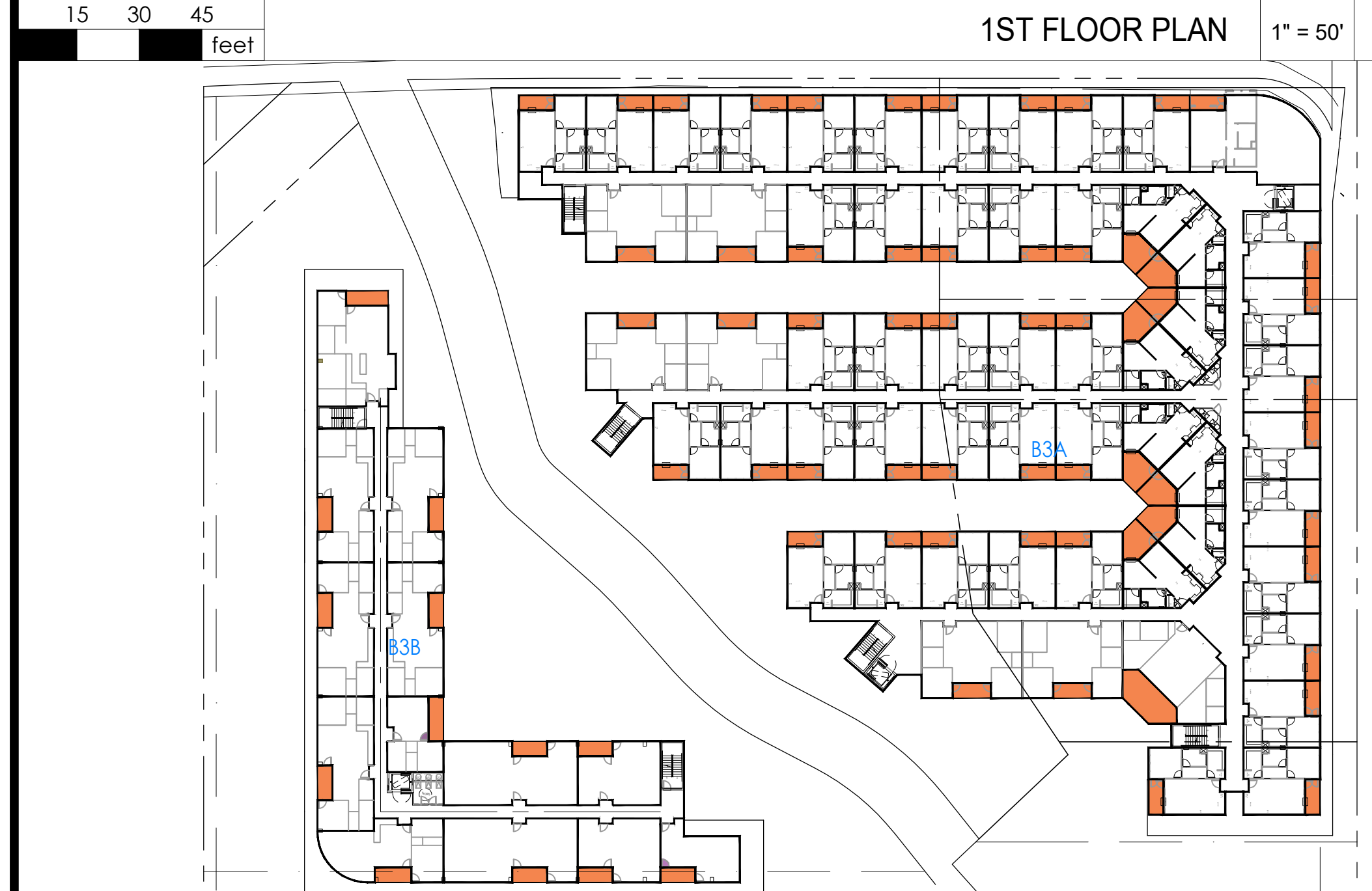
FLOOR AREA LEGEND



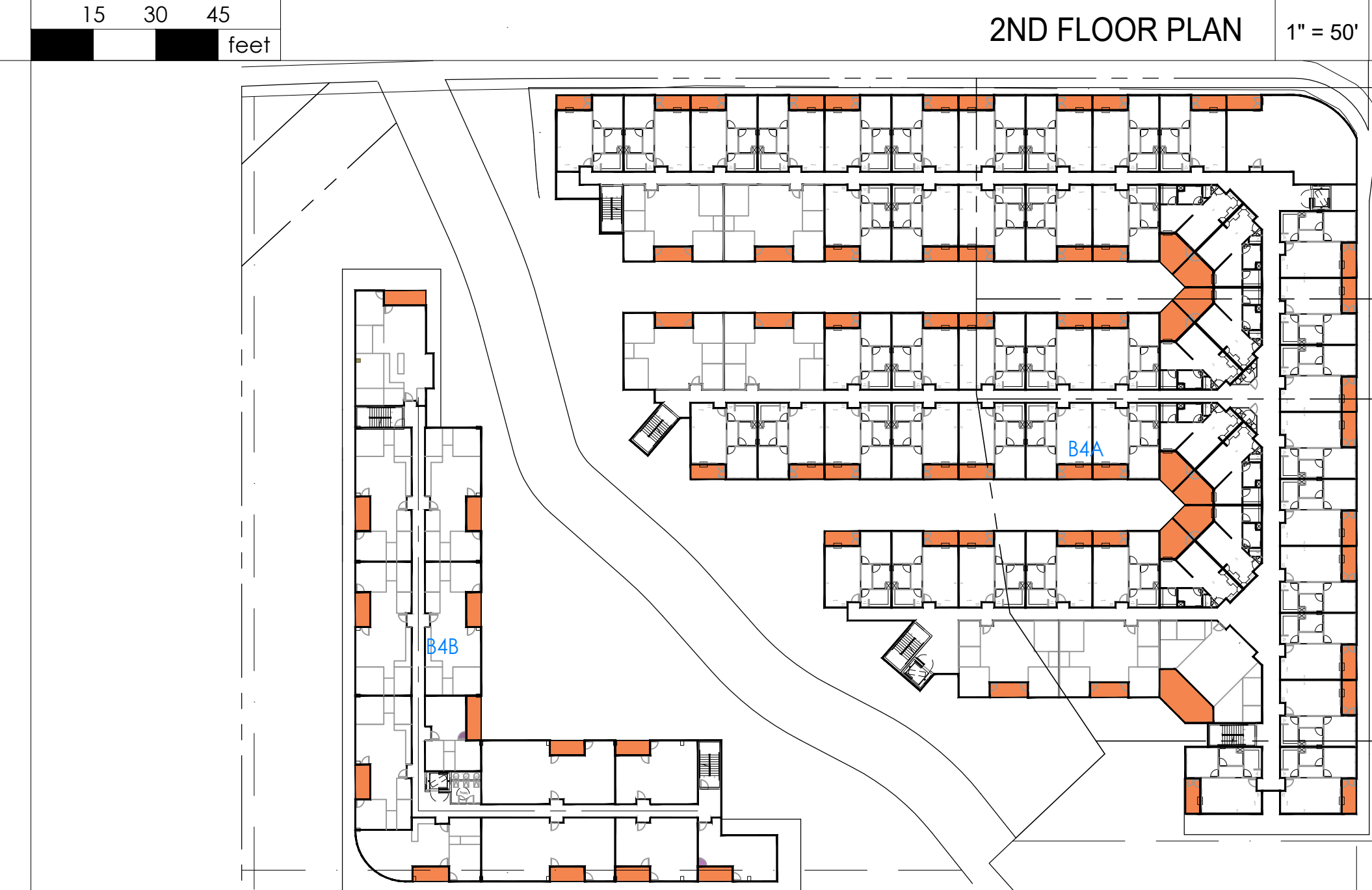
1ST FLOOR PLAN 1" = 50' 1



2ND FLOOR PLAN 1" = 50' 2



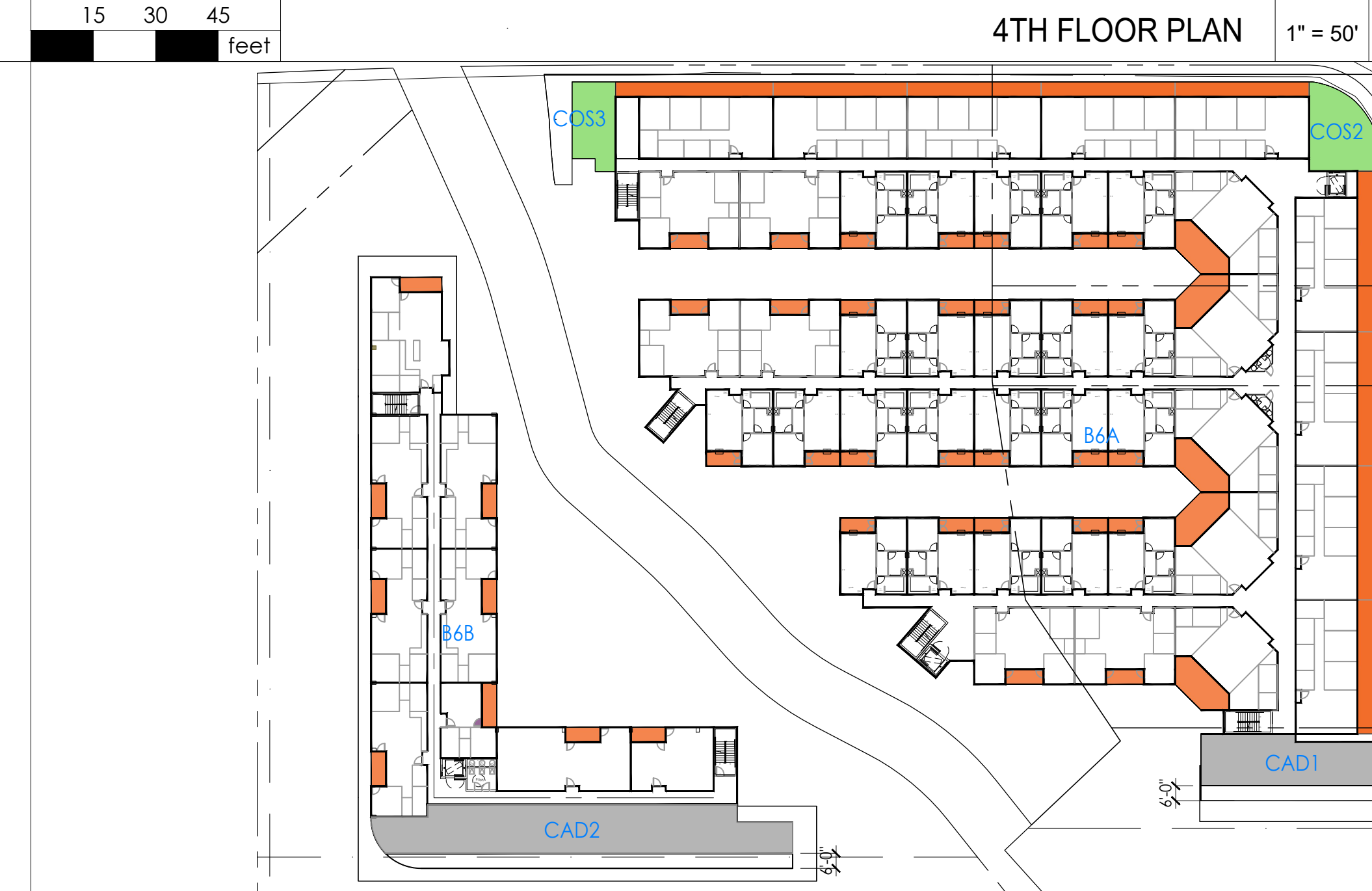
3RD FLOOR PLAN 1" = 50' 3



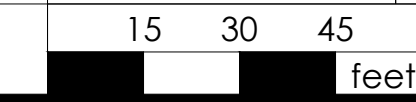
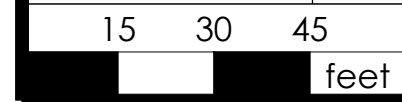
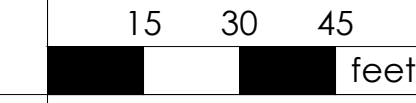
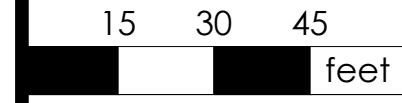
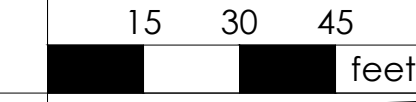
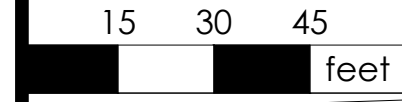
4TH FLOOR PLAN 1" = 50' 4



5TH FLOOR PLAN 1" = 50' 5



6TH FLOOR PLAN 1" = 50' 6



Requested Parking Spaces					
Residential Unit Type	# of Units	Parking Req. per unit	Total parking req. per unit type	Min. Total Number of Accessible Parking Spaces Req.	Minimum Number of Van Accessible Sparking Spaces
Bldg A				8	2
Unit A -- 1BR	224	1	224		
Unit B -- ST	40	1	40		
Unit D -- 2BR	3	2	6		
Unit M -- 3BR	9	2	18		
Unit N -- 2BR	32	2	64		
Unit O -- 2BR	8	2	16		
total	316		368		

Requested Parking Spaces					
Residential Unit Type	# of Units	Parking Req. per unit	Total parking req. per unit type	Min. Total Number of Accessible Parking Spaces Req.	Minimum Number of Van Accessible Sparking Spaces
Bldg B				5	1
Unit E -- 2BR	27	2	54		
Unit F -- 2BR	10	2	20		
Unit G -- 1BR	10	1	10		
Unit H -- ST	4	1	4		
Unit J -- 1BR	4	1	4		
Unit K -- 1BR	5	1	5		
Unit L -- 2BR	6	2	12		
total	66		109		

Retail	Area	1500sf reduction	Parking Ratio	Total Parking req.		
dining	2,500	1,000	1/60	17	1	1
back of house	1,500		1/200	8		
total	4,000			24		

Guest Parking Spaces	1 guest parking spaces per project plus 10% of total number of units	Total Parking req.			
		0	0	0	0
		none required			

Bike Parking	# of units	Parking per unit	
Residential Bike Parking (long term)	382	1	382
Guest Bike Parking (short term)	382	0	39
Retail Bike Parking	4000sf	4000/2000	2
Total Bike Parking Required			382 long term; 41 short term

Provided Parking Spaces					
Residential Unit Type	# of Units	Total Parking Required	Total Parking Provided	Min. Total Number of Accessible Parking Spaces Req.	Minimum Number of Van Accessible Sparking Spaces
Bldg A				8	2
total		368	369		

Provided Parking Spaces					
Residential Unit Type	# of Units	Total Parking Required	Total Parking Provided	Min. Total Number of Accessible Parking Spaces Req.	Minimum Number of Van Accessible Sparking Spaces
Bldg B				5	1
total		109	109		

Retail	Area	1500sf reduction	Total Parking Required	Total Parking Provided		
total			24	25		

Guest Parking Spaces	Total Parking Required	Total Parking Provided			
	0	0	0	0	0
	none required	none provided			

Provided EV Spaces
25% EV ready(127 per plan) and 5% installed (26 per plan)

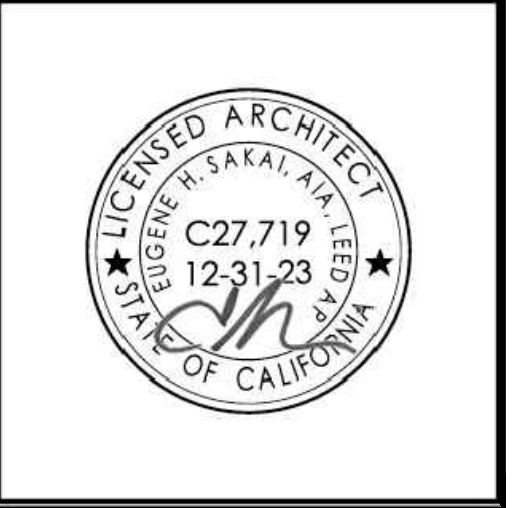
Bike Parking	Total Parking Required	Total Parking provided
Residential Bike Parking (long term)	382	383
Guest Bike Parking (short term)	39	39
Retail Bike Parking	2	3
Total Bike Parking Required	382 long term; 41 short term	383 long term; 42 short term

Unit Count													
Bldg	unit sizes	floors						total area	type	mix	floors	total SF	
		1st	2nd	3rd	4th	5th	6th						
Unit A	730	36	40	42	42	42	22	163,520	1BR	ST	40	6	305,779
Unit B	600	8	8	8	8	8	0	24,000	ST	1BR	224		
Unit D	1,540	0	0	1	1	1	0	4,620	2BR	2BR	43		
Unit M	1,317	0	0	0	0	0	9	11,853	3BR	3BR	9		
Unit N	1,133	4	4	6	6	6	6	36,256	2BR	TOTAL	316		
Unit O	1,200	0	0	1	1	1	5	9,600	2BR				
total		48	52	58	58	58	42	249,849					
amenity		3,882	1,200	0	0	0	0	5,082					
circulation								46,848					
retail								4,000					
Total Area								308,604					
Bldg	unit sizes	1st	2nd	3rd	4th	5th	6th	total area	type	mix	floors	total SF	
Unit E	1,110	2	5	5	5	5	5	29,970	2BR	ST	4	6	82,167
Unit F	1,275	1	2	2	2	2	1	12,750	2BR	1BR	19		
Unit G	750	1	2	2	2	2	1	7,500	1BR	2BR	43		
Unit H	560	0	1	1	1	1	0	2,240	ST	TOTAL	66		
Unit J	990	0	1	1	1	1	0	3,960	1BR				
Unit K	560	0	1	1	1	1	1	2,800	1BR				
Unit L	1,240	1	1	1	1	1	1	7,440	2BR				
total		5	13	13	13	13	9	66,660					
amenity								680					
circulation								14,827					
Total Area								82,167			382	TOTAL UNITS	
Total Area	Lot Area	FAR	Unit #	du/acre	Total Unit Area	Lot Acres							
387,946	156,849	2	382	106	316,509	4							



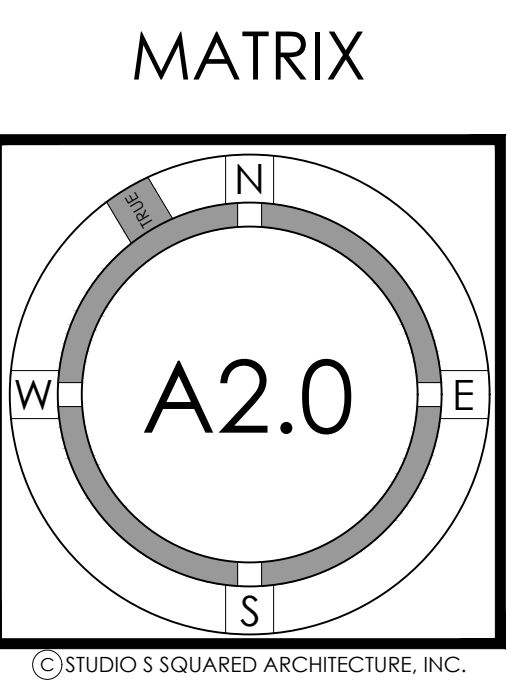
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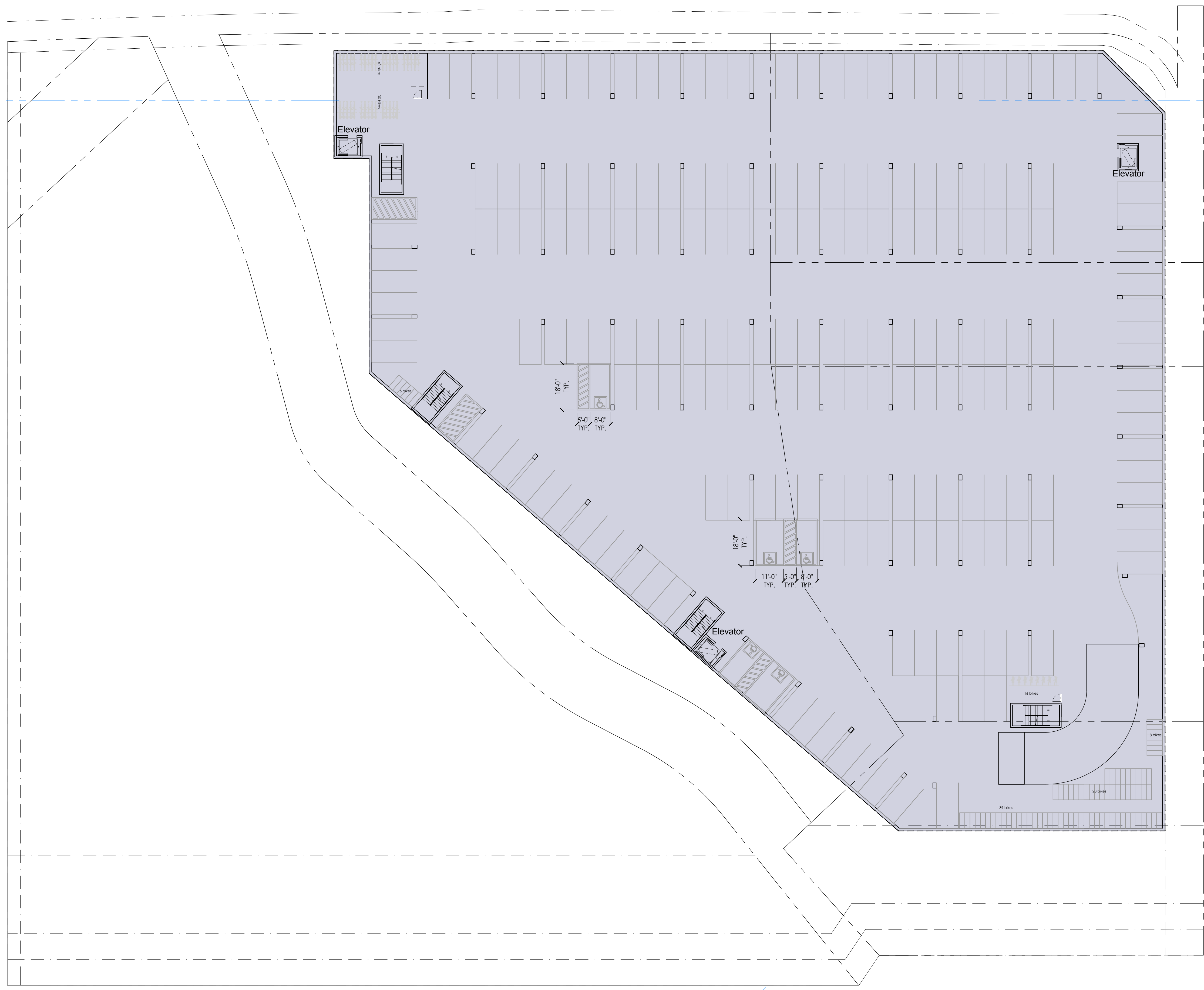
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MATADERO AVE

EL CAMINO REAL 1 A3.1

2 A3.1

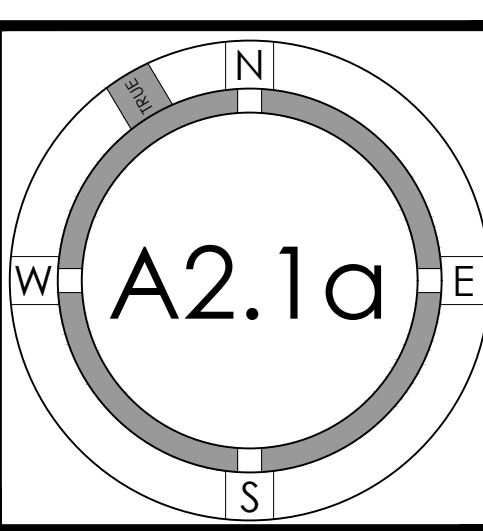
2 A3.1



10 20 30 feet

BASEMENT LEVEL 2 - GARAGE 1" = 20' 1

BASEMENT
 LEVEL 2
 GARAGE





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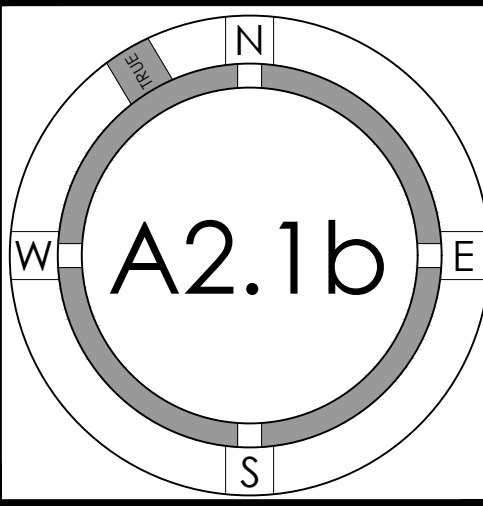
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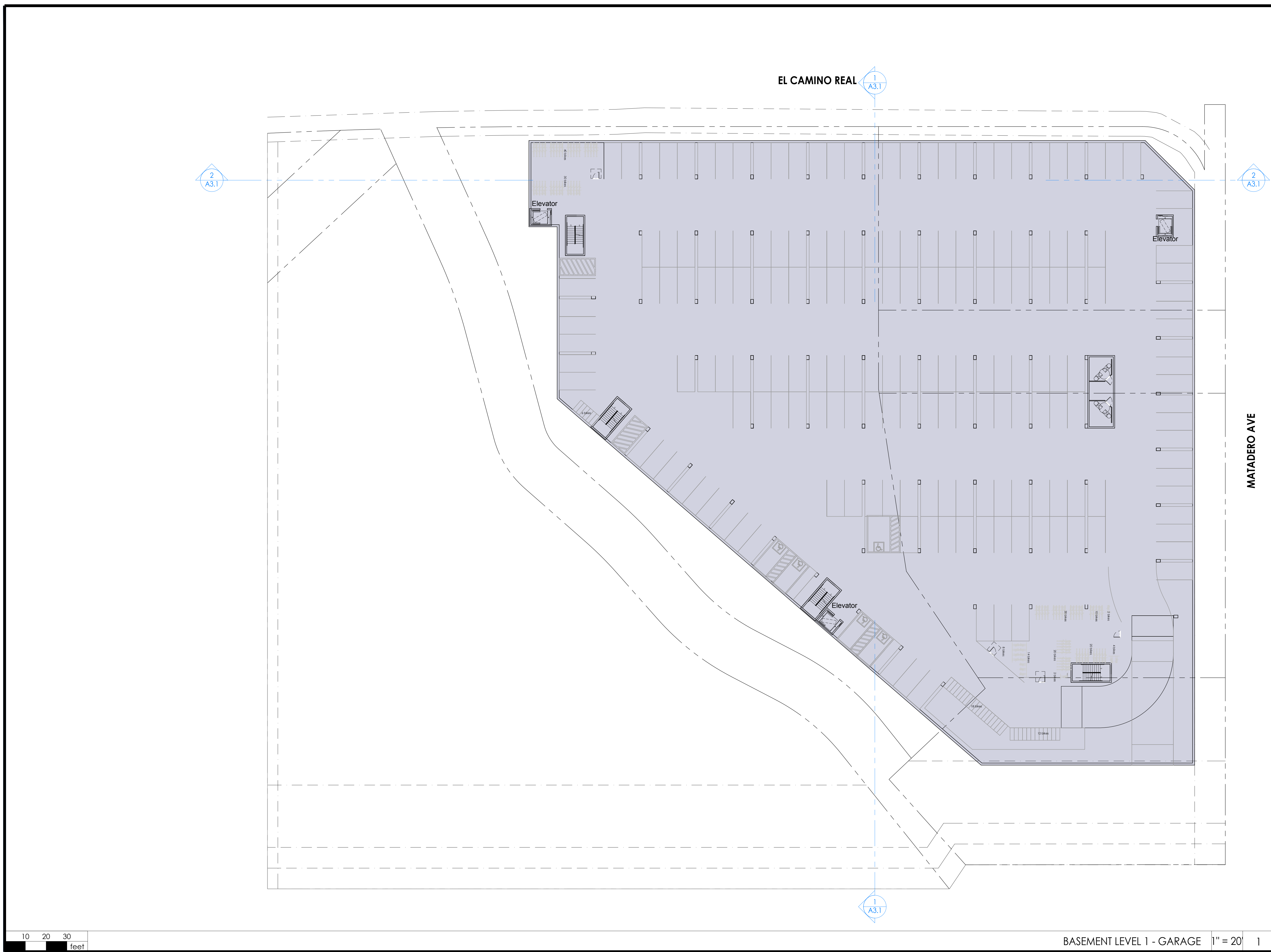
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**BASEMENT
 LEVEL 1
 GARAGE**



©STUDIO 5 SQUARED ARCHITECTURE, INC.



10 20 30 feet

BASEMENT LEVEL 1 - GARAGE 1" = 20' 1'



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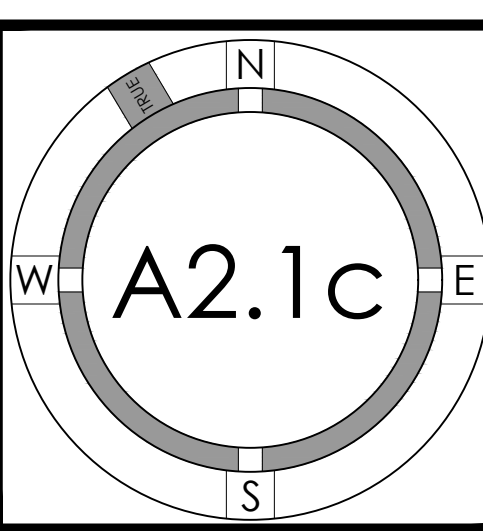
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STREET LEVEL FLOOR PLAN



10 20 30 feet

STREET LEVEL FLOOR PLAN 1" = 20' 1

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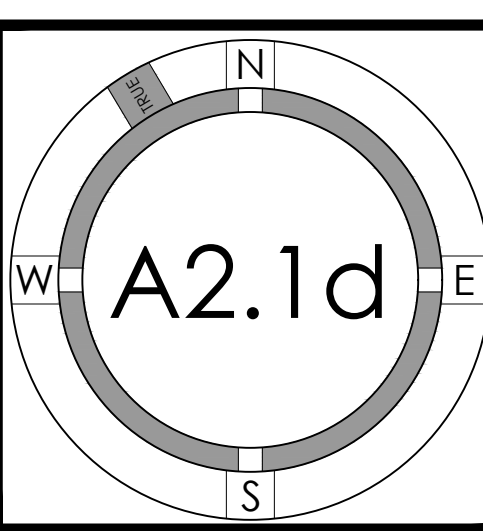


10 20 30 feet

2ND FLOOR PLAN 1" = 20' 1

2ND

FLOOR PLAN





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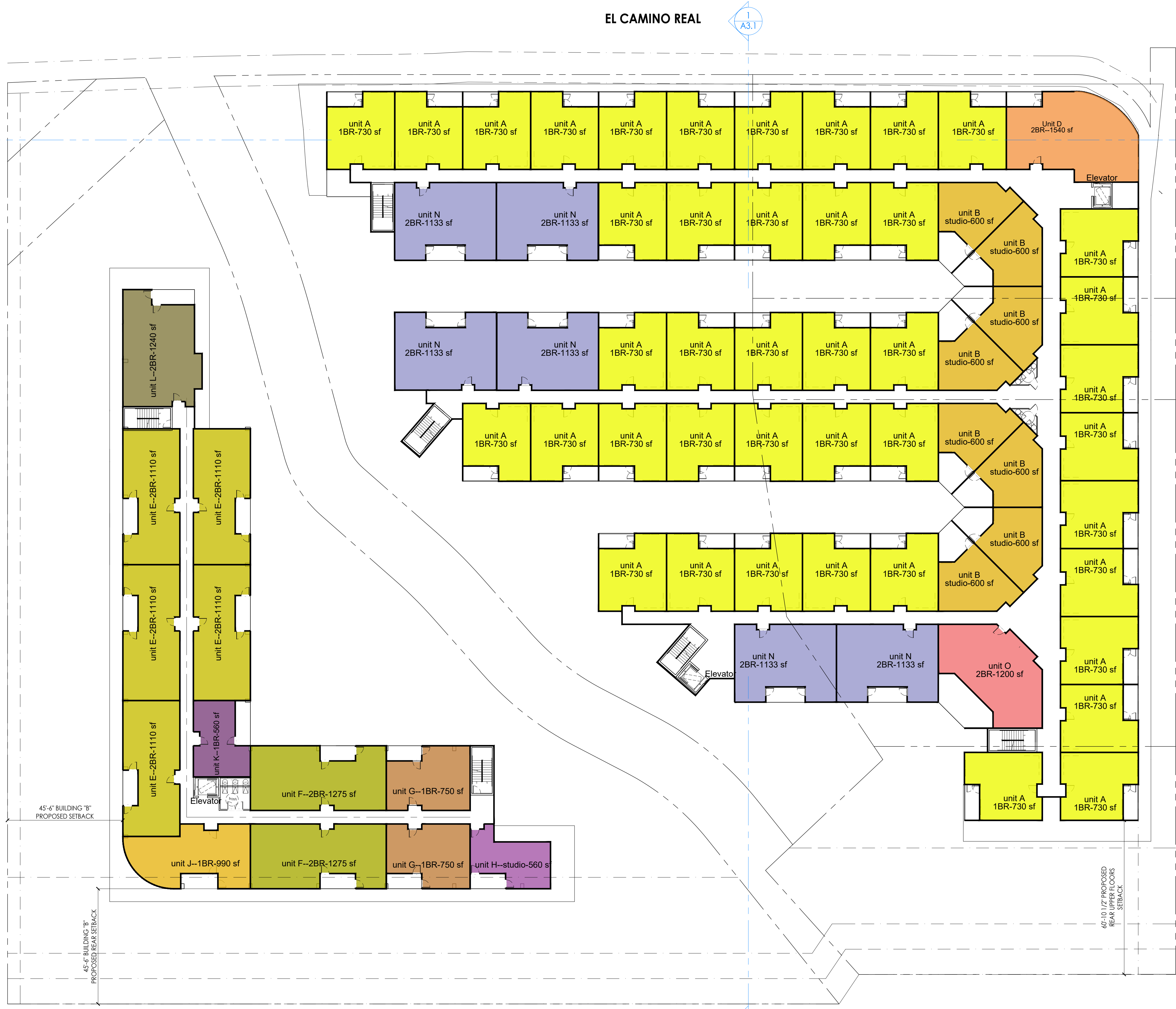
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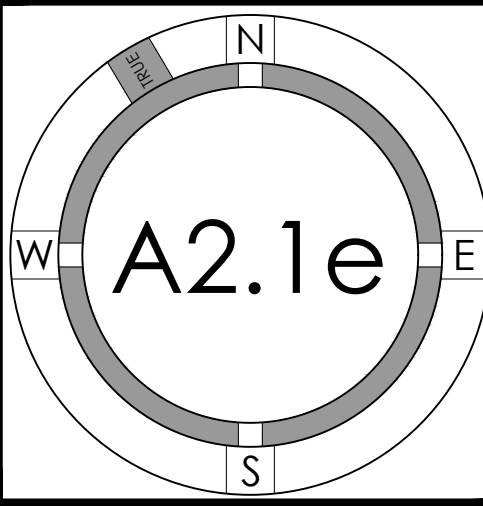


10 20 30 feet

3RD FLOOR PLAN 1" = 20' 1

3RD

FLOOR PLAN





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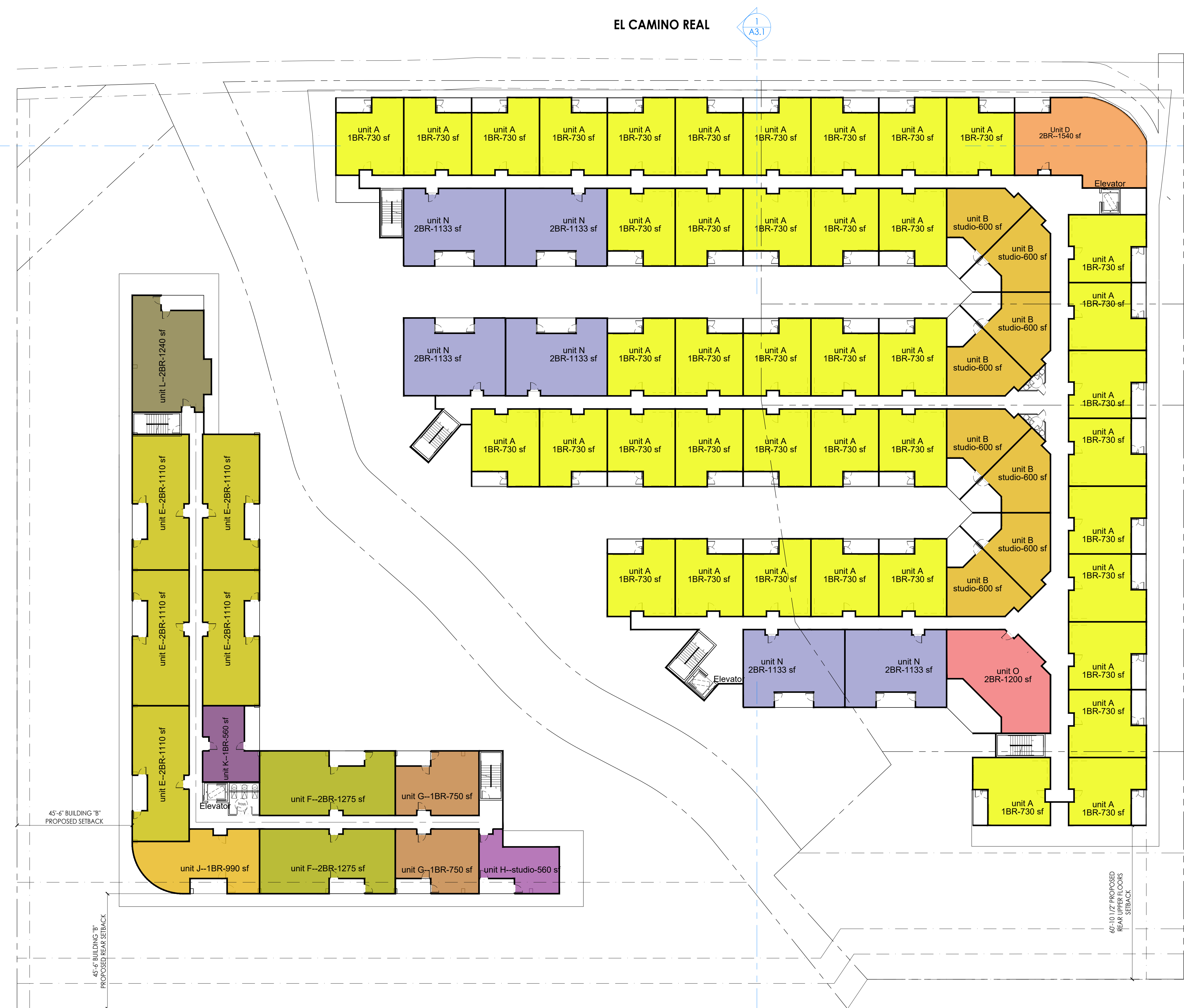
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14'-0" PROPOSED FRONT SETBACK

45'-6" BUILDING "B" PROPOSED REAR SETBACK

45'-0" BUILDING "B" PROPOSED REAR SETBACK

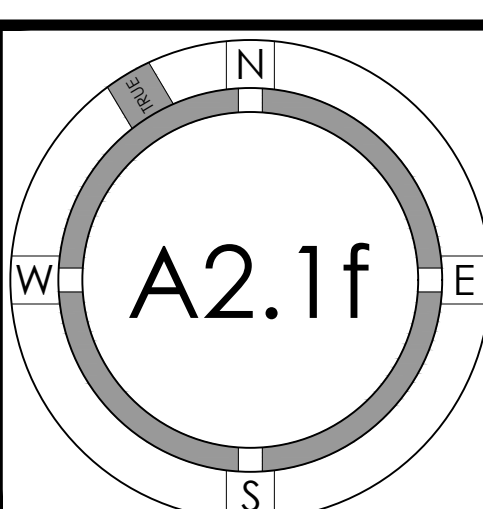
45'-10 1/2" PROPOSED REAR UPPER FLOORS SETBACK

10 20 30 feet

4TH FLOOR PLAN 1" = 20' 1

4TH

FLOOR PLAN





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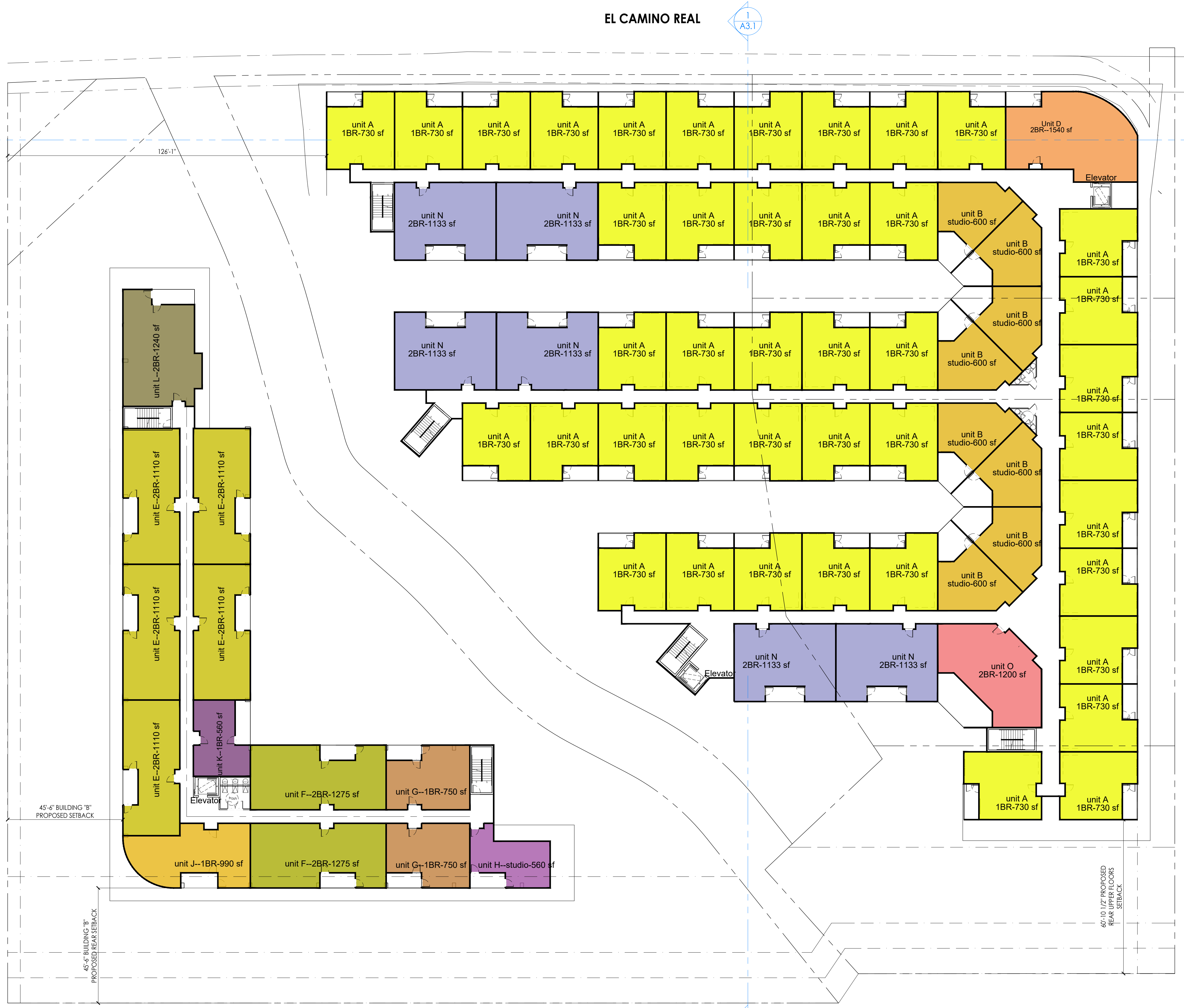
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14'-0" PROPOSED FRONT SETBACK

45'-6" BUILDING "B" PROPOSED REAR SETBACK

45'-6" BUILDING "B" PROPOSED REAR SETBACK

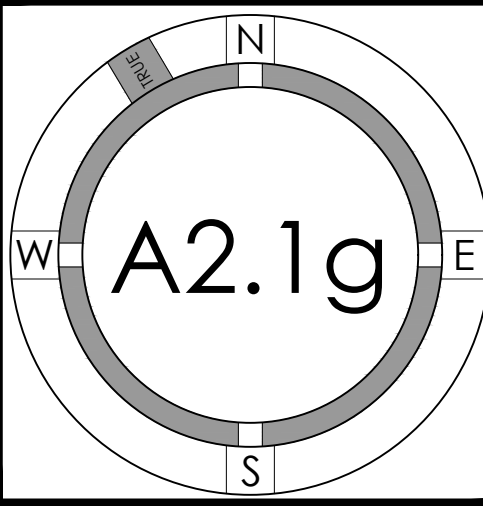
40'-10 1/2" PROPOSED REAR UPPER FLOORS SETBACK

10 20 30 feet

5TH FLOOR PLAN 1" = 20' 1

5TH

FLOOR PLAN





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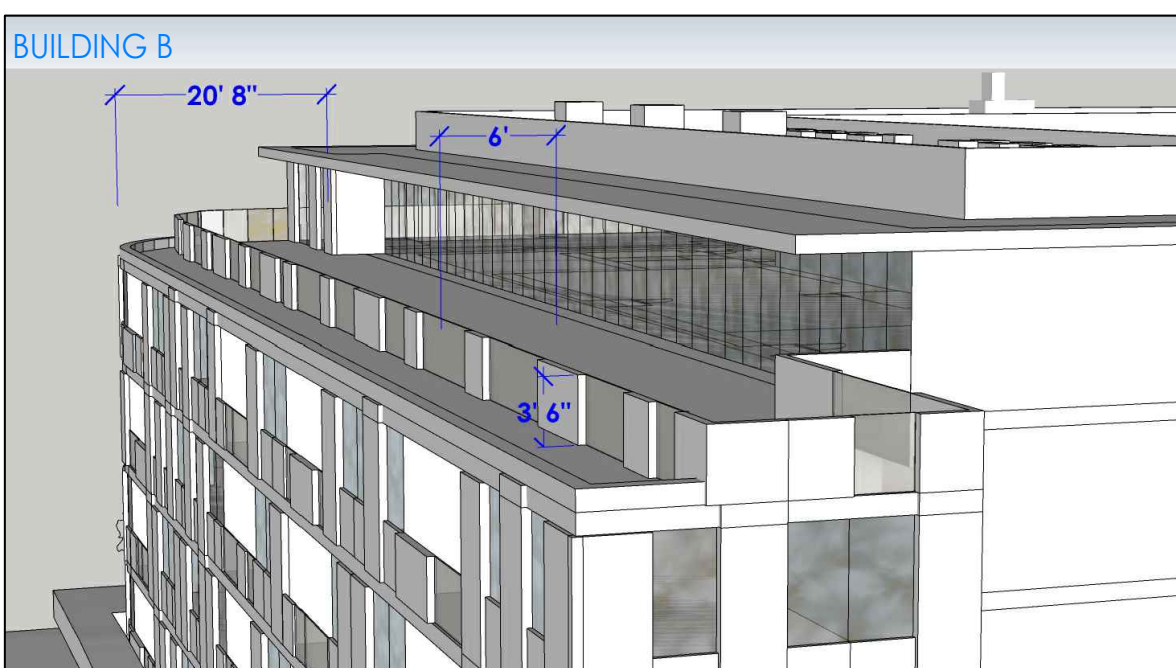


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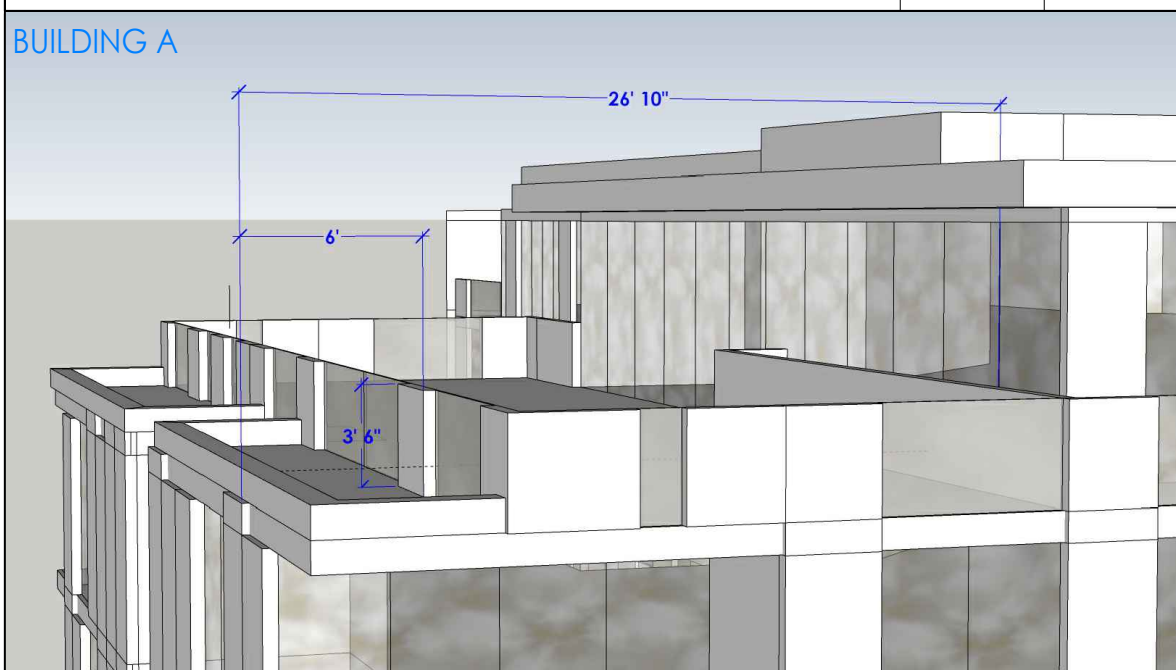
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DETAIL OF 6TH FLOOR TERRACE SETBACK - 2



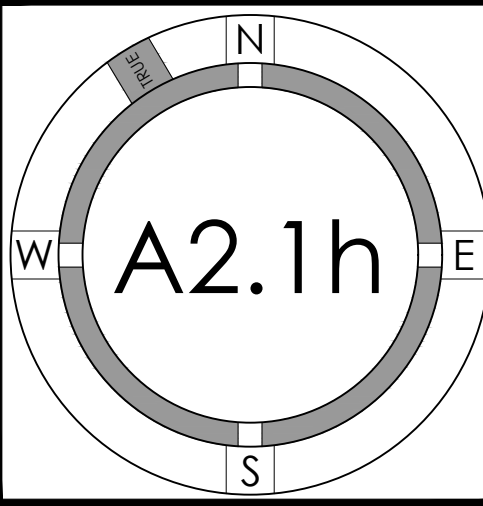
DETAIL OF 6TH FLOOR TERRACE SETBACK - 3

10 20 30 feet

6TH FLOOR PLAN 1" = 20' 1

6TH

FLOOR PLAN





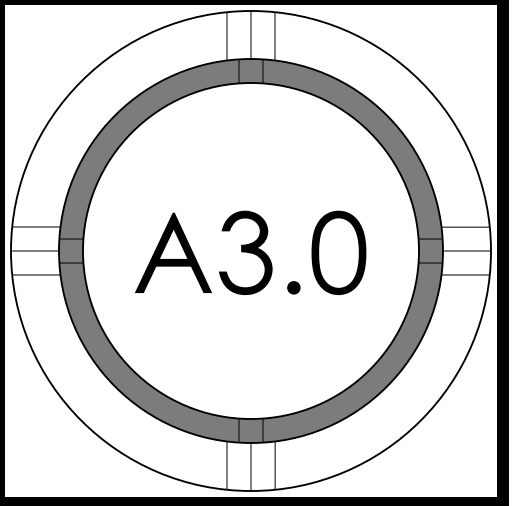
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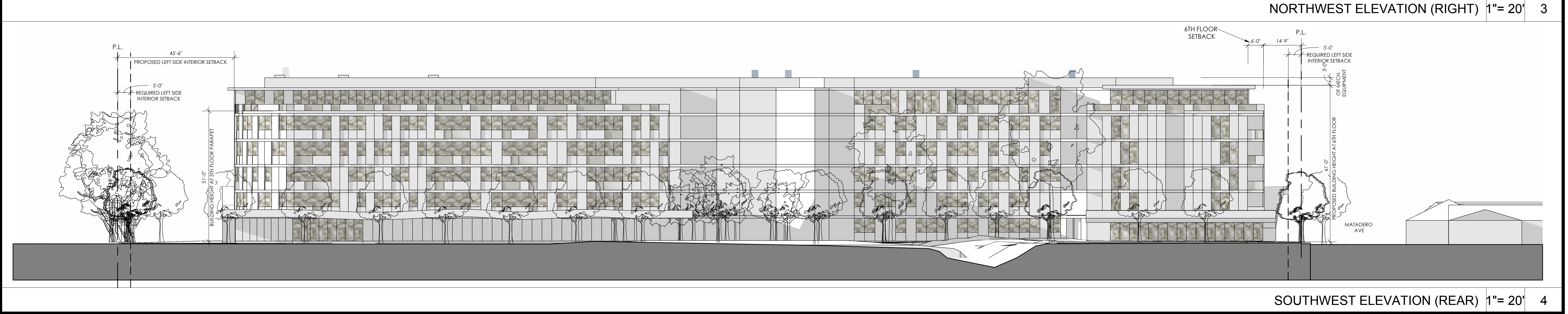
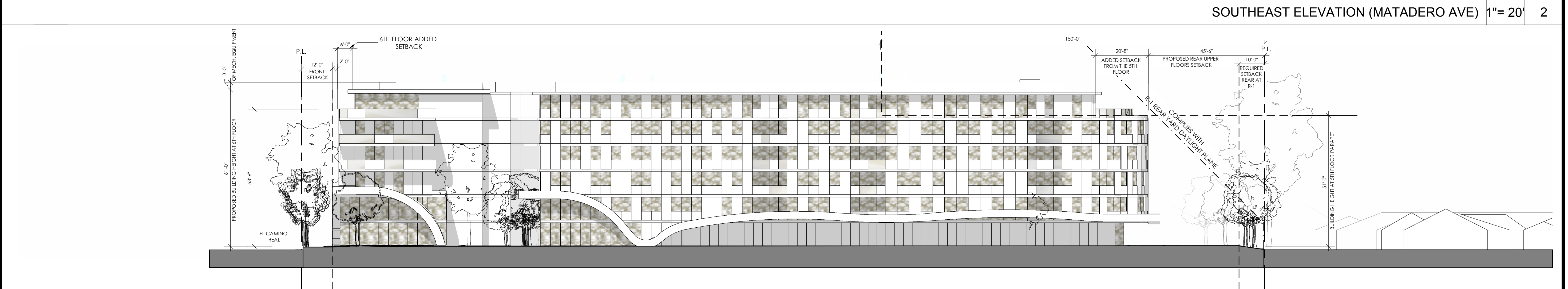
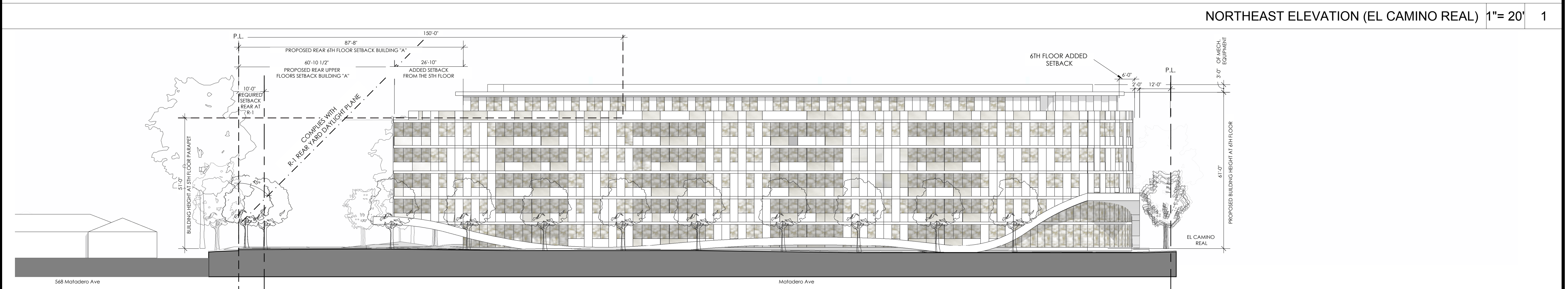
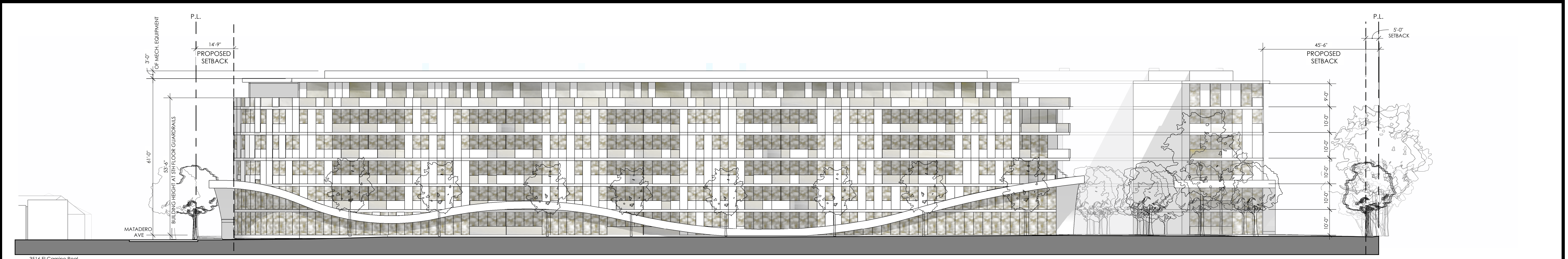


PROJECT NO.	DATE	REVISION	DESCRIPTION
	2022.06.03		CITY COUNCIL PRE-SCREENING
	2022.06.05		PLANNING RESUBMITTAL

STREET ELEVATIONS



FOR PERMIT APPROVAL ONLY -- NOT FOR CONSTRUCTION





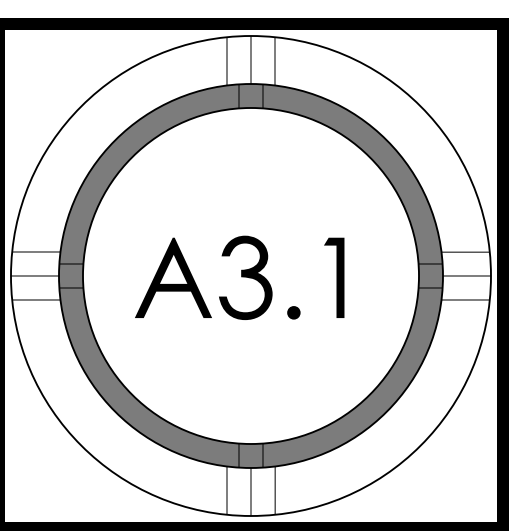
1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983

Residences At Matadero Creek
 RESIDENTIAL AND RETAIL
 Palo Alto, 3400 El Camino Real
 Oxford Capital Group

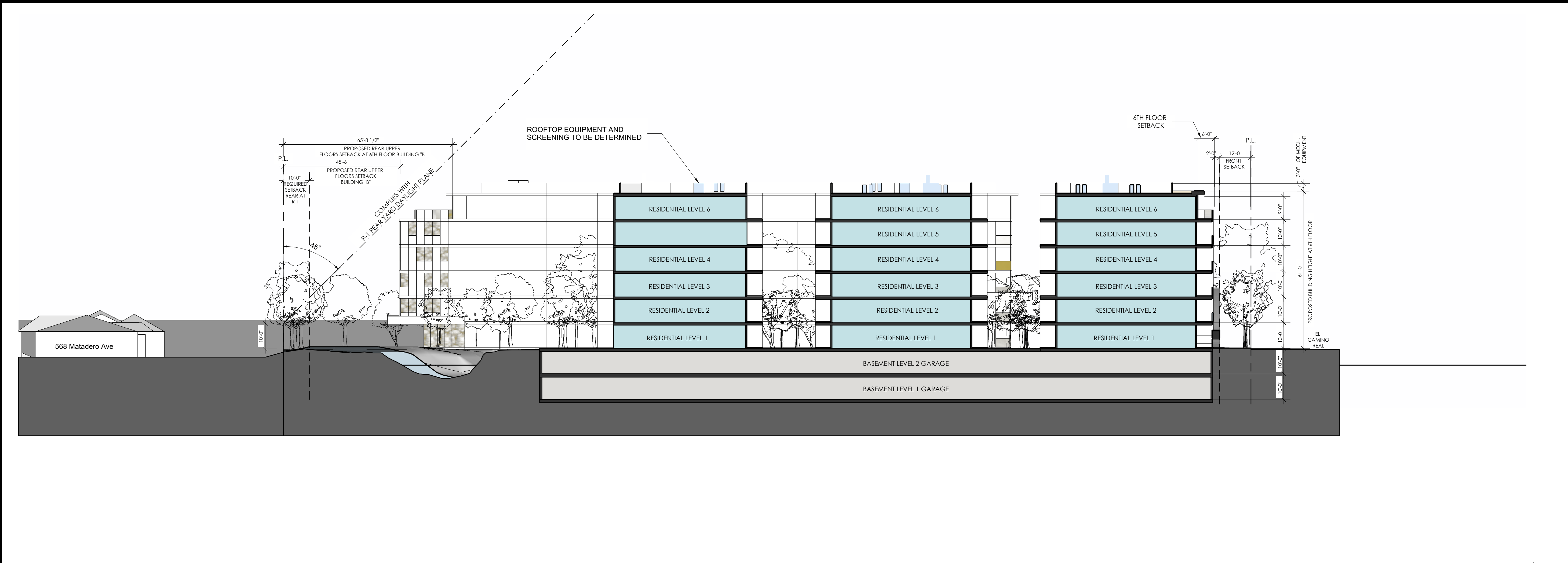


REVISION	DATE	DESCRIPTION
1	2022.06.03	CITY COUNCIL PRE-SCREENING
2	2022.06.05	PLANNING RESUBMITTAL

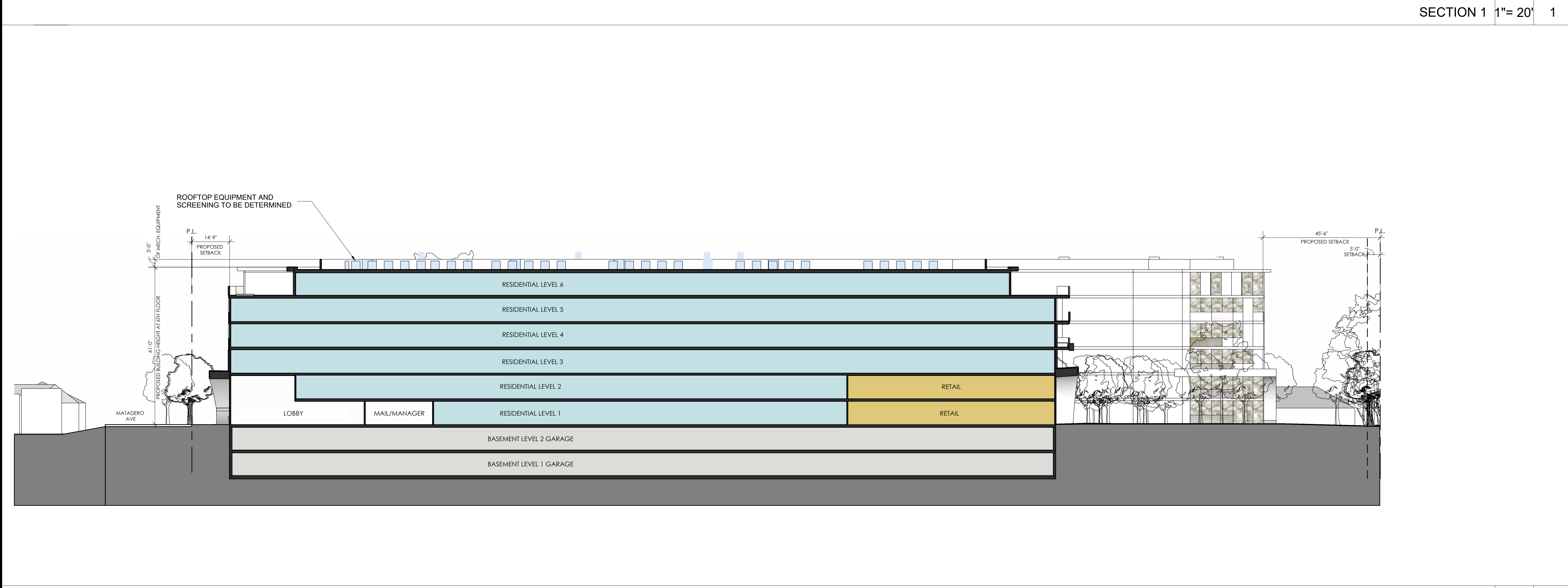
BUILDING SECTIONS



FOR PERMIT APPROVAL ONLY -- NOT FOR CONSTRUCTION



SECTION 1 1"= 20' 1



SECTION 2 1"= 20' 2

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: Palo Alto, 3400 El Camino Real

Are there Regulated trees on or adjacent to the property? YES NO (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

On the property
 On adjacent property overhanging the project site
 In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? YES (Check where applicable) NO

Protected Tree (s)
 Designated Tree (s)
 On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? YES NO
If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.23). Attach this report to Sheet T-1, Tree Protection, in Part of the Plan, per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? YES NO

**Protection of Regulated Trees during development follow the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: Eugene H. Sokoi, AIA, LEED AP Date: 06/09/2022
(Prop. Owner or Agent)

FOR STAFF USE:

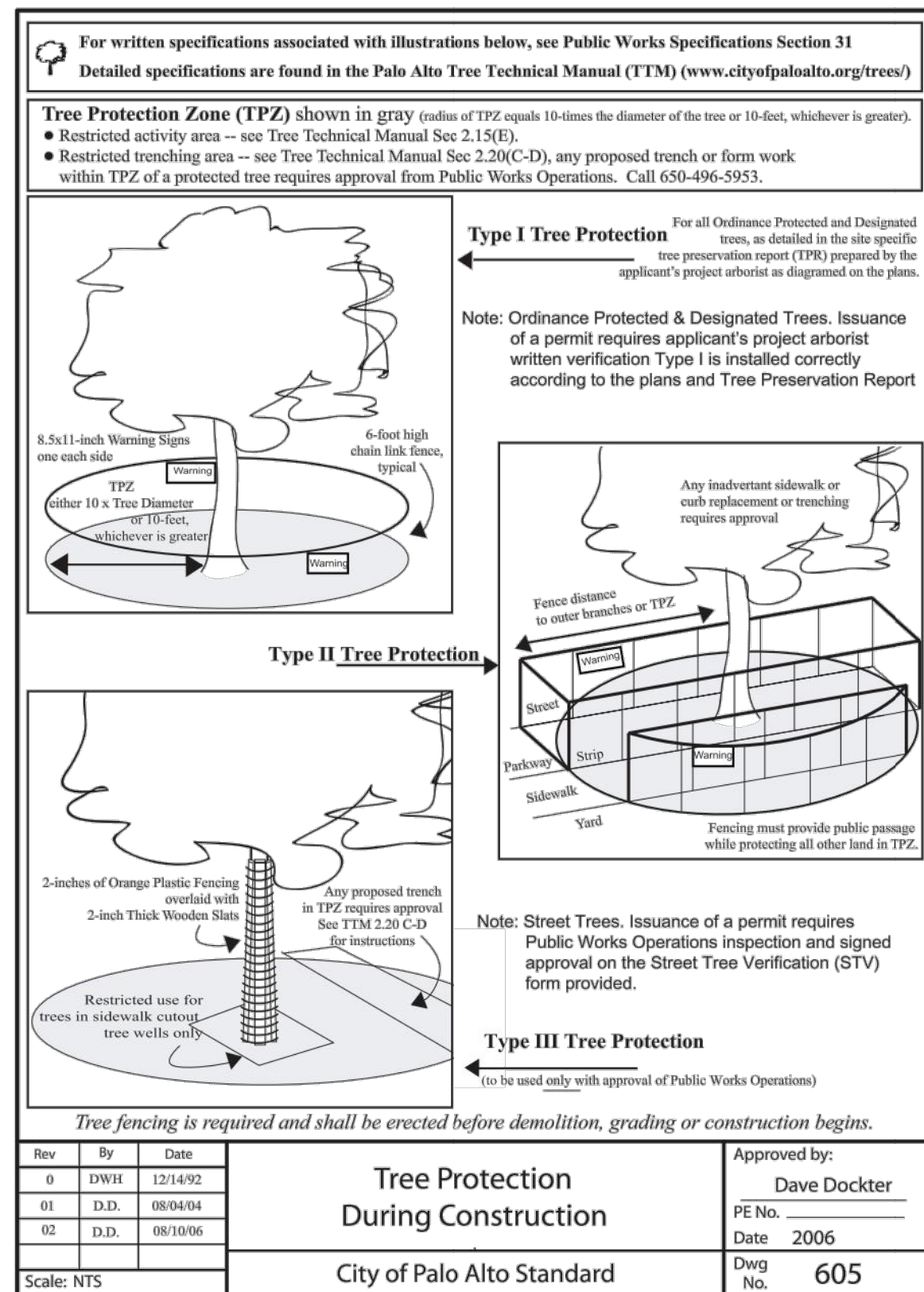
Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. (N/A if there are no protected trees, check here) YES NO

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. (N/A if there are no street trees, check here) YES NO

*Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-requirements/tree-technical-manual.html>

S:\Plan\Pladv\Arborist\Tree Protection Info\Tree Disclosure Statement Revised 08/06



City of Palo Alto Tree Technical Manual

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

Table 2-1 Palo Alto Tree Technical Manual

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.19)
- Pre-Construction Meeting Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).
- Inspection of Rough Grading or Trenching Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and wetland, and if required, inspect irrigation systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).
- Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____
Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

City of Palo Alto Tree Technical Manual ADDENDUM 11

Arborist Firm Data Here

BCA/ISA Certified Arborist #WE-600
Contract #

Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1: Job site superintendent Company: Email: Job site Office: Cell: Mail:
	Palo Alto, CA		
Inspection #		Also present:	
Distribution:	1. City of Palo Alto 2. Others	Attn: Dave Dockter	Dave.dockter@cityofpaloalto.org 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits)
 - Pre-construction meeting requirement with sub-contractors
 - Inspect to verify that tree protection measures are in place
 - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
 - Tree Protection Fences (TPF) are ...
 - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - Tree Protection Fence (TPF) needs adjusting (tree # x, x, x)
 - Root zone buffer material (wood chips) can be installed next
 - Schedule sewer trench, foundation dig with ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
- Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____
Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

City of Palo Alto
250 Hamilton Avenue, Palo Alto, CA 94301

Search: Advanced

Tree Technical Manual

To purchase the Tree Technical Manual

June, 2001 First Edition

View by section:

- Table of Contents (PDF, 67KB)
- Intent and Purpose (PDF, 1.05MB)
- Introduction - Use of Manual (PDF, 1.05MB)
- Section 1.0 - Definitions (PDF, 96KB)
- Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- Section 4.0 - Hazardous Trees (PDF, 105KB)
- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 84KB)

View ALL sections:

- Tree Technical Manual - Full (PDF, 1.84MB)

APPENDICES

- A: Palo Alto Municipal Code Chapter 8.10 - Tree Preservation & Management Regulations
- B: Tree City - USA
- C: ISA Hazard Evaluation Form
- D: List of Inherent Failure Patterns for Selected Species (Reference source)
- E: ISA Tree Pruning Guidelines (PDF, 1.89MB)
- F: Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)
- G: Pruning Performance Standards, ANSI A300-1995 (Reference source)
- H: Tree Planting Details, Diagram 504 & 505
- I: Tree Disclosure Statement
- J: Palo Alto Standard Tree Protection Instructions

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS

SECTION 31--

31-1 General

a. Tree protection has three primary functions. 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve soil and root conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of two-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail #65 - Illustration of situations described below.

b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)

- Trenching Restriction Zones (TTM, Section 2.20(C))
- Arborist Reporting Protocol (TTM, Section 6.30)
- Site Plan Requirements (TTM, Section 6.23)
- Tree Disclosure Statement (TTM, Appendix J)

c. Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. **Sign, type and area to be fenced.** All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **Warning signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."

f. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

g. **During construction**

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
 - No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
 - The ground under and around the tree canopy area shall not be altered.
 - Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWE, Section 31
Revised 08/06

City of Palo Alto Tree Department

Public Works Operations
PO Box 10250 Palo Alto, CA 94303
650-496-5953 FAX: 650/652-9289
inspections@cityofpaloalto.org

Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____

APPLICANT'S NAME: _____

APPLICANT'S ADDRESS: _____

APPLICANT'S TELEPHONE & FAX NUMBERS: _____

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____ * If NO, go to #2 below

Inspected by: _____

Date of inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant: _____

Subsequent Inspection

Street trees at above address were found to be adequately protected: _____ * If NO, indicate in "Notes" below the disposition of case.

Inspected by: _____

Date of inspection: _____

Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.

S:\PW\OP\Tree\Tree\TreeProtect 5/17/06

---WARNING---

Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS	PLANNING DEPARTMENT
TREE PROTECTION INSPECTIONS MANDATORY	
PAMC 8.10 PROTECTED TREES: CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.	
BUILDING PERMIT DATE: _____	
DATE OF 1 ST TREE ACTIVITY REPORT: _____	
CITY STAFF: _____	
REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.	

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

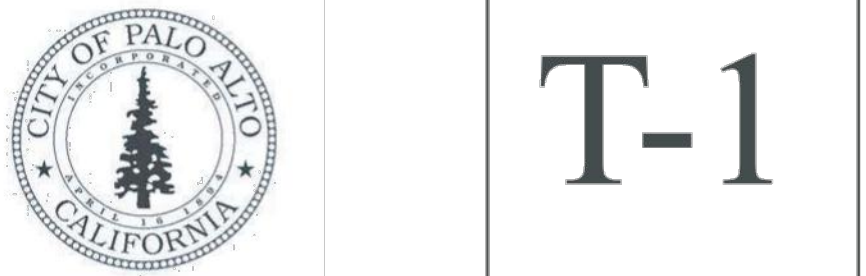
Project Data



All other tree-related reports shall be added to the space provided on this sheet (adding as needed) Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet

City of Palo Alto



City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.** For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

Kiely Arborist Services LLC
Certified Arborist WE#10724A
P.O. Box 6187
San Mateo, CA 94403
650-532-4418

April 27th, 2022

James Gulson

Senior Development Manager

Oxford Capital Group, LLC

Site: 3398, 3400, 3450 El Camino Real, Palo Alto CA

Dear Mr. Gulson,
As requested on Thursday, April 7th, 2022, Kiely Arborist Services visited the above site for the purpose of providing a Tree Inventory Report/Tree Protection Plan for the proposed construction. Construction will be proposed for this site, and as required by the city of Palo Alto a tree protection plan is needed. At this time, a schematic site plan has been reviewed. Once plans are made available, they shall be sent to the Project Arborist for further review. This Tree Inventory Report is not a Tree Risk Assessment. As such, no trees were assessed for risk in accordance with industry standards, nor are there any tree risk ratings or risk mitigation recommendations provided within this preservation plan.

Method:
All inspections were made from the ground; the trees were not climbed for this inspection. No root crown exploration or plant tissue analysis was performed. The trees in question were located on an existing topography map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the trees were measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Survey Key:
* Indicates neighbor's tree P-Indicates protected tree by city ordinance.
R-Indicates proposed removal DBH-Diameter at breast height (54 inches above grade)
CON-Condition rating HT/SP- Tree height/canopy spread

Tree #	Species	Botanical	DBH (Inches)	Condition	Ht / Spread	Comments/Recommendations
16	Chinese Elm	Ulmus parvifolia	18.3	70%	30x40	Good vigor, good form, in small planting strip.
28	Callery Pear	Pyrus calleryana	12.3	50%	20x20	Fair vigor, fair form, codominant at 7', decay at root crown.
38	Callery Pear	Pyrus calleryana	11.5	50%	20x15	Fair vigor, fair form, codominant at 7', decay at root crown.
46	Callery Pear	Pyrus calleryana	10.3	40%	20x20	Fair vigor, poor form, codominant at 6', decay at union from past failure due to included bark.
58	Callery Pear	Pyrus calleryana	10.3	45%	20x15	Fair to poor vigor, fair form, codominant at 7', in decline.
68	Chinese Elm	Ulmus parvifolia	29.8	70%	30x40	Good vigor, good form, in small planting strip.
78	Chinese pistache	Pistacia chinensis	5.4	60%	18x12	Fair vigor, fair form, surrounded by hardscape.
88	Callery Pear	Pyrus calleryana	5.4	50%	18x15	Fair vigor, fair form, close to foundation.
98	Callery Pear	Pyrus calleryana	7.8	60%	18x15	Fair vigor, fair form, close to foundation.
108	Crape myrtle	Lagerstroemia sp.	8.8	70%	15x15	Fair vigor, fair form.
118	Crape myrtle	Lagerstroemia sp.	8.9	70%	20x15	Fair vigor, fair form.
128	Crape myrtle	Lagerstroemia sp.	7.5	70%	20x15	Fair vigor, fair form.
138	London Plane	Platanus x hispanica	14.1	70%	40x35	Fair vigor, fair form, www.trees.com/care-for-english-planters-utilities .
148	London Plane	Platanus x hispanica	18.7	70%	40x35	Fair vigor, fair form, Street tree .
158	Japanese Black Pine	Pinus thunbergii	9	50%	20x15	Fair vigor, fair form, suppressed.
168	Coast Live Oak	Quercus agrifolia	10.3	30%	15x25	Poor vigor, poor form, suppressed, in decline.
178	Pin Oak	Quercus palustris	4.8	30%	10x8	Poor vigor, poor form, topped, in decline, Street tree .
188	Camelina	Camelina sativa	15	70%	30x20	Good vigor, fair form, codominant at 8'.
198	Emerald green pear	Pyrus kawakami	15.8	40%	25x20	Fair vigor, poor form, leans horizontally.
208	Emerald green pear	Pyrus kawakami	17.7	60%	30x30	Fair vigor, fair form, dead wood.
218	Callery Pear	Pyrus calleryana	17.2	40%	30x25	Fair vigor, poor form, large codominant leader failure at 6', decay.
228	Callery Pear	Pyrus calleryana	14.4	60%	20x20	Fair vigor, poor form, multi leader at 7', with included bark.
238	Callery Pear	Pyrus calleryana	12.8	40%	20x20	Fair to poor vigor, poor form, multi leader at 6' with included bark.
24	London Plane	Platanus x hispanica	22.3	70%	30x25	Fair to poor vigor, fair form, sun scald, die back, Street tree , under utilities.
258	Redwood	Sequoia sempervirens	12	80%	35x15	Good vigor, good form.
268	Pine	Liquidambar japonicum	18.4	30%	40x20	Poor vigor, poor form, in decline, decay on trunk.
278	Tree of Heaven	Ailanthus altissima	8.2	45%	12x12	Fair vigor, fair form, invasive.
288	Dogwood	Cornus sp.	2.7	30%	10x8	Poor vigor, fair form, suppressed in decline.
298	Cherry	Prunus serotina	8.7	45%	15x12	Fair to poor vigor, fair form, against building.
30	Coast Live Oak	Quercus agrifolia	10	60%	20x20	Good vigor, fair form, suppressed.
318	Cherry	Prunus serotina	9.4	45%	20x15	Fair to poor vigor, poor form, topped.
328	Cherry	Prunus serotina	6	40%	12x12	Fair to poor vigor, poor form, codominant with decay at union.
33	Cherry	Prunus serotina	6	45%	15x10	Fair vigor, poor form, suppressed by pine.
34	Redwood	Sequoia sempervirens	6.8	20%	20x10	Fair vigor, fair form, suppressed, in decline.
35	Redwood	Sequoia sempervirens	7.9	65%	20x10	Fair vigor, fair form, suppressed.
36	Redwood	Sequoia sempervirens	11.5	65%	30x15	Fair vigor, good form, drought stressed.

Tree #	Species	Botanical	DBH (Inches)	Condition	Ht / Spread	Comments/Recommendations
37	Redwood	Sequoia sempervirens	13.4	60%	30x15	Fair vigor, good form, drought stressed.
388	Coast Live Oak	Quercus agrifolia	9.8	40%	20x15	Fair vigor, poor form, topped, bleeding canker, sycamore base, saprotel at root crown.
39	Photograph	Photograph	12	60%	15x20	Good vigor, fair form.
408	Callery Pear	Pyrus calleryana	12.3	60%	20x20	Good vigor, poor form, codominant at 7' with included bark.
418	Callery Pear	Pyrus calleryana	8.4	0%	30x15	Dead.
428	Callery Pear	Pyrus calleryana	12.8	60%	30x20	Good vigor, poor form, codominant at 6' with included bark.
438	Callery Pear	Pyrus calleryana	14	60%	30x20	Good vigor, poor form, codominant at 6' with included bark.
448	Callery Pear	Pyrus calleryana	12.5	60%	30x20	Good vigor, poor form, codominant at 6' with included bark.
458	Callery Pear	Pyrus calleryana	11.6	60%	30x20	Good vigor, poor form, codominant at 6' with included bark.
468	Callery Pear	Pyrus calleryana	14.4	60%	30x20	Good vigor, poor form, codominant at 6' with included bark.
478	Valley Oak	Quercus lobata	12	60%	30x20	Good vigor, fair form, on creek bank.
48	Big Leaf Maple	Acer macrophyllum	17.1	10%	40x20	Good vigor, fair form, multi leader at 10'.
49	Redfield Island Pine	Pinus radiata	7.3	60%	20x12	Good vigor, fair form, suppressed.
50	Strawberry tree	Arbutus menziesii	12.8	40%	20x15	Good vigor, fair form, decay at root crown, on slope.
51	Japanese maple	Acer palmatum	9.5	60%	20x12	Fair vigor, fair form, sun scald, minor die back.
628	Mayten	Maytenus boaria	7.8	40%	10x12	Poor vigor, fair form, die back in decline.
638	Mayten	Maytenus boaria	4.2	50%	10x10	Fair vigor, fair form, suppressed.
648	Redwood	Sequoia sempervirens	27.4	40%	60x15	Fair to poor vigor, poor form, codominant at top, drought stressed.
658	Mayten	Maytenus boaria	6.4	50%	15x10	Fair vigor, poor form, suppressed.
668	Mayten	Maytenus boaria	5.7	50%	15x10	Fair vigor, poor form, suppressed in decline.
678	Mayten	Maytenus boaria	6	40%	15x8	Fair to poor vigor, poor form, suppressed in decline.
688	Mayten	Maytenus boaria	5.3	40%	12x8	Poor vigor, poor form, suppressed.
698	Cherry	Prunus avium	4.8	60%	8x8	Fair vigor, fair form, young.
708	Callery Pear	Pyrus calleryana	14	40%	20x15	Fair to poor vigor, poor form, topped in past.
718	Japanese maple	Acer palmatum	8.8-8.8	70%	20x20	Good vigor, fair form, well-maintained planting.
728	Mayten	Maytenus boaria	4	30%	10x8	Poor vigor, poor form, in decline.
738	Mayten	Maytenus boaria	8.3	30%	12x10	Poor vigor, poor form, in decline.
748	Mayten	Maytenus boaria	7.4	30%	12x12	Poor vigor, poor form, in decline.
758	Photograph	Photograph	8	40%	20x15	Fair vigor, poor form, leans at 45 degrees.
66	Callagras palm	Cordyline australis	4	10%	15x5	Fair vigor, fair form.
67	Callagras palm	Cordyline australis	4	10%	20x3	Fair vigor, fair form.
68	Japanese maple	Acer palmatum	5	60%	12x12	Fair vigor, fair form, history of limb loss.
698	Redwood	Sequoia sempervirens	12.2	50%	65x20	Fair vigor, poor form, codominant at 8', drought stressed.
708	Pine	Liquidambar japonicum	8-6.5	40%	20x20	Fair vigor, poor form, multi leader at grade, dead wood.
718	Pine	Liquidambar japonicum	7.4	40%	20x15	Fair vigor, poor form, multi leader at grade, dead wood.
728	Pine	Liquidambar japonicum	3-2.2	40%	15x15	Fair vigor, poor form, multi leader at grade, dead wood.
738	Pine	Liquidambar japonicum	4.5	40%	15x15	Fair vigor, poor form, multi leader at grade, dead wood.
748	Pine	Liquidambar japonicum	6.5-4.4	40%	20x20	Fair vigor, poor form, multi leader at grade, dead wood.
758	Pine	Liquidambar japonicum	3.5-3	40%	15x15	Fair vigor, poor form, multi leader at grade, dead wood.

Tree #	Species	Botanical	DBH (Inches)	Condition	Ht / Spread	Comments/Recommendations
768	Pine	Liquidambar japonicum	3.2-2.2	40%	15x15	Fair vigor, poor form, multi leader at grade, dead wood.
778	Pine	Liquidambar japonicum	3-3.5	40%	20x15	Fair vigor, poor form, multi leader at grade, dead wood.
788	Pine	Liquidambar japonicum	4.5-3.4	40%	20x15	Fair vigor, poor form, multi leader at grade, dead wood.
798	Pine	Liquidambar japonicum	4.5-3.4	40%	20x15	Fair vigor, poor form, multi leader at grade, dead wood.
808	Pine	Liquidambar japonicum	4.3-3.5	40%	20x15	Fair vigor, poor form, multi leader at grade, dead wood.
818	Pine	Liquidambar japonicum	4-3.8	40%	15x15	Fair vigor, poor form, multi leader at grade, dead wood.
828	Pine	Liquidambar japonicum	3-2.5	40%	12x10	Fair vigor, poor form, multi leader at grade, dead wood.
838	Pine	Liquidambar japonicum	3-3-3-0	40%	12x12	Fair vigor, poor form, multi leader at grade, dead wood.
848	Pine	Liquidambar japonicum	2-3-3	40%	14x10	Fair vigor, poor form, multi leader at grade, dead wood.
858	Pine	Liquidambar japonicum	4-2-4	40%	14x12	Fair vigor, poor form, multi leader at grade, dead wood.
868	Black Acacia	Acacia melanocoryna	8.4	45%	25x20	Good vigor, fair form, invasive species.
878	Pine	Liquidambar japonicum	3.1	45%	10x10	Fair vigor, poor form, suppressed.
888	Blue gum Eucalyptus	Eucalyptus globulus	12	40%	50x10	Fair vigor, poor form, topped.
898	Blue gum Eucalyptus	Eucalyptus globulus	48	40%	50x15	Fair vigor, poor form, topped.
90	Clive	Clivia miniata	4.5-2.0	100%	20x20	Fair vigor, fair form, suppressed by eucalyptus.
918	Blue gum Eucalyptus	Eucalyptus globulus	60	40%	65x20	Fair vigor, poor form, topped, surrounded by hardscape.
928	Black Acacia	Acacia melanocoryna	18.9	45%	30x20	Fair vigor, fair form, invasive, surrounded by hardscape.
938	Magnolia	Magnolia grandiflora	12.7	65%	30x20	Fair vigor, fair form, surrounded by hardscape.
948	Albizia form pine	Albizia julibrissin	22.5	60%	45x20	Fair vigor, fair form, leans away from building.
958	Acacia	Acacia dealbata	15	40%	40x20	Poor vigor, fair form, invasive, in decline.
968	Acacia	Acacia dealbata	14.7	40%	35x20	Fair vigor, poor form, leans, invasive.
978	Acacia	Acacia dealbata	6.7	40%	35x20	Fair vigor, poor form, invasive, leaning.
988	Redwood	Sequoia sempervirens	6.3-4	60%	25x15	Fair vigor, fair form.
998	Clive	Clivia miniata	3.5	100%	15x8	Fair vigor, poor form, suppressed.
1008	Clive	Clivia miniata	8	100%	25x20	Fair vigor, poor form, suppressed.
1018	Valley Oak	Quercus lobata	18	45%	45x45	Fair to poor vigor, poor form, suppressed, dead leader, ivy.
1028	Coast Live Oak	Quercus agrifolia	20	60%	35x40	Good vigor, fair form, close to structure, suppressed, leans.
1038	Coast Live Oak	Quercus agrifolia	10	45%	30x30	Fair vigor, poor form, suppressed, dead wood.
1048	Blue gum Eucalyptus	Eucalyptus globulus	55	40%	75x40	Fair vigor, poor form, topped.
1058	Japanese Maple	Acer palmatum	8	70%	20x20	Good vigor, good form.
1068	Alder	Alnus rubra	8	70%	30x20	Fair vigor, fair form.
1078	Callery Pear	Pyrus calleryana	18.4	60%	35x20	Fair vigor, poor form, codominant at 7'.
1088	Cherry laurel	Prunus caroliniana	5.4	50%	12x10	Fair to poor vigor, fair form.
1098	Japanese maple	Acer palmatum	8	70%	15x20	Good vigor, good form.
1108	Japanese maple	Acer palmatum	17-27	70%	20x20	Good vigor, fair form, multi leader at grade, decay on leader.
1118	Callery Pear	Pyrus calleryana	13.3	40%	25x20	Fair vigor, poor form, topped, codominant at 7'.
1128	Tree fern	Lepidodermis longipes	7.3-6	50%	10x20	Fair vigor, fair form, suppressed.
1138	Mexican fan palm	Washingtonia robusta	22	70%	50x8	Good vigor, good form.
1148	Eucalyptus	Eucalyptus hybridus	45.4	30%	50x45	Poor vigor, poor form, topped, surrounded by hardscape.

Tree #	Species	Botanical	DBH (Inches)	Condition	Ht / Spread	Comments/Recommendations
1158	Blechn	Adiantum petiolata	12	60%	30x20	Fair vigor, fair form.
1168	Blechn	Adiantum petiolata	8.4	60%	30x15	Fair vigor, fair form.
1178	Blechn	Adiantum petiolata	8.4	60%	35x15	Fair vigor, fair form.
1188	Blechn	Adiantum petiolata	9	65%	35x15	Fair vigor, fair form.
1198	Blechn	Adiantum petiolata	9	65%	35x15	Fair vigor, fair form.
1208	Blechn	Adiantum petiolata	7.8	65%	35x15	Fair vigor, fair form.
1218	Blechn	Adiantum petiolata	7.7	65%	35x15	Fair vigor, fair form.
1228	Blechn	Adiantum petiolata	12.3	65%	35x15	Fair vigor, fair form.
1238	Japanese maple	Acer palmatum	5	70%	12x12	Good vigor, good form.
1248	Blechn	Adiantum petiolata	11.6	65%	40x20	Good vigor, fair form.
1258	Blechn	Adiantum petiolata	7.1	50%	30x15	Fair vigor, fair form, dead wood at top.
1268	Japanese Maple	Acer palmatum	8.8	60%	12x12	Good vigor, poor form, topped.
1278	Tree of Heaven	Ailanthus altissima	21	50%	45x25	Good vigor, fair form, invasive species.
1288	Tree of Heaven	Ailanthus altissima	15.2	50%	45x25	Good vigor, fair form, invasive species.
1298	Redwood	Sequoia sempervirens	26.8	70%	60x30	Fair vigor, good form.
1308	Tree of Heaven	Ailanthus altissima	16.7	50%	45x40	Fair vigor, fair form, invasive.
1318	Tree of Heaven	Ailanthus altissima	15.7	50%	45x40	Fair vigor, fair form, invasive.
1328	Tree of Heaven	Ailanthus altissima	16.2	50%	45x40	Fair vigor, fair form, invasive.
1338	Tree of Heaven	Ailanthus altissima	18.4	5		

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

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hand under the direct supervision of the Project Arborist. New base rock material is recommended to consist of Structural Soil (CU Mix). The Structural Soil is recommended to be packed around the tree roots with the new sidewalk built up on top of the tree root zones. The trees are recommended to be irrigated daily while this work is taking place so that roots do not dry out. After the construction of the sidewalk is complete, the trees are recommended to be irrigated weekly using 50 gallons of water per tree. Impacts are expected to be minor.

Trees proposed for removal:

Trees #1-12, 15-17, 19-21, 23, 25-29, 31, 32, 34, 38, 40-46, 52-60, 62-65, 69-89, 91-128, 130-134, 136, 139-143, 145-150, 153-156, 158, and 160-165 are proposed for removal to facilitate construction.

Tree replacement measures:

The tree canopy replacement standard as seen in Palo Alto's Tree Technical Manual will need to be used to establish the number of replacement trees required on site.

Tree Canopy - Replacement Standard

COLUMN 1	COLUMN 2	COLUMN 3
Canopy of the Removed Tree (Avg. dist. across the canopy*)	Replacement Trees	Alternative Tree
4'-9'	Two 24" Box Size (minimum)	One 36" Box Size
10'-27'	Three 24" Box Size	Two 36" Box Size
28'-40'	Four 24" Box Size	Two 48" Box Size
40'-56'	Six 24" Box Size	Two 48" Box & Two 36" Box Size
56'-60'	Two 24" Box & Two 36" Box + Two 48" Box Size	**
60'+	**	**

Protected trees proposed for removal:

Pin oak tree #17 is a protected street tree. The tree is in poor condition due to being radically topped in the past. The vigor of the tree is poor and not expected to improve. Tree removal is recommended.

3398, 3400, 3450 El Camino (10)



Redwood tree #54 is a protected tree that is in poor condition. The tree is located very close to an existing building on site. The tree is codominant at the top of the canopy and drought stress symptoms were observed within the canopy. Demolition of the existing structure would likely have a high impact on the tree's health. The proposed building is within the tree's footprint. Tree removal is recommended as the tree is too close to the existing building.

Showing Redwood tree #54



Redwood tree #69 was given a fair condition rating. The tree is codominant at 6'. Drought stress symptoms were observed. The tree's poor form can increase risk of a leader failure. Construction is proposed near the tree and would have a high impact on the health of the tree; therefore, tree removal is recommended. The tree is poorly located on the lot and completely surrounded by handscapes. Tree decline is expected to continue for this tree regardless of management.

Showing Redwood tree #69

Valley oak tree #101 is in poor condition. The tree has a large dead lead that should be removed. Ivy growth was observed throughout the canopy. It is recommended to remove all of the ivy growth and have the tree's root crown inspected for signs of root rot disease.

Coast live oak tree #102 is in fair condition. The tree is close to an existing structure and grows a lean heavy into the site. It is recommended to perform crown reduction pruning to reduce risk of limb failure in association with the tree's lean.

The following tree protection plan will protect the trees during the proposed construction.

3398, 3400, 3450 El Camino (11)

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6-foot-tall metal chain link type supported by 2-inch diameter metal poles pounded into the ground to a depth of no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing for the protected trees on site should be placed at the distances noted below. All other non-protected trees are recommended to be protected by fencing placed at the dripline. No equipment or materials should be stored or cleaned inside protection zones. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". If fencing needs to be reduced for access or any other reasons, the non-protected areas must be protected by a landscape buffer. All tree protection and inspection schedule measures, design recommendations, watering and construction scheduling shall be implemented in full by the owner and contractor. The following tree protection distances should be followed throughout the entire length of the project for the protected trees:

- London Plane street trees #13 and #14 are recommended to be protected by type 2 tree protection fencing. Fencing shall be installed in a way that completely fences off the entire street tree planting strips.
- The remaining trees are recommended to be protected by type 1 tree protection fencing located at the driplines of the trees.



IMAGE 2.15-1
Tree Protection Fence at the Dripline

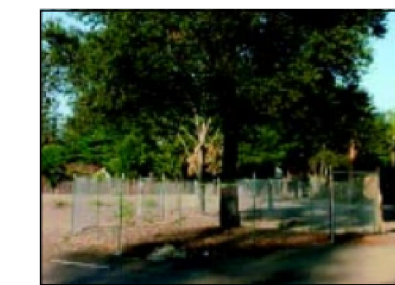


IMAGE 2.15-2
Tree Protection Fence at the Dripline

Type I Tree Protection

The fence shall enclose the entire area under the **canopy dripline** or **TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (see Images 2.15-1 and 2.15-2). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

Showing type 1 tree protection fencing

3398, 3400, 3450 El Camino (12)

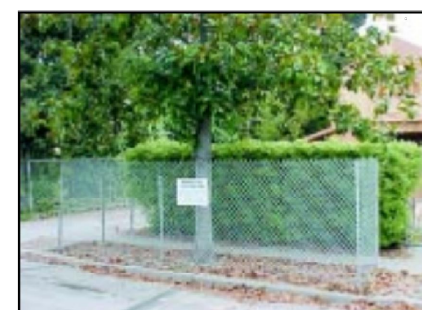


IMAGE 2.15-3
Tree Protection within a Planter Strip

Type II Tree Protection
For trees situated within a narrow planting strip, only the planting strip shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use. (see Image 2.15-3)

Landscape Buffer

Where tree protection does not cover the entire root zone of the trees at the dripline or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone. If plywood is used the pieces of plywood shall be attached in a way that minimizes movement.

Tree Pruning

During construction any Pruning will be supervised by the site arborist and must stay underneath 25% of the tree total foliage. No Pruning is expected on this site.

Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation or fertilizing at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. Roots to be cut measuring larger than 1.5" in diameter shall be shown to the Project Arborist before being cut.

Trenching and Excavation

Trenching for irrigation, electrical, drainage or any other reason, should be located outside of the trees calculated root zone of 10 times the tree diameters when possible. If not possible, trenching shall be hand dug when beneath the dripline of desired trees. Any excavation underneath the dripline of a protected tree will need to be supervised by the Project Arborist. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open with exposed roots shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below. Roots retained within trenches are recommended to be wrapped in layers of wetted down burlap to avoid root desiccation.

3398, 3400, 3450 El Camino (13)

Irrigation

Normal irrigation should be maintained throughout the entire length of the project for the imported trees. Irrigation should consist of surface flooding, with enough water to wet the entire root zone every other week during the dry season. Native oak trees shall only be irrigated during the months of May and September.

Grading

All existing grades underneath the dripline of a protected tree shall remain as is where possible.

Inspections

The site will be inspected after the tree protection measures are installed and before the start of construction. Monthly inspections are mandatory for a site such as this. Inspections will be carried out during the first week of each month. The inspections will be documented with inspection letters being provided to the owner, contractor, and City Arborist. Other inspections will be carried out on an as needed basis. The monthly inspections are required by the city of Palo Alto as a condition of approval. It is the contractor's responsibility to notify the site arborist when construction is to start, and whenever there is to be work performed within the dripline of a protected tree on site at least 48 hours in advance. During the site visits the site arborist will offer mitigation measures specific to the work completed. Kiely Arborist Services can be reached at 650-515-9783 or 650-532-4418, or by email at kkarbor0476@yahoo.com. A final inspection letter will also be required by the city before final occupancy.

Further information about tree protection can be found in the Tree Technical Manual provided by the city of Palo Alto. This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,
David Beckham Certified Arborist WE#10724A TRAQ Qualified
David Beckham

3398, 3400, 3450 El Camino (14)

Kiely Arborist Services

P.O. Box 6187
San Mateo, CA 94403
650-532-4418

ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fall in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

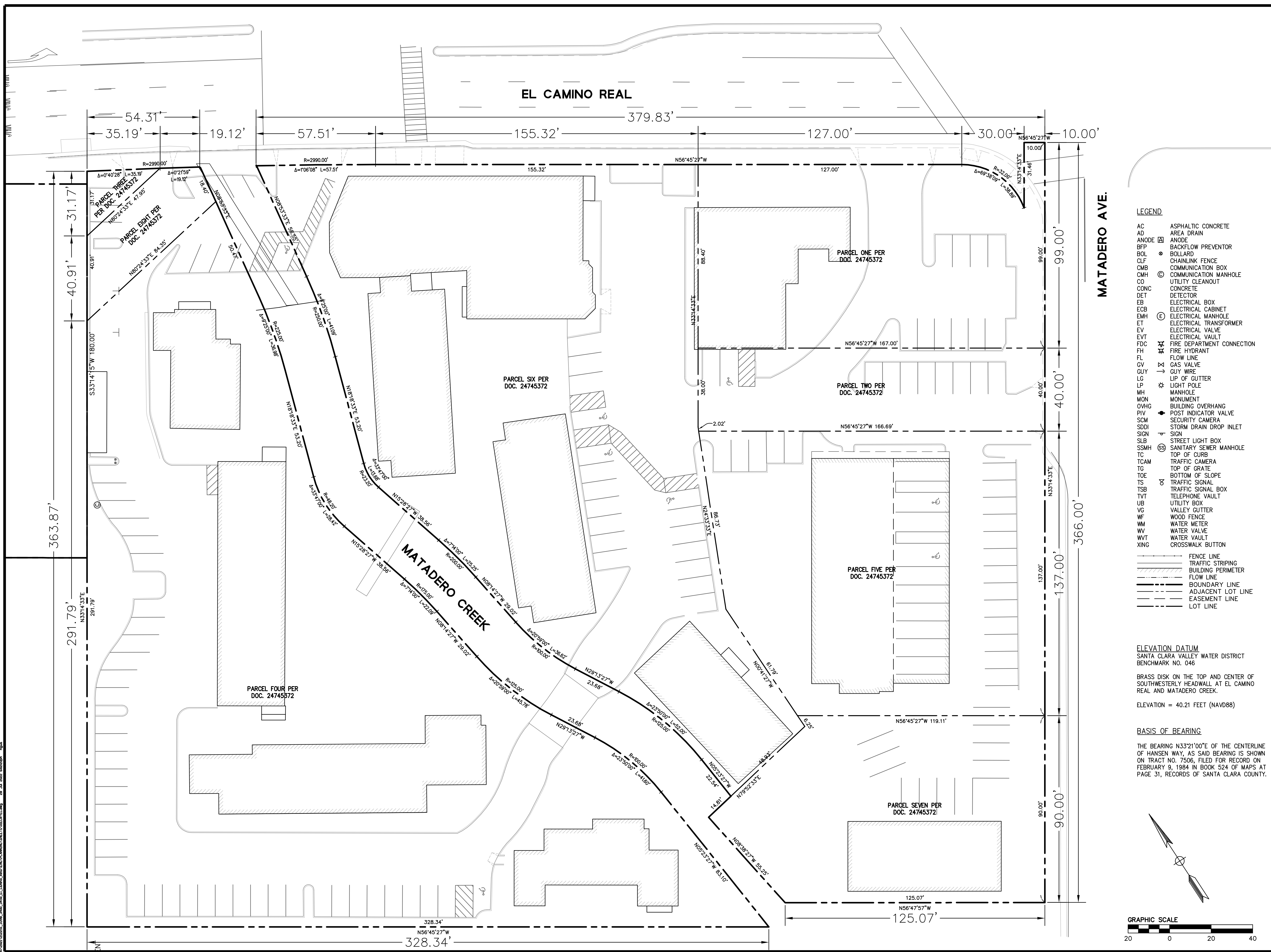
Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist: *David Beckham*
David Beckham

Date: April 27th, 2022

Project
Data





LEGEND

- AC ASPHALTIC CONCRETE
- AD AREA DRAIN
- ANODE [Symbol]
- BFP BACKFLOW PREVENTOR
- BOL BOLLARD
- CLF CHAINLINK FENCE
- CMB COMMUNICATION BOX
- CO UTILITY CLEANOUT
- CONC CONCRETE
- DET DETECTOR
- EB ELECTRICAL BOX
- ECB ELECTRICAL CABINET
- EMH [Symbol] ELECTRICAL MANHOLE
- ET ELECTRICAL TRANSFORMER
- EV ELECTRICAL VALVE
- EVT ELECTRICAL VAULT
- FDC FIRE DEPARTMENT CONNECTION
- FH [Symbol] FIRE HYDRANT
- FL FLOW LINE
- GV GAS VALVE
- GUY [Symbol] GUY WIRE
- LG LIP OF GUTTER
- LP [Symbol] LIGHT POLE
- MH [Symbol] MANHOLE
- MON MONUMENT
- OVHG BUILDING OVERHANG
- PIV POST INDICATOR VALVE
- SCM SECURITY CAMERA
- SDDI STORM DRAIN DROP INLET
- SIGN [Symbol] SIGN
- SLB STREET LIGHT BOX
- SSMH [Symbol] SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TCAM TRAFFIC CAMERA
- TG TOP OF GRATE
- TOE BOTTOM OF SLOPE
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- TVT TELEPHONE VAULT
- UB UTILITY BOX
- VG VALLEY GUTTER
- WF WOOD FENCE
- WM WATER METER
- WV WATER VALVE
- WVT WATER VAULT
- XING CROSSWALK BUTTON

- [Symbol] FENCE LINE
- [Symbol] TRAFFIC STRIPING
- [Symbol] BUILDING PERIMETER
- [Symbol] FLOW LINE
- [Symbol] BOUNDARY LINE
- [Symbol] ADJACENT LOT LINE
- [Symbol] EASEMENT LINE
- [Symbol] LOT LINE

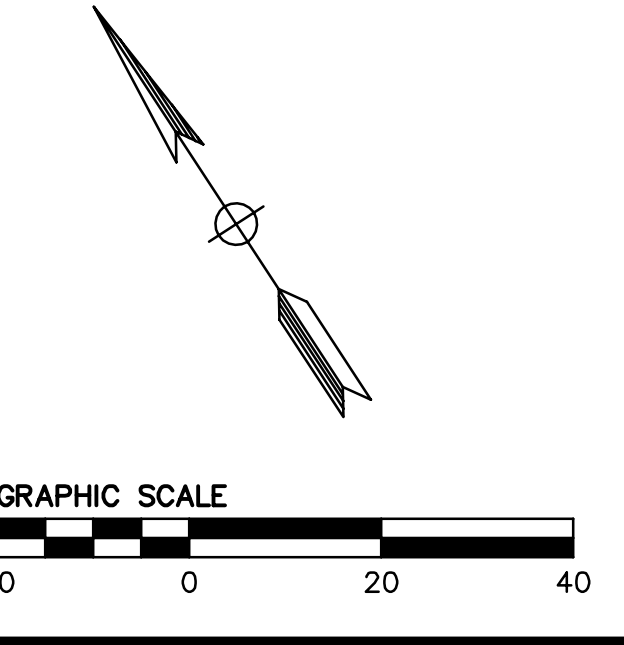
ELEVATION DATUM
SANTA CLARA VALLEY WATER DISTRICT
BENCHMARK NO. 046

BRASS DISK ON THE TOP AND CENTER OF
SOUTHWESTERLY HEADWALL AT EL CAMINO
REAL AND MATADERO CREEK.

ELEVATION = 40.21 FEET (NAVD88)

BASIS OF BEARING

THE BEARING N33°21'00"E OF THE CENTERLINE
OF HANSEN WAY, AS SAID BEARING IS SHOWN
ON TRACT NO. 7506, FILED FOR RECORD ON
FEBRUARY 9, 1984 IN BOOK 524 OF MAPS AT
PAGE 31, RECORDS OF SANTA CLARA COUNTY.



FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

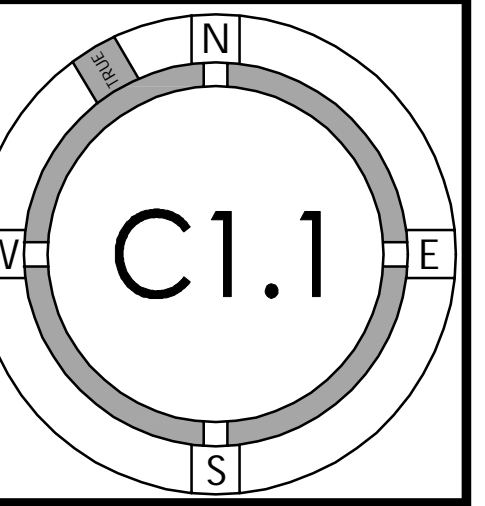
Residences At Matadero Creek
RESIDENTIAL AND RETAIL

Palo Alto, 3400 El Camino Real
Oxford Capital Group

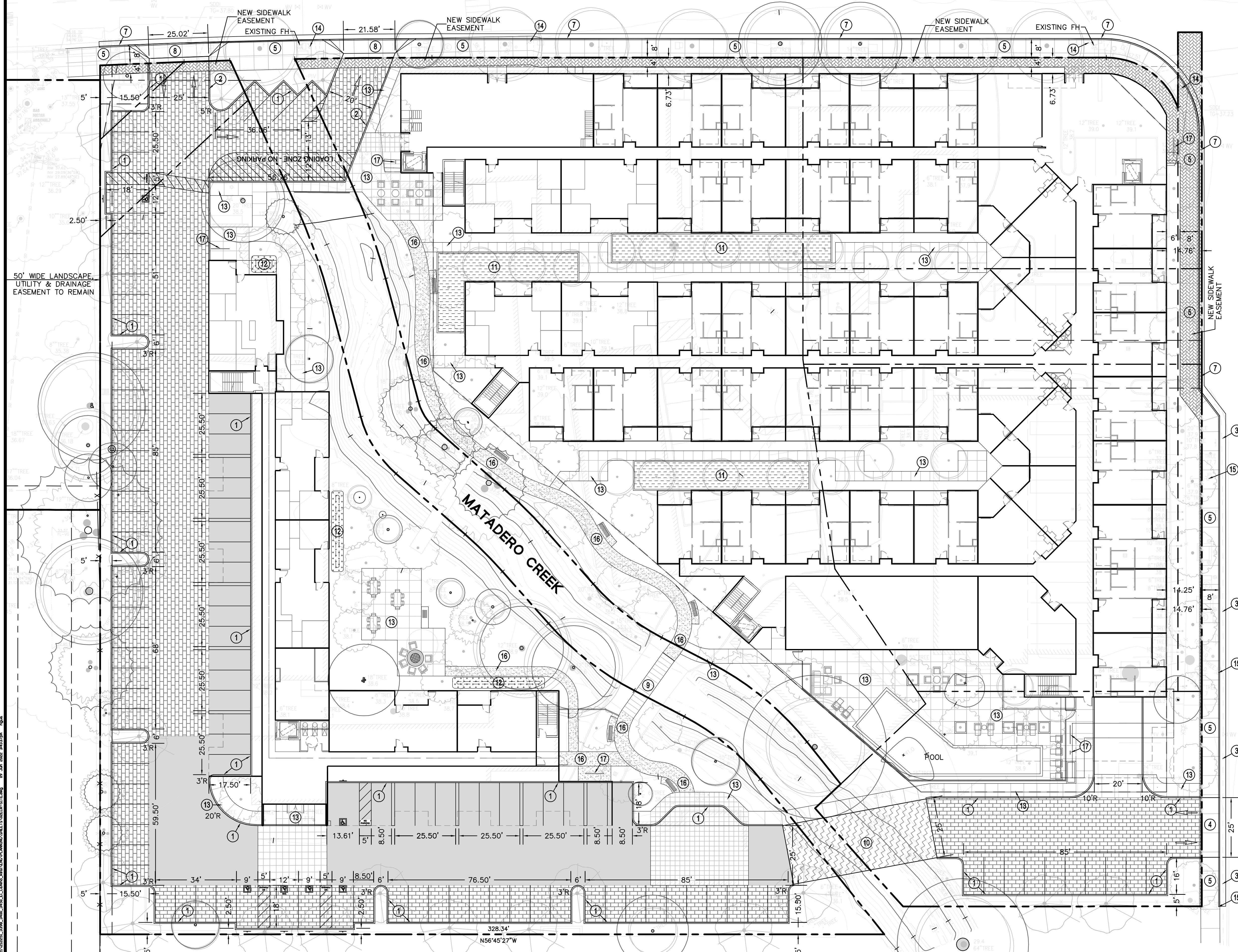


PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22-002	2022.06.03	CITY COUNCIL PRE-SCREENING	ATN
REVISION			

EXISTING
CONDITIONS



EL CAMINO REAL



MATADERO AVE.

LEGEND

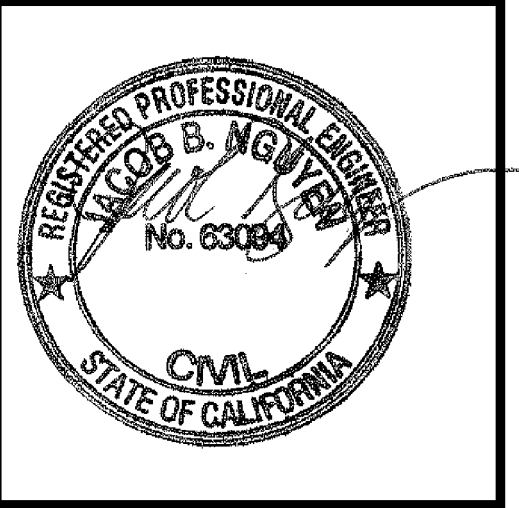
- 1 AC PAVEMENT (TYPE A AC OVER CALTRANS CL. 2 AB)
- 2 NEW PUBLIC SIDEWALK EASEMENT
- 3 NEW PERVIOUS PAVEMENT
- 4 ABOVE GROUND FLOW-THROUGH PLANTER
- 5 BIORETENTION BASIN

KEY NOTES

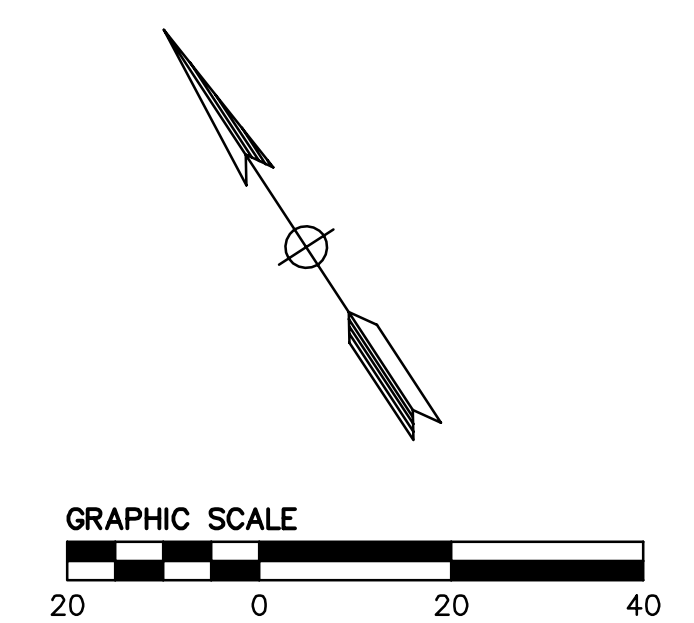
- 1 CONCRETE VERTICAL CURB
- 2 CONCRETE CURB AND GUTTER
- 3 CITY STANDARD ROLLED CURB AND GUTTER
- 4 CITY STANDARD DRIVEWAY
- 5 CITY STANDARD SIDEWALK
- 6 CITY STANDARD CURB RAMP
- 7 CITY STANDARD CURB AND GUTTER
- 8 CALTRANS STANDARD DRIVEWAY
- 9 PEDESTRIAN BRIDGE
- 10 VEHICULAR BRIDGE
- 11 ABOVE GROUND FLOW-THROUGH PLANTER
- 12 BIORETENTION BASIN
- 13 PRIVATE WALK, S.L.D.
- 14 TRAFFIC SIGNAL TO REMAIN
- 15 POWER POLE AND GUY WIRES TO REMAIN
- 16 DECOMPOSED GRANITE TRAIL, S.L.D.
- 17 BIKE RACK, S.L.D.

FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

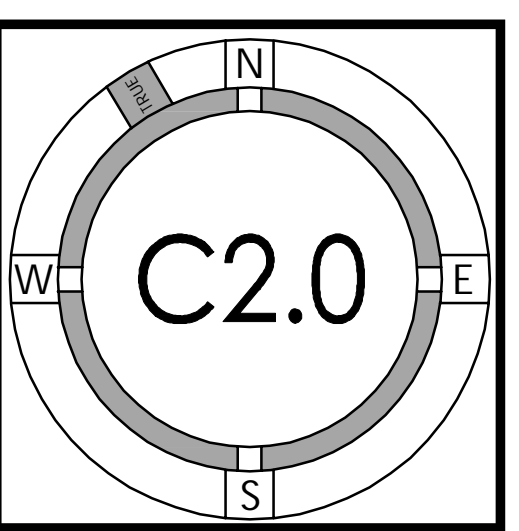
Residences At Matadero Creek
RESIDENTIAL AND RETAIL
Palo Alto, 3400 El Camino Real
Oxford Capital Group



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
22-002	2022.06.03	CITY COUNCIL PRE-SCREENING	ATN

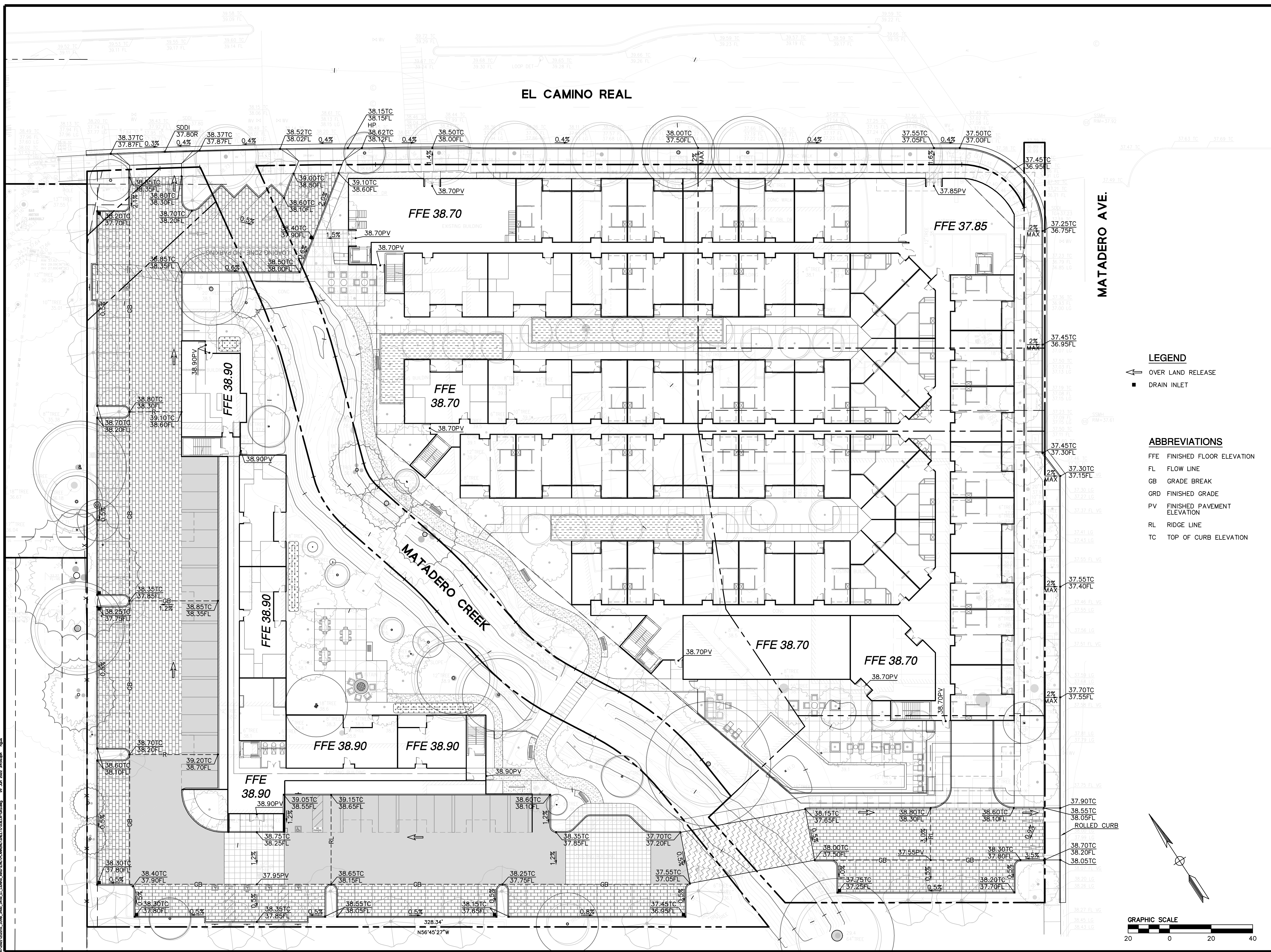


SITE PLAN



EL CAMINO REAL

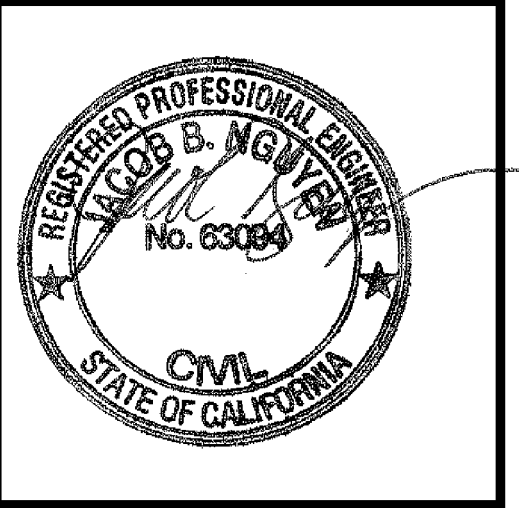
MATADERO AVE.



LEGEND
 OVER LAND RELEASE
 DRAIN INLET

ABBREVIATIONS
 FFE FINISHED FLOOR ELEVATION
 FL FLOW LINE
 GB GRADE BREAK
 GRD FINISHED GRADE
 PV FINISHED PAVEMENT ELEVATION
 RL RIDGE LINE
 TC TOP OF CURB ELEVATION

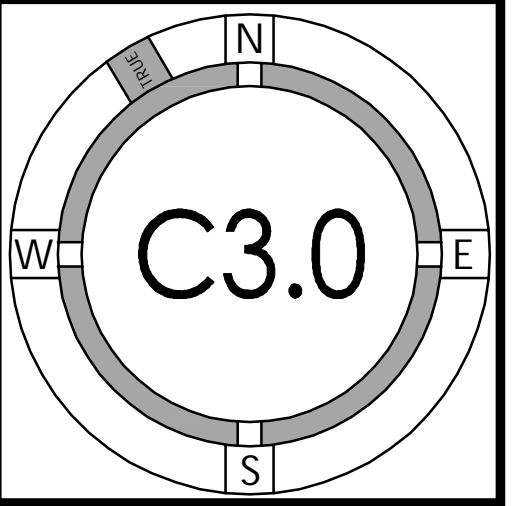
Residences At Matadero Creek
RESIDENTIAL AND RETAIL
 Palo Alto, 3400 El Camino Real
 Oxford Capital Group



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22-002	2022.06.03	CITY COUNCIL PRE-SCREENING	ATN

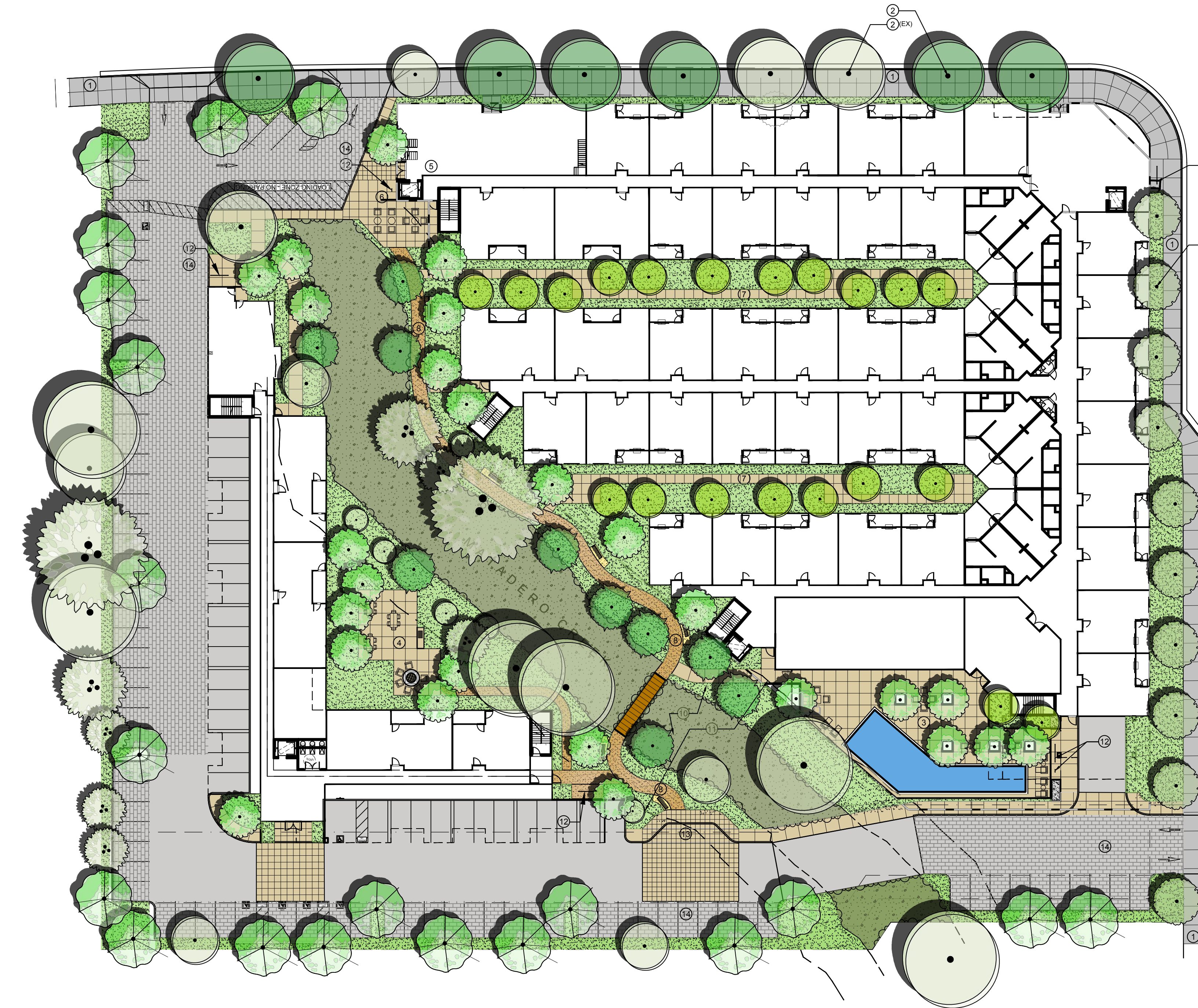
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GRADING AND DRAINAGE PLAN



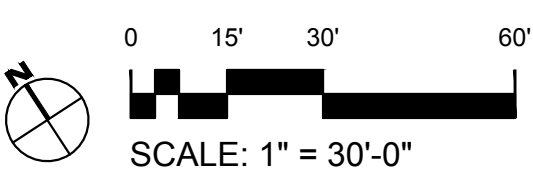
DATE PLOTTED: 2022.06.03 10:58 AM; USER: JACOB.MONTGOMERY; PROJECT: 22-002; SHEET: 01 OF 01; SCALE: 1/8"=1'-0";

EL CAMINO REAL



KEY NOTES:

- ① CITY SIDEWALK
12 FT WIDE ON EL CAMINO REAL
8 FT WIDE ON MATADERO AVENUE
- ② STREET TREES
- ③ POOL RECREATION AREA FOR PROJECT RESIDENTS
- ④ RECREATION AREA FOR PROJECT RESIDENTS
- ⑤ RETAIL SPACE
- ⑥ OUTDOOR SPACE AT RETAIL SPACE
- ⑦ COURTYARD
- ⑧ TRAIL (DECOMPOSED GRANITE)
- ⑨ PEDESTRIAN BRIDGE
- ⑩ TOP OF BANK (MATADERO CREEK)
- ⑪ 20 FT SETBACK FROM TOP OF BANK (MATADERO CREEK)
- ⑫ BIKE RACK (SHORT TERM STORAGE)
39 SPACES FOR RESIDENTIAL USE
3 SPACES FOR RETAIL USE
- ⑬ DROP OFF ZONE
- ⑭ PERVIOUS PAVEMENT (REFER TO CIVIL PLAN)



MATADERO AVE

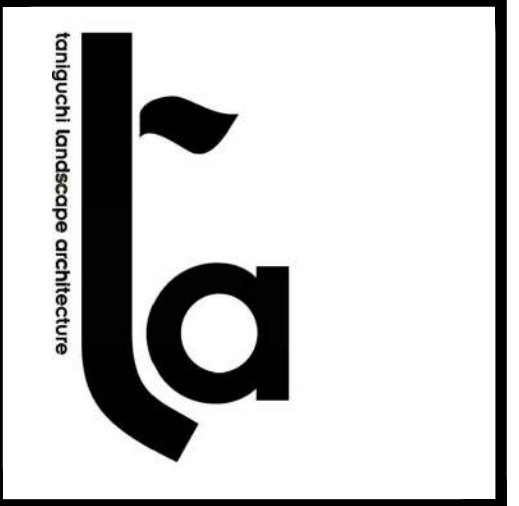
ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	INDIGENOUS	CREEK*	COURTYARD	STREET FRONT†	PERIMETER*	MISC. NOTES & REQUIREMENTS
TREES										
ACE PAL	<i>Acer palmatum</i>	Japanese Maple	24" Box	M			X			Mult. SL/N.V.S.-45'/Stem up.
ACE SK	<i>Acer palmatum 'Sango Kaku'</i>	Coral Bark Maple	24" Box	M			X			Mult. SL/N.V.S.-45'/Stem up.
ACE CAL	<i>Aesculus californica</i>	Buckeye	24" Box	VL	X	X	X			Mult. SL/N.V.S.-45'/Stem up.
ARB MEN	<i>Arbutus menziesii</i>	Madrone	24" Box	L	X	X				SL
CER OCC	<i>Cercis occidentalis</i>	Western Redbud	24" Box	V.L	X	X	X			SL/Stem up.
PLA COL	<i>Platanus acerifolia 'Columbia'</i>	London Plane Tree	24" Box	M				X	X	SL/Stem up. Street tree for ECR-infill
PRU HI	<i>Prunus hiemalis</i>	Hollyleaf Cherry	24" Box	VL	X	X				SL/Stem up.
QUE AGR	<i>Quercus agrifolia</i>	Coast Live Oak	24" Box	VL	X	X			X	SL/Stem up.
QUE DOU	<i>Quercus douglasii</i>	Blue Oak	24" Box	VL	X	X			X	SL/Stem up. Street tree for Matadero Ave
UMB CAL	<i>Umbellularia californica</i>	California Bay	24" Box	M	X	X				SL
SHRUBS										
ACE CIR	<i>Acer circinatum 'Little Gem'</i>	Vine Maple	15 G.C.	M	X	X	X			F & B
CEA SKY	<i>Ceanothus 'Skylark'</i>	Ceanothus	5 G.C.	L	X	X				F & B
GAR ELL	<i>Garrya elliptica</i>	Coast Silk Tassel	5 G.C.	L	X	X				F & B
HET ARB	<i>Heteromeles arbutifolia</i>	Toyon	5 G.C.	L	X	X			X	F & B
MYR CAL	<i>Myrica californica</i>	Pacific Wax Myrtle	1 G.C.	M	X	X			X	T.F./H. Br.
RHA CAL	<i>Rhamnus californica</i>	Coffeeberry	5 G.C.	L	X	X	X	X		F & B
RIB SAN	<i>Ribes sanguinum</i>	Pink Winter Currant	5 G.C.	L	X	X	X			F & B
RHO OCC	<i>Rhododendron occidentale</i>	Western Azalea	5 G.C.	M	X	X			X	F & B
RHU INT	<i>Rhus integrifolia</i>	Lemonade Berry	5 G.C.	L	X	X	X			F & B
SAL SPA	<i>Salvia spathacea</i>	Hummingbird Sage	1 G.C.	L	X	X	X			F & B
PERENNIALS/BULBS/ANNUALS										
DRY ARO	<i>Dryopteris arguta</i>	Coastal Wood Fern	1 G.C.	L	X	X				
ERI GLA	<i>Eriogon glaucus</i>	Beach Aster	1 G.C.	L	X	X	X			
ERI UMB	<i>Eriogonum umbellatum 'Polyanthem'</i>	Sulfur Buckwheat	1 G.C.	L	X	X	X			
HEU SAC	<i>Heuchera 'Santa Ana Cardinal'</i>	Coral Bells	1 G.C.	M	X	X				
IRI DOU	<i>Iris douglasiana</i>	Douglas Iris	1 G.C.	L	X	X	X			
JUN PAT	<i>Juncus patens</i>	California Grey Rush	1 G.C.	L	X	X	X			
MUH PIG	<i>Muhlenbergia rigens</i>	Deer Grass	5 G.C.	L	X	X	X			
POL CAL	<i>Polypodium californicum</i>	California Polypody Fern	1 G.C.	VL	X	X				
POL MUN	<i>Polystichum munium</i>	Western Sword Fern	1 G.C.	M	X	X	X			
SIS RP	<i>Sisyrinchium bellum 'Rocky Point'</i>	Blue-Eyed Grass	1 G.C.	VL	X	X	X			
WOO FIM	<i>Woodwardia fimbriata</i>	Giant Chain Fern	5 G.C.	M	X	X				
ZAU CAT	<i>Zauschneria 'Catalina'</i>	California Fuchsia	1 G.C.	L	X	X	X			
GROUNDCOVERS										
ARC MC	<i>Arctostaphylos hookeri 'Mortuary Carpet'</i>	Monterey Manzanita	5 G.C.	L	X				X	Plant at 24" o.c.
ASA CAU	<i>Asarum caudatum</i>	Wild Ginger	1 G.C.	M	X	X				Plant at 15" o.c.
BAC PIL	<i>Baccharis pilularis</i>	Coyote Bush	5 G.C.	L	X				X	Plant at 36" o.c.
CAR DIV	<i>Carex divisa</i>	Berkley Sedge	1 G.C.	L	X	X	X			Plant at 15" o.c.
CEA AB	<i>Ceanothus 'Anchor Bay'</i>	Ceanothus	1 G.C.	L	X	X	X		X	Plant at 48" o.c.

WUCOLS RATINGS: VL= Very Low, L=Low, M=Medium, H=High

SITE PLANTING ZONES (AREAS OF THE PROJECT SITE WITH DIFFERENT GROUPINGS OF PLANT SPECIES):
 * CREEK = SITE AREA ALONG MATADERO CREEK, COURTYARD = OPEN SPACES SURROUNDED BY BLDG(S), STREET FRONTAGE = SITE AREA ALONG EL CAMINO REAL AND MATADERO AVE.
 PERIMETER = AREA ALONG SITE PROPERTY LINES OTHER THAN STREET FRONTAGES

PLANT LIST ABBREVIATIONS:
 Note: This list together with the plant list prepared by Taniguchi Landscape Architecture must accompany the contractor's nursery order(s)

- SL Single main, straight, dominant leader
- H. Br. High branched—lowest limbs held above rooball 9' min. for 15 gallon can 6' min. for 24" box trees
- No Top No topping or pruning of upper branches
- Br. Gr. Branched to ground
- F & B Full dense, bushy, vigorous plants, with young growth closely spaced on branches, no old/woody plants.
- N.V.S.-30 deg. Narrow upright vase shape 30 degrees or less spread in branch/trunk structure
- N.V.S.-45 deg. Narrow upright vase shape 45 degrees or less spread in branch/trunk structure
- T.F. Tree Form
- S.F. Shrub Form
- N.F. Narrow upright Form
- Mult. St. Mult stemmed
- G.C. Gallon Can
- Stem up. Stem up to expose trunk and lower branch pattern
- o.c. On center



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Residences At Matadero Creek
 RESIDENTIAL AND RETAIL

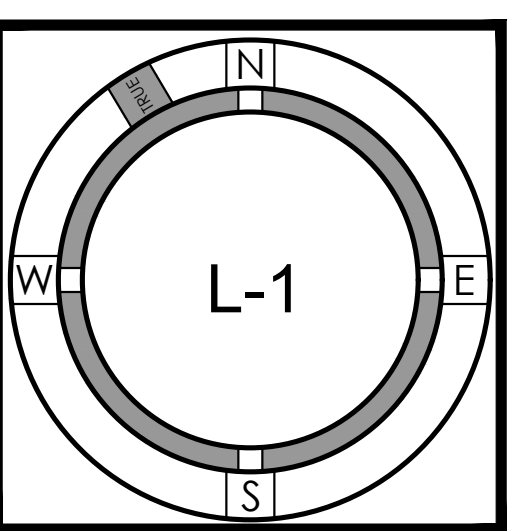
Palo Alto, 3400 El Camino Real

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PROJECT NO.	DATE	DESCRIPTION	REVISION
22-002	2022.06.03	CITY COUNCIL PRE-SCREENING	JA/JG
	2022.08.04	CITY COUNCIL PRE-SCREENING	

LANDSCAPE PLAN



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