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SUSHI ROKU

TENANT IMPROVEMENT
ARB Submittal # 2
11.04.2022

RESERVED FOR CITY APPROVAL STAMPS

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal
	11.04.2022	ARB Submittal #2

REVISION	DATE	DESCRIPTION
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G000
COVER SHEET

SCALE: NTS
DATE: 11.04.2022

ABBREVIATION

ABBREVIATIONS MAY BE USED WITH OR WITHOUT PUNCTUATION

C.L. (E) # @ A.B. ABV. A.C. ACQUS A.D. ADJ AFF AGGR ALUM ALT ANOD AOR APPROX ARCH ASB ASPH ASSY APL ATD BD BTW BITUM BLDG BLK BLKG BM B.N. B.O. BOT BRT BSMT BUR CAB C.B. CEM CER C.F. CHAM C.I. C.I.P. C.G. C.J. CLG CLKG CLD CLR CMU CNTR C.O. CO COL COMM CONC CONN CONST CONT CORR CRPT CTSX CSMT CT CTR C.Y. DBL DEMO DEF DEPT DET, DETL D.F. D.H. DIA DIAZ DIM DISP D.L. DN DOR DTL DWR DS DSP DWG E E E.A. E.B. E.C.R. E.F. E.J. EL ELAST ELEC ELEV EMER ENCL E.P. EQ EPT EQUIV ESMT E.W.C. EXP EXT F.A. F.B. FDM F.B. F E F E C FF FG FGL F H F H C FIN FLR FLUOR F.N. F.O. F.O.C. F.O.F. F.O.M. F.O.S. FPRF F.R. F.S.D. F.T. FTG FURN FURR FIXT	CENTERLINE DIAMETER EXISTING NUMBER AT ANCHOR BOLTS ABOVE ASPHALT CONCRETE ACOUSTICAL AREA DRAIN ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE ALUMINUM ALTERNATE ANODIZED AREA OF REFUGE APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT ASSEMBLY ASSUMED PROPERTY LINE ALTERNATING TREAD DEVICE BOARD BETWEEN BITUMINOUS BUILDING BLOCK BLOCKING BEAM BOUNDARY NAILING BOTTOM OF BOTTOM BEARING BASEMENT BUILT-UP ROOFING CABINET CATCH BASIN CEMENT CERAMIC CUBIC FOOT CHAMFER (ED) CAST IRON CAST-IN-PLACE CORNER GUARD CONSTRUCTION JOINT CEILING CAUKING CLO CLOSED CLEAR CONCRETE MASONRY UNIT COUNTER CASED OPENING CLEANOUT COLUMN COMMUNICATION CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR CARPET COUNTERSUNK CASEMENT CERAMIC TILE CENTER CUBIC YARD DOUBLE DEMOLITION DEPRESSION DEPARTMENT DETAIL DRINKING FOUNTAIN DOUBLE HUNG DIAMETER DIAGONAL DIMENSION DISPENSER DEAD LOAD DOWN DOOR DETAIL DRAWER DOWNSPOUT DRY DRAINPIPE DRAWING DISHWASHER EAST EACH EXPANSION BOLT ELEV. CONTROL RM EACH FACE EXPANSION JOINT ELEVATION ELASTOMERIC ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANELBOARD EQ. EQUAL EQUIPMENT EQUIVALENT EASEMENT ELECTRIC WATER COOLER EXPANSION EXP. EXPOSED EXT. EXTERIOR FIRE ALARM FABRICATE(D)(ION) FLOOR DRAIN FOUNDATION FLAT BAR FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FINISH FLOOR FINISHED GRADE FIBERGLASS FIRE HYDRANT FIRE HOSE CABINET FINISH FLOOR FLUORESCENT FIELD NAILING FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FACE OF STUDS FIREPROOF FIRE RESISTIVE FIRE RETARDANT TREATED FIRE SEPARATION DISTANCE FOOT OR FEET FOOTING FURNITURE FURRING FIXTURE	GA GALV G.B. GENL G.I. GL GLBM G.N. GND GR GT GUTTER GVL GYP GYP BD GYP PL H H.C. HDCP HD HDWD HDW HGR HM HORIZ HP.LAM. HR H.R.E. HT HTR H.V.A.C. HYD HYDR I.D. IN INCAND INCL INFO INSP INSTL INSUL INT JAN JST JT K.D. K.M K.T. L LAB LAM LAV LB LDGR L.F. LH LH LKR LL LOC LT LT WT LTG MAX MAS MATL M.B. M.C. MECH MED MEMB MEZZ MFG MH MIN MIR MISC MLWK M.O. MTD MTG MTL MTR MUL N (N) N.A. N.I.C. N.O. N. or # NOM N.T.S. O/ OVER OBS O.C. OCC. O.D. OFF OFD OPNG OPPH OPND PAR PCF PERF PERP PL P.LAM. PLAS PLBG PLF PLTWD PML PNT P.O.T. PAIR PRECAST PREFABRICATE(D) PREFIN PROP PSI P.T. POINT P.T.D. PTN P.T.R. PVC PVMT Q.T. QTY GAUGE GALVANIZED GRAB BAR GENERAL GALVANIZED IRON GLASS GLUED LAMINATED BEAM GENERAL NOTE GROUND GRADE GROUT GUTTER GRAVEL GYPSUM GYPSUM BOARD GYPSUM PLASTER HOSE BIBB HOLLOW CORE HANDICAPPED HEADER HARDWOOD HARDWARE HANGER HOLLOW METAL HORIZONTAL HIGH PRESSURE LAMINATE HOUR HAND RAIL EXTENSION HEIGHT HEATER HEATING/VENTILATING/ AIR CONDITIONING HYDRANT HYDRAULIC INSIDE DIAMETER (DIM.) INCHES INCANDESCENT INCLUDE(D)(ING) INFL INSPECTING(ION) INSTALLATION INSULATION INTERIOR JANITOR JOINT JOINT KILN DRIED KITCHEN KEYNOTE LEADER LABORATORY LAMINATE LAVATORY POUND LEDGER LINEAR FOOT LEFT HAND LINEAR LOCKER LIVE LOAD LOCATION LIGHT LIGHTWEIGHT LIGHTING MAXIMUM MASONRY MACHINE BOLT MEDICINE CABINET MECHANICAL MEDIUM MEMBRANE MEZZANINE MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MILKWORK MASONRY OPENING MOUNTED MOUNTING METAL MORTAR MULLION NORTH NEW NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVER OVERALL OBSCURE ON CENTER OCCUPANTS OUTSIDE DIAMETER OFFICE OVERFLOW DRAIN OPENING OPPOSITE OVERHEAD PARALLEL POUNDS PER CUBIC FOOT PERFORATE PERPENDICULAR PLATE PLASTIC LAMINATE PLASTER PLUMBING POUNDS PER LINEAL FOOT PLYWOOD PANEL PAINT PATH OF TRAVEL PAIR PRECAST PREFABRICATE(D) PREFINISHED(D) PROPERTY POUNDS PER SQUARE INCH PRESSURE TREATED POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE POLYVINYL CHLORIDE PAVEMENT QUARRY TILE QUANTITY R RAD RB RD. REC REF REFR REVISE(ION) REINFORCED RESD RESIL RFG RGR R.H. RLG RM RND R.O. R.W.L. S SOUTH SOLID CORE SCHEDULE SEAT COVER DISPENSER S.D. SECTION SH SHR SHT SHD SEE MECHANICAL DRAWINGS SANITARY NAPKIN DISPENSER S.N.R. SPEC SQUARE S.S. SERVICE SINK STA STGR STD STEEL STOR STRUC SUSP SYM SYS SSD TES T.B. T.C. TEL TEMP TERAZZO T&G THK THRD THRESH T.C. T.O.D. T.O.F. T.O.P. T.O.P. T.O.R T.O.S. T.O.T.S. T.P. T.P.D. TV T.O.W. TYP UNF. UN.O. UR UTIL VCT VERT VEST VERIFY IN FIELD VNR W WEST W/ WITH W/O W.B. W.C. W.D W.DW W.F W.GL W.I. W.D. W.N. W.P W.R W.S. W.SCT W.T WVF W.O. W.O. W.O W.C. W.D W.DW W.F W.GL W.I. W.O. W.N. W.P W.R W.S. W.SCT W.T WVF VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VENEER WEST WITH WITHOUT WEATHER BARRIER WATER CLOSET WOOD WINDOW WIDE FLANGE WIRE GLASS WROUGHT IRON WHERE OCCURS WORK NOTE WATERPROOF WATER RESISTANT WOOD SCREW WAINSCOT WEIGHT WELDED WIRE FABRIC WITH WITHOUT WEATHER BARRIER WATER CLOSET WOOD WINDOW WIDE FLANGE WIRE GLASS WROUGHT IRON WHERE OCCURS WORK NOTE WATERPROOF WATER RESISTANT WOOD SCREW WAINSCOT WEIGHT WELDED WIRE FABRIC
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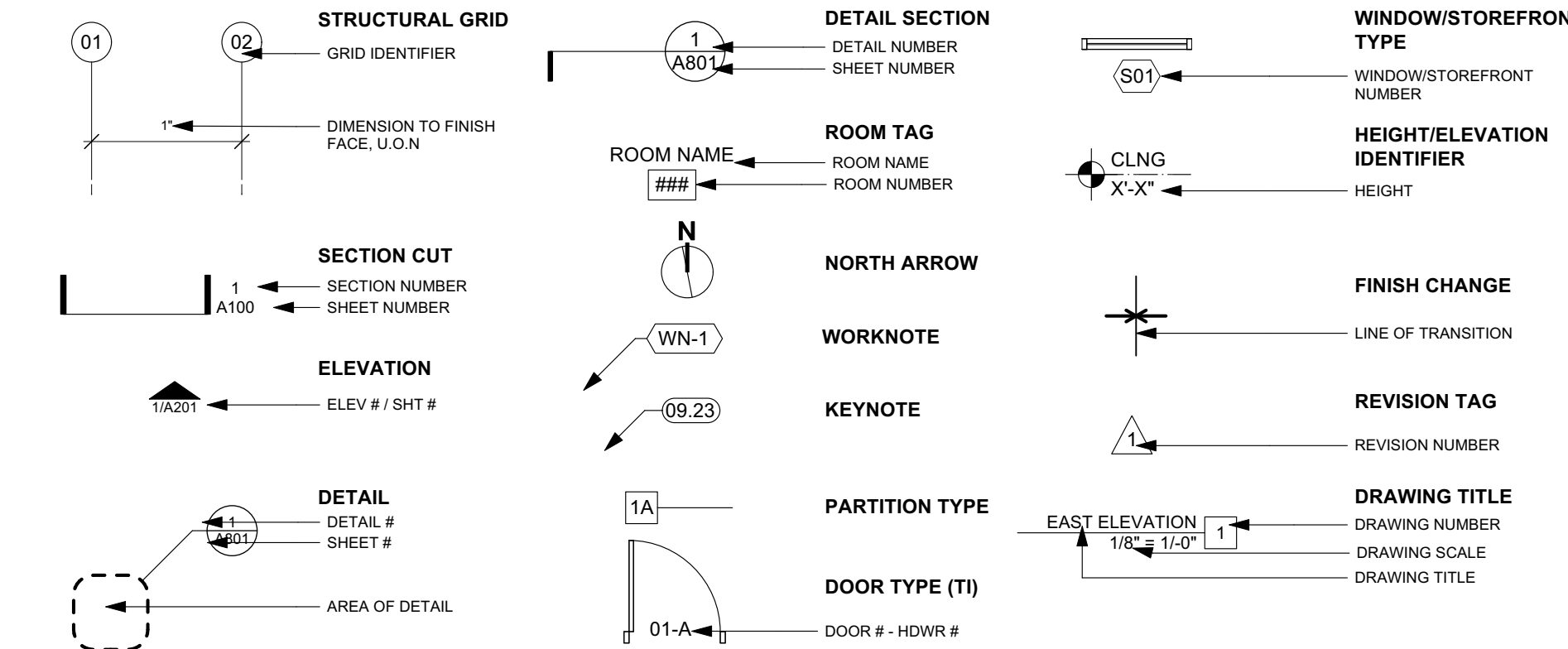
GENERAL NOTES

- The contract documents are instruments of service and shall remain the property of the architect whether the project for which they are prepared is executed or not. The contract documents are not to be used by landlord or tenant, in whole or in part, for other projects, extensions to this project, or the completion of this project without the Architects' presence. Nor are they to be modified in any manner whatsoever except by agreement in writing and with appropriate compensation to the architect.
- The Contractor shall execute the entire Work described in the Contract Documents, except to the extent specifically indicated in the Contract Documents to be the responsibility of others or Not In Contract (NIC)
- General Contractor shall comply with all base building requirements and design criteria.
- General Contractor shall be responsible for checking contract documents, field conditions and dimensions for accuracy and confirming that work is feasible as shown before proceeding with construction. Clarifications regarding any conflicts shall be received prior to related work being started.
- General contractor shall verify that no conflicts exist in locations of and all mechanical, telephone, electrical, plumbing and sprinkler equipment (to include all piping, duct work, structural members and conduit) and that all required clearances for installation and maintenance of above equipment are provided. Elements in conflict shall be determined and reviewed with architect prior to construction proceeding.
- General Contractor is responsible for and shall provide protection for any existing finished work including but not limited to: elevators, lobbies, corridors of the building and adjacent tenants.
- The contractor is responsible for verifying the dimensions and elevations at the site. The contractor and sub-contractor shall coordinate the layout and exact location of all partitioning, doors, electrical/ telephone outlets, light switches and thermostats with the architect in the field before proceeding with construction.
- Floor Tolerance: GC to immediately verify slope and report any deviation over a 1/4 inch slope in 10 feet to the Architect prior to commencing work. Any leveling required greater than 1/4 inch slope in 10 feet shall be the responsibility of the GC.
- Horizontal dimensions indicated are from finished face of construction to finished face of construction unless indicated otherwise.
- Vertical dimensions are from top of floor slab as measured from the high point of the slab, unless indicated to be above finished floor (AFF). Contractor is to notify Architect when deviation is greater than allowed in note 8.
- Do not scale drawings; dimensions govern. Verify dimensions with field conditions. If discrepancies are discovered between field conditions and drawings or between drawings, contact architect for resolution before proceeding with work.
- Cut and fit components for alteration of existing work and installation of new work. Patch disturbed areas to match adjacent materials and finishes.
- Patch and repair all fireproofing damaged or removed during performance of the work. Fireproof new penetrations required by the work.
- Make all necessary provisions for items as indicated on the drawings to be furnished or installed by tenant. Provide protection for these provisions until completion of the project. General Contractor to coordinate provisions for NIC items with appropriate trades.
- Mechanical, electrical, plumbing and fire protection shop drawings layouts shall be submitted to the architect immediately after award of contract. No construction shall proceed until the review of these drawings. All the above trades are to be reviewed by the architect at the same time.
- The AIA "General Conditions of the Contract for Construction" AIA Document A201, 2017 Edition, published by the American Institute of Architects, hereinafter referred to as "General Conditions", is hereby made part of the contract documents, the same as is bound herein.
- The contract documents consist of the following:
A. Owner-Contractor Agreement
B. General Conditions
C. Drawings as dated in Agreement
D. Addenda
E. Modifications
F. Standards and Specifications included in Project Manual
- All work shall comply with applicable codes, addenda, rules, regulations, ordinances, laws, orders, approvals, etc. that are required by public authorities. In the event of conflict, the most stringent requirements shall govern. Requirements include, but are not necessarily limited to, the current applicable editions or publications of the following:
A. International Building Code
B. National Fire Protection Association
C. American National Standards Institute
D. Americans with Disabilities Act
- In the event of conflict between the data shown on drawings and data shown on the specification, the specification shall govern. Detail drawings take precedence over drawings of larger scope. Should the contractor at any time discover an error in a drawing or specification, or a discrepancy or variation between dimensions or drawings and measurements at site, or lack of dimensions or other information, he shall not proceed with the work affected until clarification has been made.
- Only new items of recent manufacture, of standard quality, free from defects, will be permitted on the work. Rejected items shall be removed immediately from the work and replaced with items of the nature so specified. Failure to remove rejected materials and equipment shall not relieve the contractor from the responsibility for quality and character of items used nor from any other obligation imposed on him by the contract.
- The finished work shall be firm, well anchored, in true alignment, plumb, level, with smooth, clean uniform appearance without waves, distortions, holes, marks, cracks, stains or discoloration. Joints shall be close fitting, neat and well scribed. The finish work shall have no exposed unsightly anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for expansion, contraction, and shrinkage as necessary to prevent cracking, buckling and warping due to temperature and humidity conditions.
- Attachments, connections, or fastenings of any nature are to be properly and permanently secured in conformance with best practice and the contractor is responsible for improving them accordingly. The drawings show only special conditions to assist contractor. They do not illustrate every such detail.
- The contractor shall continuously check architectural and structural clearances for accessibility of equipment and mechanical and electrical systems. No allowance of any kind will be made for the contractor's negligence to foresee means of installing equipment into position inside structures.
- No work defective in construction or quality or deficient in any requirements of drawings and specification will be acceptable irrespective of owner's or architect's failure to discover or to point out defects or deficiencies during construction. Nor will presence of inspectors on work relieve contractor from responsibility for securing quality and progress of work as required by the contract. Defective work revealed within required time guarantees, as specified in the construction contract, shall be replaced by work conforming with intent of contract. No payment whether partial or final, shall be construed as an acceptance of defective work or improper materials.
- Materials and workmanship specified by reference to number symbol, to title of a specification such as commercial standards, federal specification, trade association standard, or other similar standard, shall comply with requirements in latest edition or revision thereof and with any amendment or supplement thereto in effect on date of origin of this project's contract documents. Such standard, except as modified herein, shall have full force and effects as though printed in contract documents.
- Contractor shall waive "Common Practice" and "Common Usage" as construction criteria wherever details and contract documents or governing codes, ordinances, etc. require greater quantity or better quality than common practice or common usage would require.
- Contractor shall order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable or have a long lead time, contractor shall notify architect immediately.
- If at any time before commencement of work, or during process thereof contractor's methods, equipment or appliances are inefficient or inappropriate for securing quality of work, or rate of progress intended by contract documents, owners may order contractor to improve their quality or increase their efficiency. This will not relieve contractor or his sureties from their obligations to secure quality of work and rate of progress specified in contract.
- All data and communications cable work shall be coordinated by the contractor with tenant's representative.
- Architect, acting as the owner's designated agent for design of this project, will exercise sole authority for determining conformance of all materials, equipment and systems with the intent of the design. Review and acceptance of all items proposed by contractor for incorporation into this work will be by the architect. This function of the architect will apply both to contract as initially signed, and to the changes to the contract by modification during progress of work.
- Only where indicated "or equal" or "approved alternate" for specified materials, or for long lead time consideration, shall substitutes be considered by the Architect. References to makes, brands, models, etc. is to establish type and quality desired; substitution of acceptable equals will not be permitted unless specifically approved by the Architect.
- The contractor shall notify the owner in writing of any deficiencies in base building work prior to the commencement of this work. Any unreported deficiencies will become the responsibility of the contractor to correct.
- Exercise extreme care and precaution during the scheduling and construction of the work to minimize disturbances to adjacent spaces or structures and their occupants, property, public thoroughfares, etc. General Contractor shall take precautions and be responsible for the safety of all building occupants from construction procedures. The General Contractor shall be responsible for any overtime costs incurred thereby.
- All debris shall be removed from the site on a daily basis. Upon completion of the work, remove all debris from the building created by work provided under this contract and leave all areas thoroughly clean. G.C. must comply with all building, municipal, state and federal standards regarding the removal and disposal of debris from demolition and construction.
- The entire building is protected by a sprinkler protection system. The contractor is responsible for providing the design, permits and coverage for this system in the tenant space as required by applicable codes.

PALO ALTO FIRE GENERAL NOTES

- Exit signs, emergency lighting, fire extinguishers, Fire Department lock box and address posting locations to be field verified by fire inspector.
- Separate permit required for modification to the fire sprinkler/fire alarm systems.
- If any construction/tenant improvement work is done that may impact the building fire alarm system then the fire monitoring company must be notified. If the fire alarm system is accidentally activated immediately call the City of Palo Alto Communication Center at 650-329-2613 to report the incident. Multiple false alarms will result in fines.
- Any onsite construction activity that emits/produces heat or flame including welding, brazing, heating or use of large/small generators requires a Hot Work permit from the Palo Alto FD. Email fire@cityofpaloalto.org to obtain a Hot Work permit prior to hot work activity.

DRAWING SYMBOLS



PROJECT INFORMATION

PROJECT DESCRIPTION / SCOPE OF WORK	TENANT IMPROVEMENT OF THE FRONT OF HOUSE AND PATIO DINING AREA OF AN EXISTING RESTAURANT, CONVERTING TO A SUSHI RESTAURANT. EXTERIOR FACADES AND PATIOS WILL BE REDESIGNED WITH NEW GLASS BARRIERS, CANOPIES, & LANDSCAPE	
PROJECT ADDRESS	180 EL CAMINO REAL, BLDG E SUITE #700B, PALO ALTO, CA 94304	
APN	142-01-009	
LOT AREA	52.81 acres	
ZONING	CC	
OCCUPANCY GROUP	EXISTING PROPOSED	A-2 (RESTAURANT) NO CHANGE
CONSTRUCTION TYPE	EXISTING PROPOSED	TYPE IIIIB NO CHANGE
FIRE SPRINKLERS	EXISTING	YES
BUILDING AREA (BLDG E)	EXISTING	GFA: 42,281 SF (INCLUDES GBA + COVERED OUTDOOR SEATING AREA); GBA 39,963 SF
BUILDING STORIES (BLDG E)	EXISTING	2
TENANT AREA	EXISTING PROPOSED	3,629 SF 3,629 SF - NO CHANGE
TENANT PATIO AREA	EXISTING PROPOSED	1,231 SF PATIO 1: 537 SF; PATIO 2: 635 SF; TOTAL 1,172 SF
TENANT FLOOR	EXISTING PROPOSED	GROUND LEVEL ONLY (NO MEZZ; NO STORAGE) GROUND LEVEL ONLY (NO CHANGE)

SHEET INDEX

ARB SUBMITTAL #2 11.04.2022 LL REV PRELIM ARB 05.27.2022			ARB SUBMITTAL #2 11.04.2022 LL REV PRELIM ARB 05.27.2022			ARB SUBMITTAL #2 11.04.2022 LL REV PRELIM ARB 05.27.2022		
ARCHITECTURAL								
X	X	G000	COVER SHEET	X	X	A205	EXTERIOR FACADE MATERIAL PALETTE	SIGNAGE
X	X	G001	PROJECT INFORMATION	X	X	A211	EXTERIOR RENDERINGS	SN-1
X	X	G002	FINISH MATERIAL SCHEDULES	X	X	A212	EXTERIOR RENDERINGS	SN-2
X	X	G003	ENTRANCE/STOREFRONT SCHEDULE	X	X	A213	INTERIOR RENDERINGS	SN-3
X	X	G011	CODE ANALYSIS - EGRESS DIAGRAM	X	X	A301	BUILDING SECTIONS	SN-4
X	X	G012	PLUMBING FIXTURES CALCULATIONS	X	X	A302	BUILDING SECTIONS	SN-5
X	X	G035	ZERO WASTE SIGNAGE & SPECS	X	X	A311	ENLARGED EXTERIOR WALL SECTION	SN-6
X	X	G041	SITE CONTEXT	X	X	A312	ENLARGED EXTERIOR WALL SECTION	SN-7
X	X	G042	T-1 TREE PROTECTION PLAN					
X	X	G043	PROPOSED LANDSCAPE					
X	X	G044	PROPOSED LANDSCAPE					
X	X	G051	LANDLORD NOTES					
X	X	A001	CURRENT MALL SITE PLAN					
X	X	A002	ENLARGED SIDEWALK AND PROMENADE					
X	X	A101	EXISTING CONDITIONS / DEMO PLAN					
X	X	A111	PROPOSED PLAN					
X	X	A112	PROPOSED PLAN DIAGRAM					
X	X	A121	PROPOSED RCP					
X	X	A122	PHOTOMETRIC PLAN					
X	X	A131	FINISH PLAN					
X	X	A141	EXISTING PARTIAL ROOF PLAN					
X	X	A201	EXSTG & PROPOSED EXTERIOR ELEVATIONS					
X	X	A202	EXSTG & PROPOSED EXTERIOR ELEVATIONS					
X	X	A203	EXTERIOR PATIO ELEVATIONS					

PROJECT TEAM

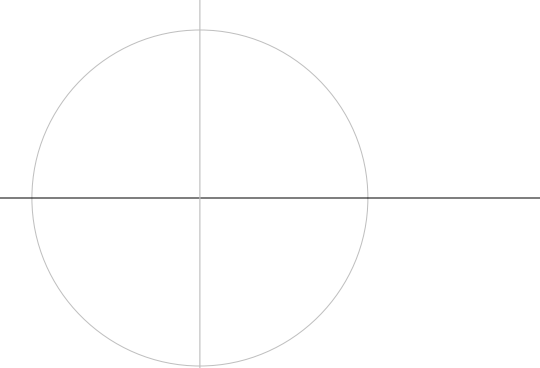
OWNER / AGENT	SIMON PROPERTIES RICHARD WESELS rwesells@simon.com 225 West Washington Street Indianapolis, IN 46204-3438 USA (317)550-6793	SIGNAGE	SIGNAGE SOLUTIONS BETTY NORTHCOTT betty@signage-solutions.com 2231 South Dupont Drive Anaheim, CA 92806 (714) 491-0299	ELECTRICAL	TBD
TENANT	INNOVATIVE DINING GROUP PHILIP CUMMINS 9200 W Sunset Blvd Ste. 650 West Hollywood, CA 90069 (310)271-6000 Philip@innovativedining.com	LANDSCAPE	TBD	PLUMBING	TBD
ARCHITECT OF RECORD	FINN WIJATNO ARCHITECTS SEAN FINN 10000 Washington Blvd. Ste. 600 Culver City, CA 90232 (310) 890-0950 sean@finnwj.com	MECHANICAL	TBD		
DESIGN ARCHITECT	TAG FRONT TIM FINK 1117 N. Sherbourne Drive West Hollywood, CA 90069 (310) 734.8477 x 310 tim@tagfront.com				
DEVELOPMENT CONSULTANT	LANDSHARK DEVELOPMENT SERVICES JASON SMITH 122 N. Harbor Blvd #204 Fullerton, CA 92832 (714)235-8235 JSmith@landsharkdevelopment.com				
KITCHEN CONSULTANT	SHAMBRA RESTAURANT CONSULTING JOHN SHAMBRA shamojo@aol.com 2352 S. Robertson Blvd. Los Angeles, CA 90034 (310) 204-1201				

GOVERNING CODES
2019 CALIFORNIA BUILDING CODE (VOLS. 1 & 2)
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 GREEN BUILDING STANDARDS (CAL GREEN)
2010 AMERICANS WITH DISABILITIES ACT STANDARDS (ADA)
2020 PALO ALTO MUNICIPAL CODE
CALIFORNIA UNIFORM RETAIL FOOD FACILITIES LAW (CURFFLL)

FIRE PROTECTION EQUIPMENT
BUILDING IS FULLY SPRINKLERED. EXTEND AND/OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS NEEDED.
PLANS WILL BE SUBMITTED FOR A FIRE SPRINKLER SYSTEM ON A SEPARATE PERMIT.

FIRE ALARM
EXTEND OR MODIFY FIRE/LIFE SAFETY SYSTEM AS NEEDED.

DEFERRED SUBMITTALS:
1. FIRE ALARM MODIFICATIONS
2. FIRE SPRINKLER MODIFICATIONS



SUSHI ROKU
STANFORD SHOPPING CENTER
180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

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ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal
	11.04.2022	ARB Submittal #2

REVISION	DATE	DESCRIPTION
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G001 PROJECT INFORMATION

SCALE: NTS
DATE: 11.04.2022

EXTERIOR FINISH MATERIALS

FLOORING

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
F-1	FLOOR TILE	FLAVIKER	COZY	HAVANA	10" X 78"	SPEC CERAMICS	NON-COMBUSTIBLE	NO GROUT JOINTS, GR-1 AS NEEDED

WALL TILE

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
WT-1	DECORATIVE WALL TILE	INAX	HOMURA	LIGHT BEIGE	1.75" X 9.25"	SPEC CERAMICS	NON-COMBUSTIBLE	NO GROUT JOINTS, GR-3 AS NEEDED

GROUT

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
GR-3	GROUT	LATICRETE	SANDED GROUT	TBD	-	-	NON-COMBUSTIBLE	WALL TILE

WOOD

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
WD-1	WOOD	-	NATURAL ACCOYA WOOD SLATS	NATURAL SEALER	2" X 2"	-	77 / 0	EXTERIOR CANOPY WOOD SCREEN
WD-2	WOOD	-	NATURAL ACCOYA WOOD PLANK	NATURAL SEALER	6" WIDTH	-	77 / 0	CANOPY WOOD PLANK

CONCRETE

[illegible]

PLASTER

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
PL-1	PLASTER	LAHABRA	SANTA BARBARA - SMOOTH	X-820SILVERADO		LA HABRA	NON-COMBUSTIBLE	

METAL

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
MT-1	METAL	WESTERN STATES	SPECIALTY SHEET METAL PANELS	CORTEN AZP RAW 22 GA	48"	WESTERN STATES METAL	NON-COMBUSTIBLE	EXTERIOR METAL FINISH

INTERIOR FINISH MATERIALS

FLOORING

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
F-1	FLOOR TILE	FLAVIKER	COZY	HAVANA	10" X 7 1/2"	SPEC CERAMICS	NON-COMBUSTIBLE	NO GROUT JOINTS, GR-1 AS NEEDED
F-2	QUARRY TILE	SUMMITVILLE	QUARRY TILE	OXFORD GRAY - 44	6" X 6"	SPEC CERAMICS	NON-COMBUSTIBLE	1/8" GROUT JOINT MAX, GR-2

BASE

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
B-1	WALL BASE REVEAL	-	-	-	-	-	NON-COMBUSTIBLE	1" METAL WALL BASE REVEAL
B-2	WALL COVE BASE	SUMMITVILLE	QUARRY TILE COVE BASE	OXFORD GRAY - 44	6" X 6"	SPEC CERAMICS	NON-COMBUSTIBLE	BACK BAR SERVICE AREA TILE
B-3	WALL COVE BASE	SCHLUTER	DILEX-AHK	AGRB GRAPHITE ALUMINUM	-	-	NON-COMBUSTIBLE	RESTROOM METAL COVE BASE

GROUT

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
GR-1	GROUT	LATICRETE	SANDED GROUT	#61 PARCHMENT	-	-	NON-COMBUSTIBLE	WOOD FLOOR TILE AS NEEDED
GR-2	GROUT	LATICRETE	EPOXY GROUT	#30 SAND BEIGE	-	-	NON-COMBUSTIBLE	SERVICE QUARRY TILE AREAS

WOOD

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
WD-3	WOOD	-	WOOD VENEER FINISH	TBD	-	-	77 / 0	MILLWORK WOOD FINISH

PAINT

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
P-1	PAINT	SHERWIN WILLIAMS	SW 6991	BLACK MAJIC	-	SHERWIN WILLIAMS	10 / 0	
P-2	PAINT	SHERWIN WILLIAMS	SW 7005	PURE WHITE	-	SHERWIN WILLIAMS	10 / 0	
P-3	PAINT	SHERWIN WILLIAMS	-	TBD	-	-	-	

METAL

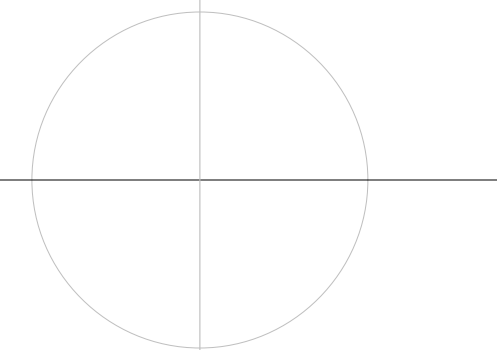
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
SS-1	METAL	-	STAINLESS STEEL	-	-	-	NON-COMBUSTIBLE	BACK BAR SERVICE AREA DIE WALL

SPECIALTY FINISHES

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
WP-1	WALLPAPER	WALL & DECO	TEMPORARY COLLECTION - STILL H	WDSH1601	TBD	-	CLASS 1	INTERIOR WALL FINISH
FRP-1	FRP	-	-	TBD	-	-	-	SERVICE AREA WALLS

CEILING SYSTEM

SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
CLG-1	ACOUSTICAL PANEL	ARKTURA	SOFTGRID-SKYLINE	HEATHER GRAY	-	-	-	DINING SUSPENDED PANEL



22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal
	11.04.2022	ARB Submittal #

REVISION	DATE	DESCRIPTION
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G002

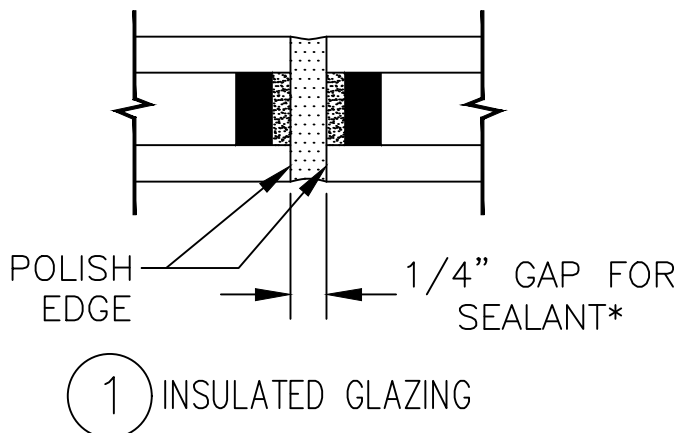
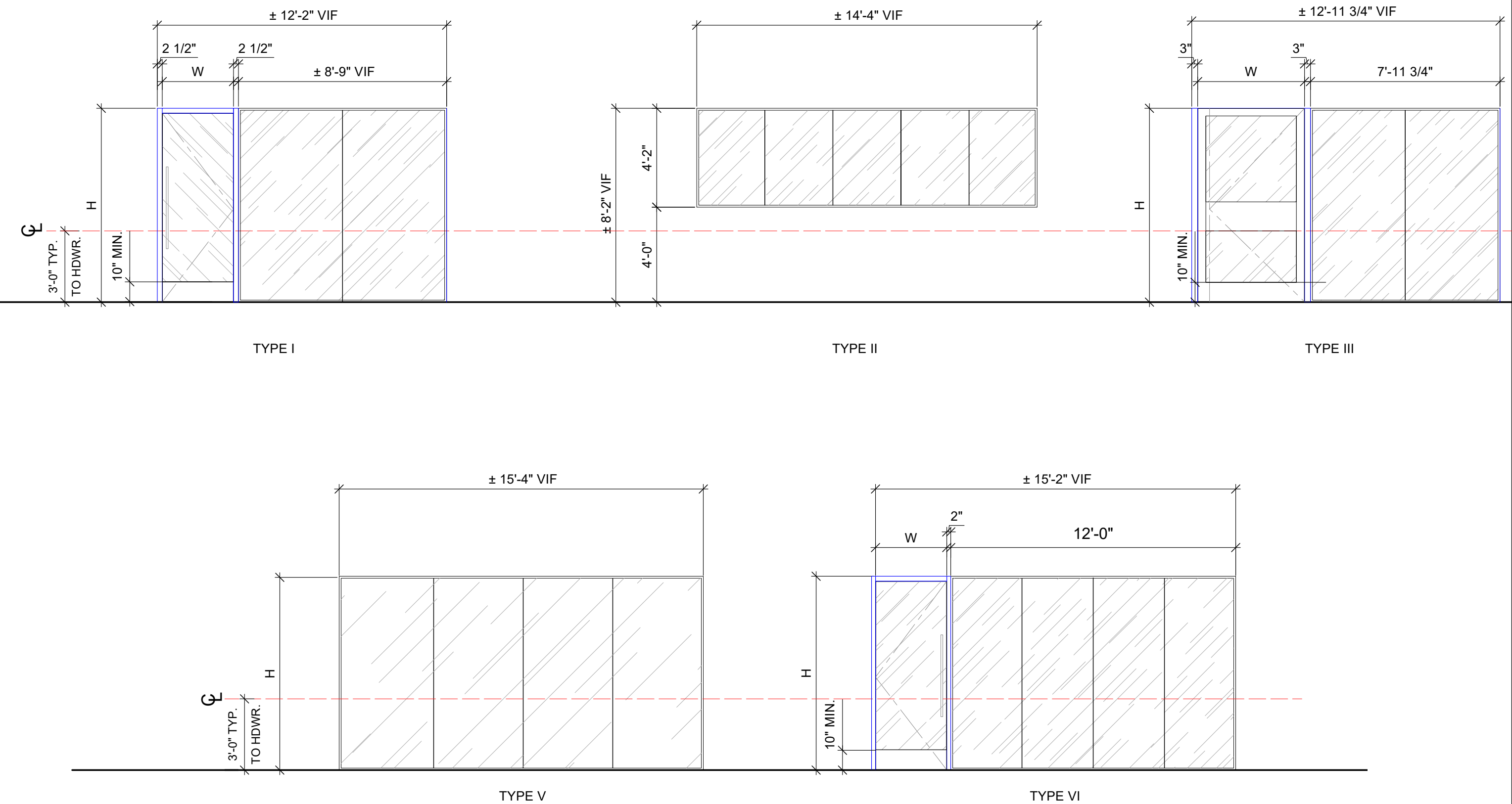
FINISH MATERIAL SCHEDULE

SCALE: NTS
DATE: 11.04.2022

ENTRANCE / STOREFRONT SCHEDULE

ID	Nominal Size			Door Style		Details		Fire Rating		Material		Data		Comments
	Width (W)	Height (H)	Thick	Configuration	Type	Head	Jamb	Frame	Leaf	Frame	Leaf	Manufacturer	Model No.	
01	3'0"	±8'-2" VIF	5"	Swing Simple	I	-	-	N/A	N/A	AL	GL/AL	ARCADIA	AFG451T	PATIO 2 EXIT DOOR W/ FIXED STOREFRONT
02	±14'-4" VIF	3'10"	5"	Fixed	II	-	-	N/A	N/A	AL	GL/AL	ARCADIA	AFG451T	PATIO 2 FIXED STOREFRONT
03	3'0"	±8'-2" VIF	5"	Pivot	III	-	-	N/A	N/A	WD	GL/WD	CUSTOM	AFG451T	ENTRY PIVOT DOOR W/ FIXED STOREFRONT
04	OMIT	OMIT				-	-							
05	±15'-2" VIF	±8'-2" VIF	5"	Fixed	V	-	-	N/A	N/A	AL	GL/AL	ARCADIA	AFG451T	PATIO 1: FIXED STOREFRONT
06	3'0"	±8'-2" VIF	5"	Swing Simple	VI	-	-	N/A	N/A	AL	GL/AL	ARCADIA	AFG451T	PATIO 1 EXIT DOOR W/ FIXED STOREFRONT

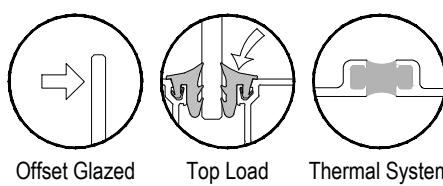
DOOR/STOREFRONT TYPES



TYPICAL DETAIL - PROPOSED BUTT-GLAZED VERTICAL JOINTS

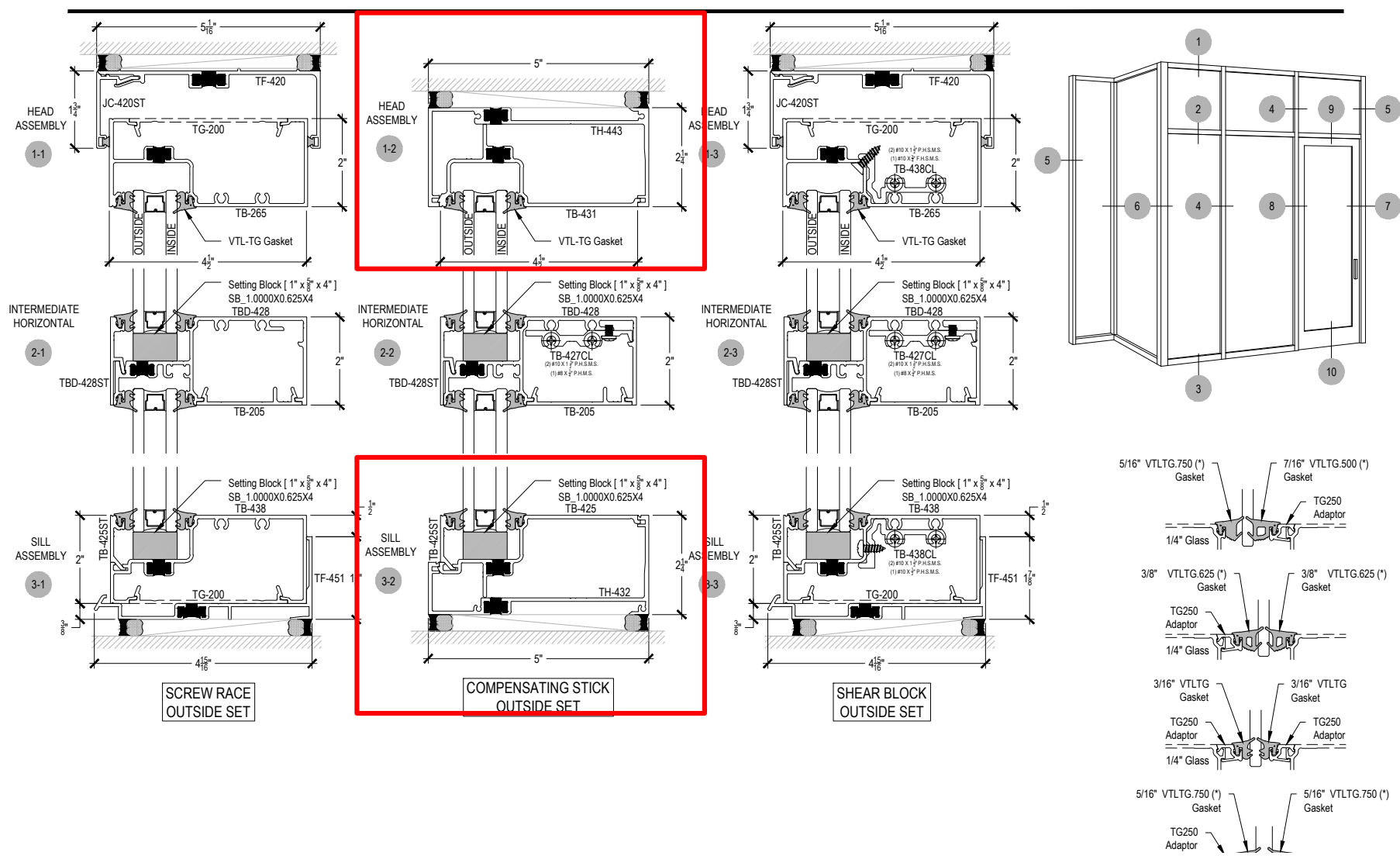
2

arcadia



AFG451T Series
Description: 2" X 4 1/2" Offset Glazed For 1" Glass
Function:Storefront
Detail:Horizontals
Scale:3" = 1'-0"

SHEET 1 OF 6



TYPICAL DETAIL - PROPOSED ALUMINUM STOREFRONT SYSTEMS - ARCADIA - AFG541T

1

DOOR AND HARDWARE NOTES

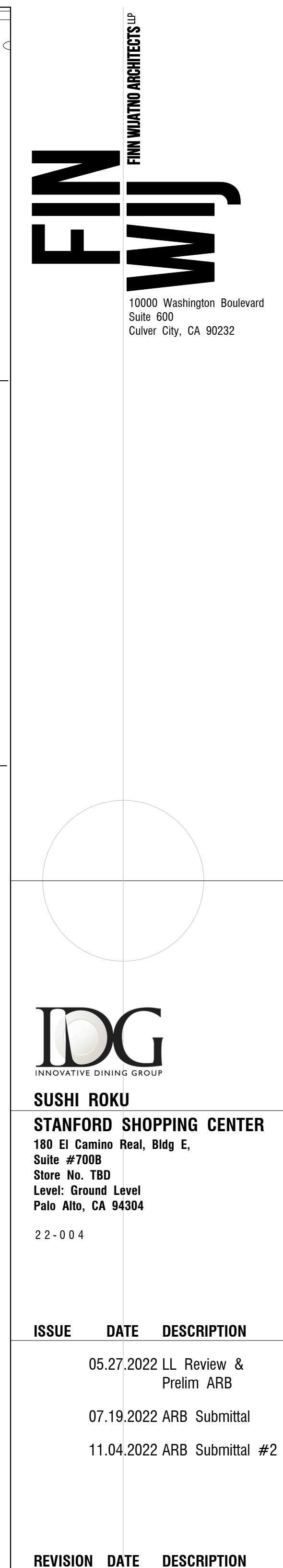
- AT EXTERIOR STOREFRONTS, ALL FINISHES SHALL BE MATTE BLACK, UNO.
- VERIFY ALL DIMENSIONS IN FIELD, INCLUDING THROAT DIMENSIONS PRIOR TO FABRICATING DOORS AND FRAMES.
- DOOR AND HARDWARE SUPPLIER SHALL VERIFY FUNCTIONS OF ALL SPECIFIED HARDWARE BEFORE ORDERING AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT. SUPPLIER SHALL ALSO VERIFY THAT ALL ACCESSORIES REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE DOOR ARE ORDERED. SUPPLIER SHALL VERIFY HANDING OF ALL DOORS AND HARDWARE BEFORE ORDERING. SUPPLIER SHALL COORDINATE DOOR LEAF PREPARATION FOR ALL HARDWARE AND ACCESSORIES RQUIRED FOR PROPER INSTALLATION AND OPERATION OF THE DOOR.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. SURFACE-MOUNTED FLUSH OR SURFACE BOLTS ARE PROHIBITED. AUTOMATIC FLUSH BOLTS ARE ALLOWED ON PAIRS OF DOORS, PROVIDED THE DOOR WITH THE FLUSH BOLT HAS NO KNOBS OR SURFACE MOUNTED HARDWARE AND THE UNLATCHING OF ANY LEAF REQUIRES ONLY A SINGLE OPERATION. (CBC 1010.1.9.3)
- FLOOR OR LANDINGS ON EACH SIDE OF DOORS SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. (CBC 1010.1.7)
- ALL EXISTING EXIT DOORS SHALL BE EQUIPPED WITH PANIC HARDWARE APPROVED AND LISTED BY THE STATE FIRE MARSHAL.
- PROVIDE AND INSTALL RAMP THRESHOLDS (PEMKO OR APPR. EQ.) AS REQUIRED TO MAKE UP FINISH FLOOR HEIGHT DIFFERENTIAL AT DOORS.
- ALL DOORS SHALL BE PROVIDED WITH SILENCERS.
- HOLLOW METAL DOORS AND FRAMES SHALL COMPLY WITH THE REQUIREMENTS OF ANSI STANDARD A250.8-03 LEVEL 2-HEAVY DUTY.
- CONFORM TO REQUIREMENTS OF NFPA 80 FOR LABELED FIRE DOORS AND NFPA 101 FOR EXIT DOORS; PROVIDE UL LISTED HARDWARE UNLESS OTHERWISE SPECIFIED OR SCHEDULED.
- ALL THRESHOLDS SHALL COMPLY WITH SECTION 11B-404.2.5, 11B-302 AND 11B-303. SEE G020 SERIES DETAILS FOR ADDITIONAL INFORMATION.

ISSUE DATE DESCRIPTION

- | | |
|------------|------------------------|
| 05.27.2022 | LL Review & Prelim ARB |
| 07.19.2022 | ARB Submittal |
| 11.04.2022 | ARB Submittal #2 |

REVISION DATE DESCRIPTION

G003
ENTRANCE/STOREFRONT
SCHEDULE



walking surface

15. The power supply for means of egress illumination shall normally be provided by the premises electrical supply. In the event of power supply failure, an emergency electrical system shall automatically illuminate the following areas:

- a. Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress
- b. Corridors, exit enclosures and exit passageways in buildings required to have two or more exits;
- c. Exterior egress components at other than the level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
- d. Interior exit discharge elements, as permitted in Section 1028.1, in buildings required to have two or more exits.
- e. Exterior landings, as required by Section 1010.1.6, for exit discharge doorways in buildings required to have two or more exits.

16. The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator. The installation of the emergency power system shall be in accordance with Section 2702.

17. Emergency lighting facilities shall be arranged to provide initial illumination that is at least an average of 1 foot-candle (11 lux) and a minimum at any point of 0.1 foot-candle (1 lux) measured along the path of egress at floor level. Illumination levels shall be permitted to decline to 0.6 foot-candle (6 lux) average and a minimum at any point of 0.06 foot-candle (0.6 lux) at the end of the emergency lighting time duration. A maximum-to-minimum illumination uniformity ratio of 40 to 1 shall not be exceeded.

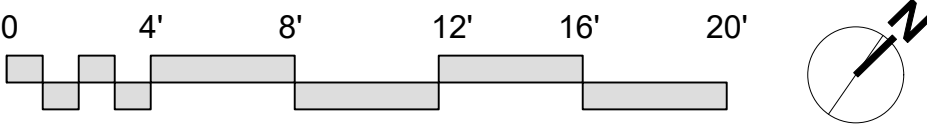
OCCUPANCY **MAX TRAVEL DISTANCE**

A 250 FT (SPRINKLER SYSTEM)

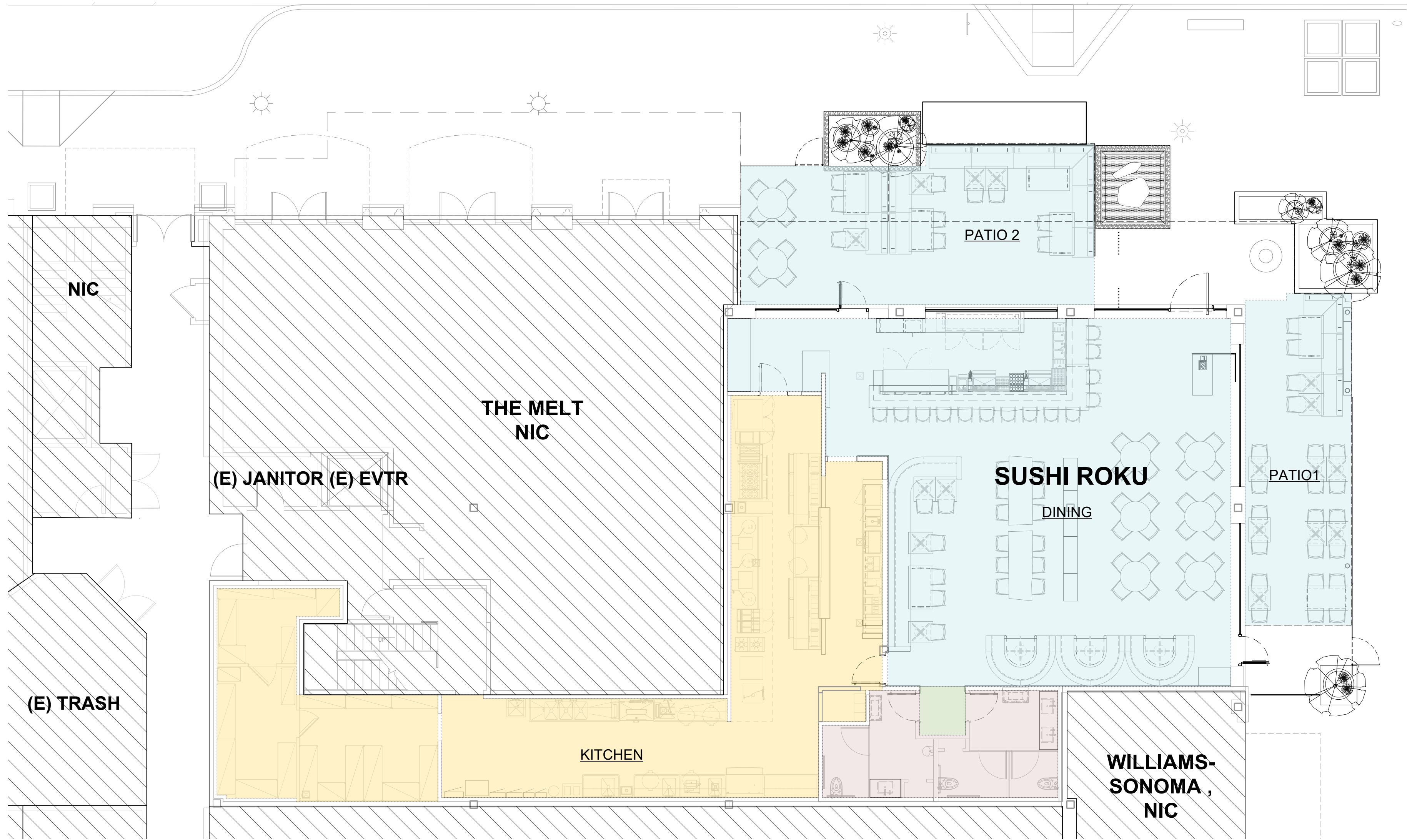
COMMON PATH OF TRAVEL (2019 CBC TABLE 903.2.1)

OCCUPANCY **MAX OCC LOAD** **MAX COMMON PATH OF TRAVEL**

A 49 75' (SPRINKLER SYSTEM)

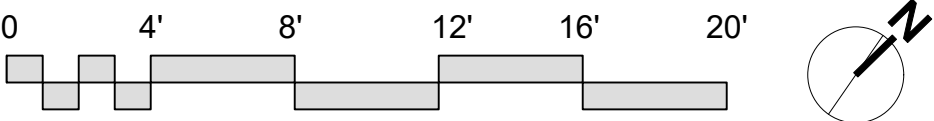


SCALE: 3/16" = 1'-0"
DATE: 11.04.2022



PLUMBING CODE OCCUPANT LOAD CALCULATION (2022 CPC TABLE 4-1)			
OCCUPANCY	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	OCCUPANTS
DINING AREA	1,666 sf	30 sf/occ	56
PATIO 1	410 sf	30 sf/occ	14
PATIO 2	620 sf	30 sf/occ	21
KITCHEN	1,327 sf	200 sf/occ	7
TOTAL GROUP A GROSS SQUARE FOOTAGE	4,023 sf		97
HALLWAY	24 sf		
RESTROOMS	253 sf		
EXCLUDED ACCESSORY AREAS **	277 sf	0 sf/occ	0
** Per Table 4-1 Footnote: "Accessory areas such as, but not limited to hallways/corridors, stairways, ramps, toilet rooms, mechanical rooms, closets and fixed equipment, may be excluded"			

MINIMUM PLUMBING FACILITIES (TABLE 422.1)								
FIXTURES REQUIRED (GROUP A-2)	OCCUPANTS	WCS/ PERSON	WCS REQ'D	URINALS/ PERSON	URINALS REQ'D	LAVS/ PERSON	LAVS REQ'D	DRINK'G FNTNS/ PERSON
TOTAL	97							N/A ††
MALE	49	1: 1-50	1	1:200	1	1:150	1	
FEMALE	49	2: 26-50	2	N/A	N/A	1:150	1	
FIXTURES PROVIDED			WCS PROVIDED		URINALS PROVIDED		LAVS PROVIDED	
MALE			1		1		1	
FEMALE			2		N/A		2	
			OK!		OK!		OK!	
†† Per Section 415.2: "Where food is consumed indoors, water stations shall be permitted to be substituted for drinking fountains."								



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G012

PLUMBING FIXTURE CALCULATION

SCALE: NTS

DATE: 11.04.2022

COMPOST

PAPER TOWELS & TISSUES



Green Waste / Zero Waste Notes:

As per Palo Alto Municipal Code 5.20.108 the site is required to have color-coded refuse containers, related color-coded millwork, and colored signage. The three refuse containers shall include recycle (blue container), compost (green container), and garbage (black container). Applicant shall present on the plan the locations and quantity of both (any) internal and external refuse containers, it's millwork, along with the signage. This requirement applies to any external or internal refuse containers located in common areas such as entrances, office, back of the house kitchen, front of the house dining area, and etc. except for restrooms, copy area, and mother's room. Millwork to store the color-coded refuse containers must have a minimum of four inches in height, wrapping around the full width of the millwork. Signage must be color coded with photos or illustrations of commonly discarded items. Restrooms must have a green compost container for paper towels and an optional black landfill container if applicable. Copy area must have either a recycle bin only or all three refuse receptacles (green compost, blue recycle, and black landfill container). Mother's room must minimally have a green compost container and black landfill container. Please refer to PAMC 5.20.108 and the Internal Container Guide. Examples of appropriate signage can be found in the Managing Zero Waste at Your Business Guide. Electronic copies of these signage can be found on the Zero Waste Palo Alto's website, <https://www.cityofpaloalto.org/Departments/Public-Works/Zero-Waste/What-Goes-Where/Toolkit#section-2> and hard copies can be requested from the waste hauler, GreenWaste of Palo Alto, (650) 493-4894

LANDFILL

ASEPTIC CONTAINERS
ENVASES ASÉPTICOS

SNACK PACKAGING
ENVOLTURAS DE APERITIVOS

EXPANDED POLYSTYRENE
ESPUMA DE POLIESTIRENO

OTHER GARBAGE
BASURA

RECYCLE

PLASTIC
PLÁSTICO

PAPER
PAPEL

GLASS
VIDRIO

METAL
METAL

E-WASTE
ELECTRÓNICOS



COMPOST

FOOD SCRAPS
COMIDA

FOOD SOILED PAPER
PAPEL SUCIO DE ALIMENTOS

COMPOSTABLE PLASTIC
PLÁSTICO COMPOSTABLE

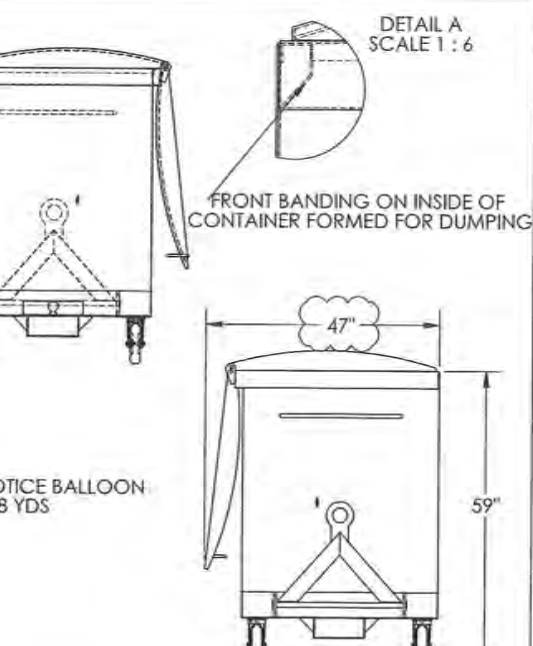
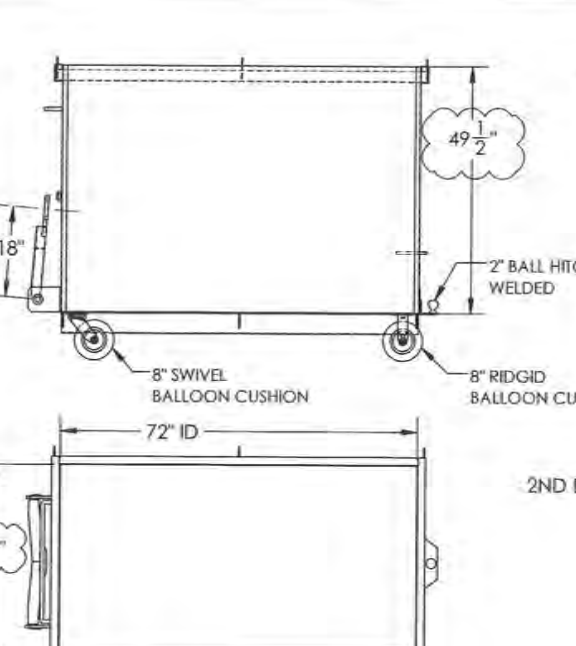
YARD TRIMMINGS
DESECHOS DE JARDIN



RAW MATERIAL	MANUFACTURER SPECIFICATIONS	NAME	DATE
		McAUGHLIN WASTE EQUIPMENT, INC.	03-21-18
		11800 E. LOOSE LOCKEFORD, CA 95237	
		3YD TOWABLE	

12

12



RAW MATERIAL	MANUFACTURER SPECIFICATIONS	NAME	DATE
		McAUGHLIN WASTE EQUIPMENT, INC.	03-21-18
		11800 E. LOOSE LOCKEFORD, CA 95237	
		3YD TOWABLE	

12

12

Toter Round Can

MODEL#	Description	Width (including handles)	Height	Diameter
RND20	20 gal. Round Container	23.4"	23.2"	19.4"
RND32	32 gal. Round Container	26.5"	27.9"	22.0"
RND44	44 gal. Round Container	28.6"	31.4"	24.0"
RND55	55 gal. Round Container	31.3"	31.4"	26.3"

Accessories

MODEL#	Description
RND20-L	20 gal. Round Lid
RND32-L	32 gal. Round Lid
RND44-L	44 gal. Round Lid
RND55-L	55 gal. Round Lid

MODEL#	Description
DAK10-0000	Dolly Adapter
WDL10-00BLK	Dolly Kit

Colors

Colors and textures shown are as accurate as printing allows. Actual product colors and textures are subject to variation from printed sample. Custom colors available.

PO Box 5338
841 Meacham Road
Statesville, NC 28677


704-872-8171
800-424-0422

sales@toter.com
www.buytoter.com
Toter is a Wastequip® brand

Toter PRO
Built for Extremes®

BACK OF HOUSE ROUND TRASH CANS SPECIFICATIONS

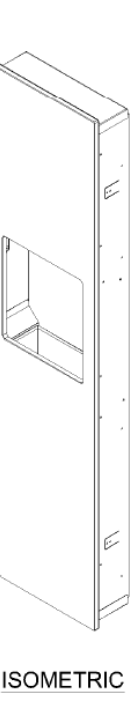
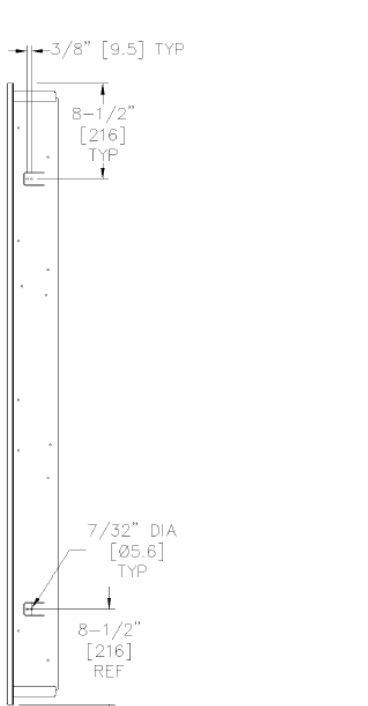
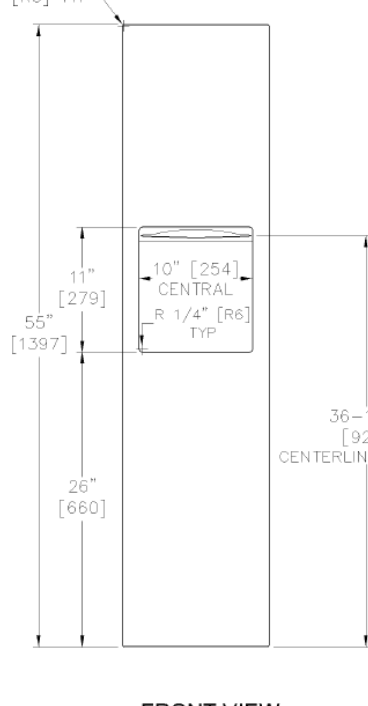
2



AMERICAN SPECIALTIES, INC.
441 Saw Mill River Road, Yonkers, NY 10701
(914) 476-9000 • (914) 476-0688
www.americanspecialties.com

MODEL №: 6467-XX
ISSUED: 20 DEC 2018
REVISED: 6 FEB 2019

PIATTO™ COLLECTION PAPER TOWEL DISPENSER AND WASTE RECEPTACLE



FRONT VIEW

SIDE VIEW

ISOMETRIC

NOTE

ALL DIMS INCH (MM)

ILLUSTRATION FOR REF ONLY AND NTS

FOR CLEANING INSTRUCTIONS SEE APPROPRIATE SECTIONS IN PRODUCT CARE & MAINTENANCE BULLETIN (PCM) ON ASI WEBSITE

SPECIFICATION

Piatto™ Collection Paper Towel Dispenser and Waste Receptacle shall hold and dispense 800 standard multi-fold or 600 standard C-fold paper towels and shall have a waste capacity of 4.24 gallons (16 liters). Frame and cabinet shall be 20 gage type 304 alloy 18-8 stainless steel and shall have no exposed fastening devices. Towel dispensing slot shall have a fully hinged-in rolled edge for snag-free dispensing and user safety. Flush face door shall be 1/2" [13] thick black edged Phenolic with matte black or white outer and inner surfaces as chosen by tail code on model number. Door shall be attached to the side of cabinet with four (4) zero-clearance concealed cabinet hinges and shall be held closed with a spring-pin L-latch. Structural assembly of all components shall be of welded construction. OM & IG shall be packed with unit. Installation set-back gage and depth stops shall be provided.

Piatto™ Collection Paper Towel Dispenser and Waste Receptacle shall be Model № 6467-XX (Replace -XX with -00 for White or -41 for Matte Black) as Manufactured by American Specialties, Inc., 441 Saw Mill River Road, Yonkers, New York 10701-4913

INSTALLATION

Mount unit in wall recess using four (4) № 10 x 1-1/2" [M5 x 38] self tapping Pan Head screws (by others) through concealed mounting holes provided in Shim-less adjustable mounting tabs. For compliance with 2010 ADA Accessibility Standards install unit so that towel dispenser outlet is 48" [1219] maximum above finished floor (AFF). For general utility mount unit 18-3/4" [476] AFF to bottom of unit. See OM & IG for complete installation instructions packed with unit.

Finished Wall Opening (FWO) required is 13-1/16" [332] W x 55-1/16" [1399] H x 4-1/16" [119] D minimum

OPERATION

Towels are self-feeding until supply is depleted. An adjustable towel adapter ensures that towels feed properly until depleted. Refill dispenser by opening door and replacing towels for an empty or partially empty unit. Dispenser supply is replenished and waste container is emptied manually on cycles determined by maintenance needs.

RESTROOMS TRASH RECEPTACLE SPECIFICATIONS

1

FIN WJ
FINN MONTANO ARCHITECTS LLP
10000 Washington Boulevard
Suite 600
Culver City, CA 90232

IDG
INNOVATIVE DINING GROUP

SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE DATE DESCRIPTION

05.27.2022 LL Review & Prelim ARB

07.19.2022 ARB Submittal

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REVISION DATE DESCRIPTION

G035

ZERO WASTE SIGNAGE AND SPECIFICATIONS

SCALE: NTS
DATE: 11.04.2022



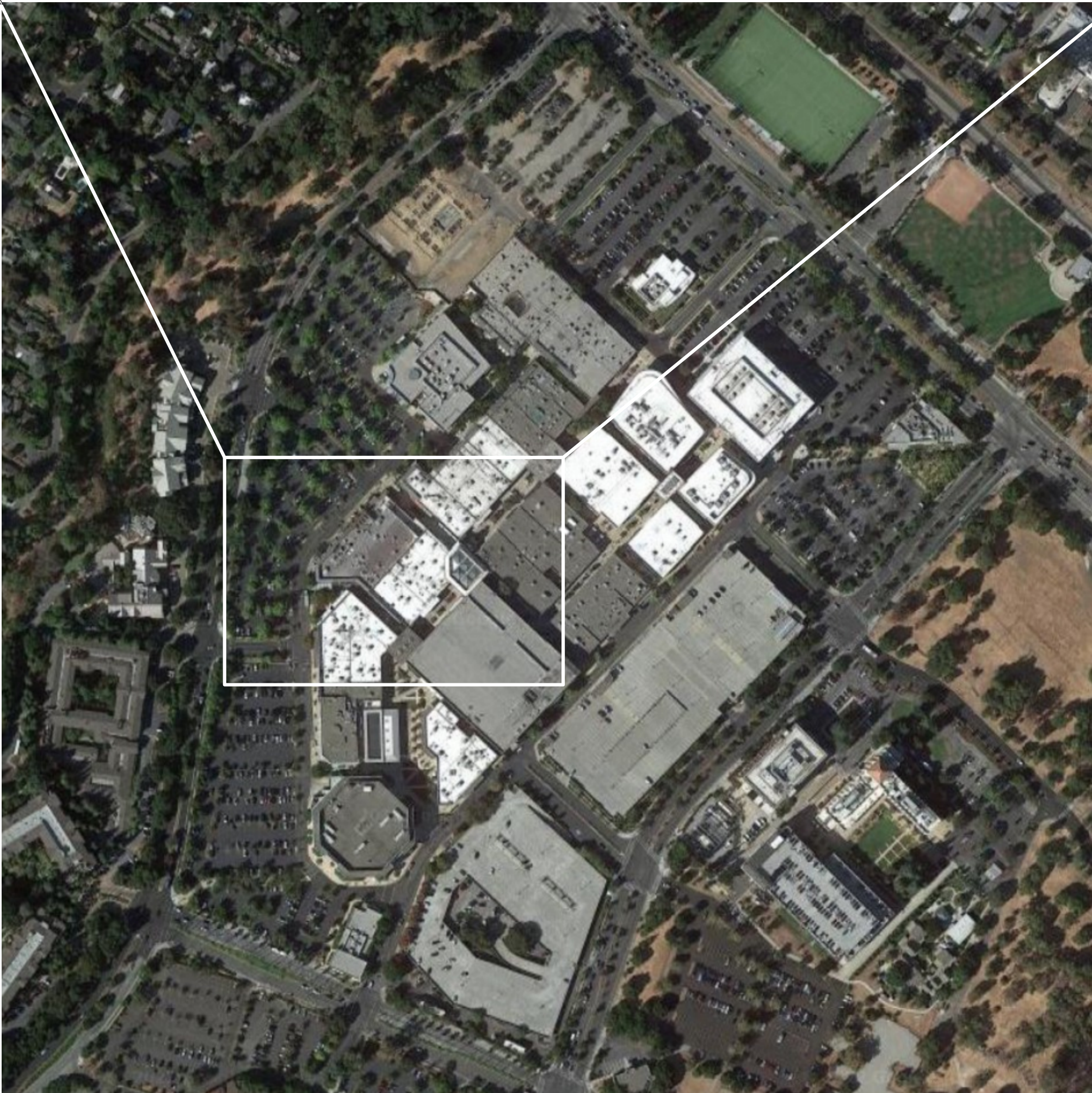
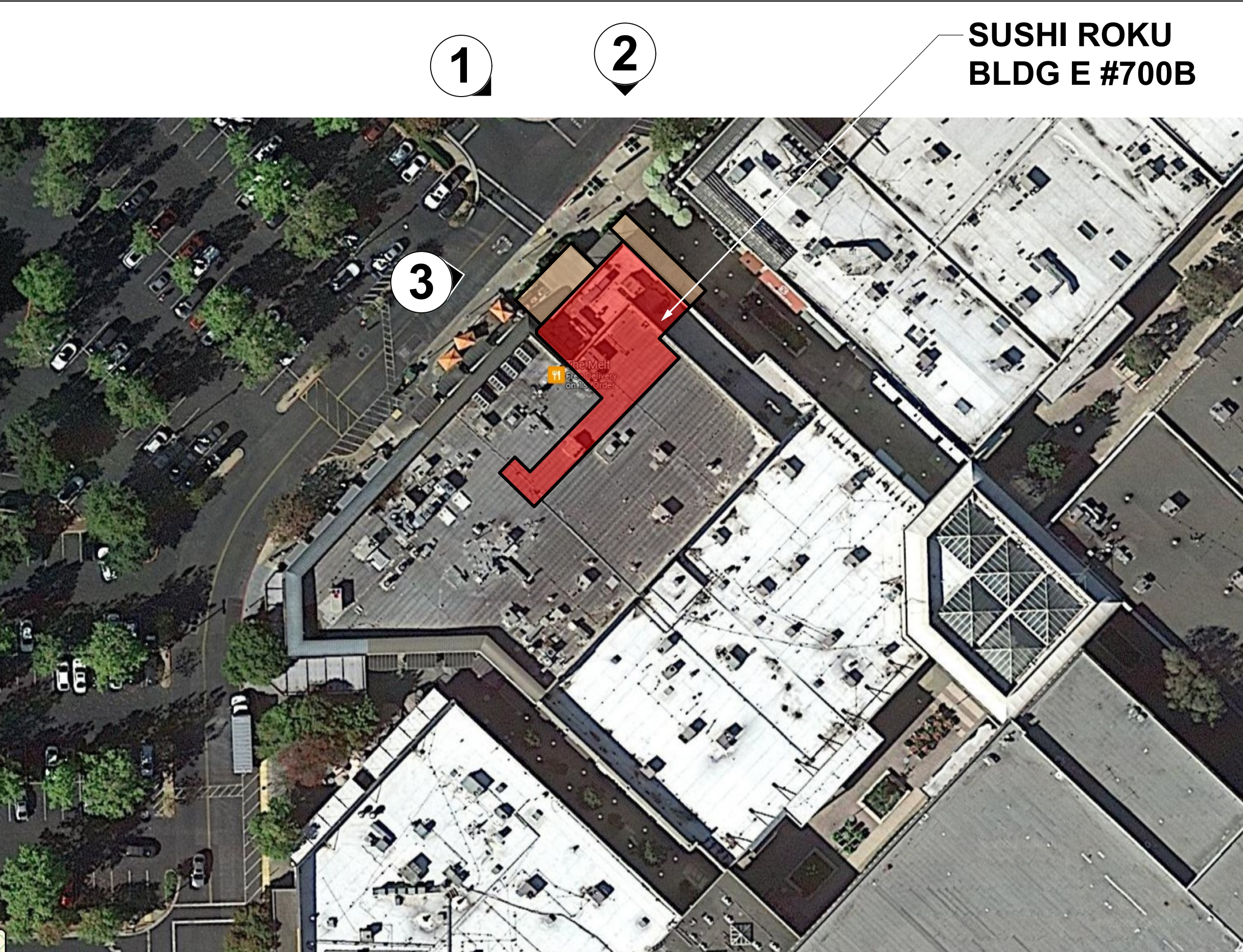
SOUTHEAST VIEW 1



SOUTH VIEW 2



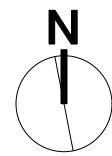
EAST VIEW 3



AERIAL OF STANFORD SHOPPING CENTER

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal
	11.04.2022	ARB Submittal #2

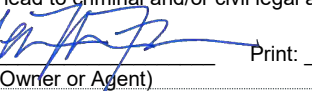
REVISION	DATE	DESCRIPTION
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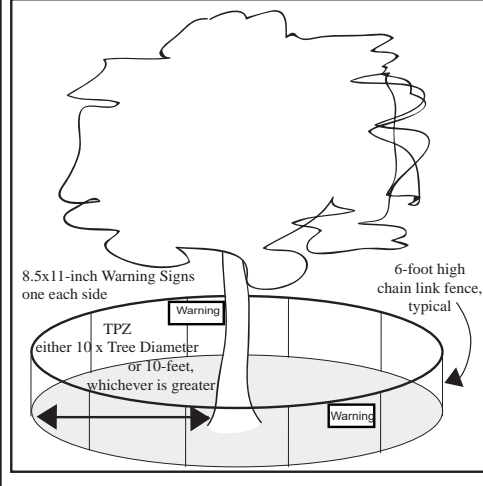
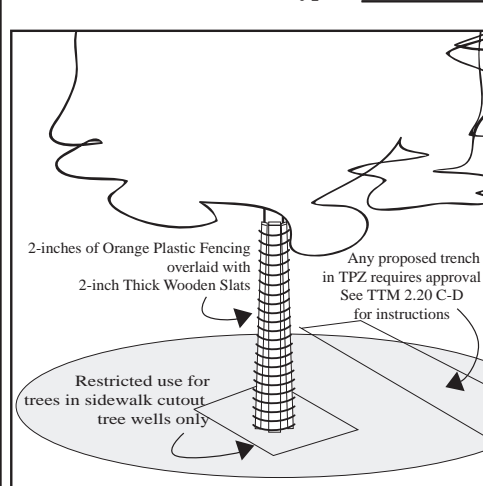
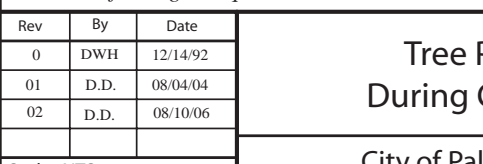
City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT		CITY OF PALO ALTO Planning Division, 250 Hamilton Avenue Palo Alto, CA 94301 (650) 329-2441 http://www.cityofpaloalto.org
Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.		
PROPERTY ADDRESS: 180 EL CAMINO REAL BLDG E- SPACE 700B, PALO ALTO 94304		
Are there Regulated trees on or adjacent to the property? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> (If no, proceed to Section 4)		
[Sections 1- 4 MUST be completed by the applicant. Please circle and/or check where applicable.]		
1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees) <input type="checkbox"/> On the property <input type="checkbox"/> On adjacent property overhanging the project site <input type="checkbox"/> In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*		
*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).		
2. Are there any Protected or Designated Trees? YES <input type="checkbox"/> (Check where applicable) NO <input checked="" type="checkbox"/>		
<input type="checkbox"/> Protected Tree (s) <input type="checkbox"/> Designated Tree (s) <input type="checkbox"/> On or overhanging the property		
3. Is there activity or grading within the drip-line? (radius 10 times the trunk diameter) of these trees? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		
If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM - Section 6.25). Attach this report to Sheet T-1, Tree Protection, its Part of the Plan, per Site Plan Requirements.		
4. Are the Site Plan Requirements** completed? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		
**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy drip-line; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the drip-line, per Sheet T-1 and Detail #605 - http://www.cityofpaloalto.org/trees/forms.htm (See also TTM - Section 2.15 for area to be fenced)		
I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.		
Signature: 	Print: Sean Finn	Date: 07.17.2022
(Prop. Owner or Agent)		
FOR STAFF USE:		
Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).		
5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. (N/A if there are no protected trees, check here <input type="checkbox"/>) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		
6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. (N/A if there are no street trees, check here <input type="checkbox"/>) YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>		
* Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 5'4" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.		
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at http://www.cityofpaloalto.org/planning/community/tree-technical-manual.html		
S:\Plan\Plat\Arborist\Tree Protection Info\Tree Disclosure Statement		Revised 08/06

City of Palo Alto 250 Hamilton Avenue, Palo Alto, CA 94301	
Search: <input type="text"/>	Advanced <input type="checkbox"/> Browse By Topic <input type="text"/>
Home > Planning & Community Environment	
	
Tree Technical Manual	
To purchase the Tree Technical Manual	
June, 2001 First Edition	
View by section:	
• Table of Contents (PDF: 67KB) • Intent and Purpose (PDF: 1.05MB) • Introduction - Use of Manual (PDF: 1.05MB) • Section 1.0 - Definitions (PDF: 94KB) • Section 2.0 - Protection of Trees During Construction (PDF: 259KB) • Section 3.0 - Removal, Replacement & Planting of Trees (PDF: 117KB) • Section 4.0 - Hazardous Trees (PDF: 109KB) • Section 5.0 - Tree Maintenance Guidelines (PDF: 110KB) • Section 6.0 - Tree Reports (PDF: 84KB)	
View ALL sections:	
• Tree Technical Manual - Full (PDF: 1.84MB)	
APPENDICES A. Palo Alto Municipal Code Chapter 8.10 - Tree Preservation & Management Regulations B. Tree City - USA C. ISA Hazard Evaluation Form D. List of Inherent Failure Patterns for Selected Species (Reference source) E. ISA Tree Pruning Guidelines (PDF: 1.85MB) F. Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source) G. Pruning Performance Standards, ANSI A300-1995 (Reference source) H. Tree Planting Details, Diagram 504 & 505 I. Tree Disclosure Statement J. Palo Alto Standard Tree Protection Instructions	

For written specifications associated with illustrations below, see Public Works Specifications Section 31 Detailed specifications are found in the Palo Alto Tree Technical Manual (TTM) (www.cityofpaloalto.org/trees/)	
Tree Protection Zone (TPZ) (shown in gray outline of TPZ equals 10-times the diameter of the tree or 10-feet, whichever is greater) • Restricted activity area - see Tree Technical Manual Sec 2.15(E) • Restricted trenching area - see Tree Technical Manual Sec 2.20(C-D), any proposed trench or form work within TPZ of a protected tree requires approval from Public Works Operations. Call (650) 496-5953.	
	Type I Tree Protection Note: Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as diagnosed on the plans. Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report
	Type II Tree Protection Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.
	Type III Tree Protection Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.
Tree fencing is required and shall be erected before demolition, grading or construction begins.	
Rev. By Date	Approved by: Dave Dockter
01 DWB 12/14/92	PE No. 2006
02 D.D. 08/04/04	Date 2006
03 D.D. 08/10/06	Dwg No. 605
Scale: NTS	
Tree Protection During Construction	
City of Palo Alto Standard	

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-	
31-1 General a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.	
31-2 Reference Documents a. Detail #65 - Illustration of situations described below. b. Tree Technical Manual (TTM) Forms (http://www.cityofpaloalto.org/trees/) 1. Trenching Restriction Zones (TTM, Section 2.20(C)) 2. Arborist Reporting Protocol (TTM, Section 6.30) 3. Site Plan Requirements (TTM, Section 6.33) 4. Tree Disclosure Statement (TTM, Appendix J) c. Street Tree Verification (STV) Form (http://www.cityofpaloalto.org/trees/forms)	
31-3 Execution a. Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations. b. Type II Tree Protection: For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use. c. Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slat bound securely (slat shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist. d. Site, type and area to be fenced: All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form. e. "Warning" signs: A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110". f. Duration: Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works. g. During construction 1. All neighbors' trees that overhang the project site shall be protected from impact of any kind. 2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code. 3. The following tree preservation measures apply to all trees to be retained: a. No storage of materials (e.g., vehicles or equipment) shall be permitted within the TPZ. b. The ground under and around the tree canopy area shall not be altered. c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.	
END OF SECTION City of Palo Alto 2004 Standard Drawings and Specifications Street Tree Verification of Protection, PWE, Section 31 Revised 08/06	

Palo Alto Tree Technical Manual CONTRACTOR & ARBORIST INSPECTION SCHEDULE	
Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/trees/	
ALL CHECKED ITEMS APPLY TO THIS PROJECT:	
1. <input checked="" type="checkbox"/> Inspection of Protective Tree Fencing: For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.19).	
2. <input checked="" type="checkbox"/> Pre-Construction Meeting: Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the project site superintendent, grading operator, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).	
3. <input checked="" type="checkbox"/> Inspection of Rough Grading or Trenching: Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, damage and trenching, and if required, inspect irrigation system, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.	
4. <input checked="" type="checkbox"/> Monthly Tree Activity Report Inspections: The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on condition, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report form shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17).	
5. <input checked="" type="checkbox"/> Special activity within the Tree Protection Zone: Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).	
6. <input type="checkbox"/> Landscape Architect Inspection: For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.	
7. <input type="checkbox"/> List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)	
* <input type="checkbox"/>	
* <input type="checkbox"/>	

City of Palo Alto Tree Department Public Works Operations PO Box 10250 Palo Alto, CA 94303 650-496-5953 FAX: 650-852-9289 treeprotection@cityofpaloalto.org	
Verification of Street Tree Protection	
Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.	
APPLICATION DATE: _____	
ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____	
APPLICANT'S NAME: _____	
APPLICANT'S ADDRESS: _____	
APPLICANT'S TELEPHONE & FAX NUMBERS: _____	
This section to be filled out by City Tree Staff	
1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, go to #2 below
Inspected by: _____	
Date of Inspection: _____	
2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____	
Indicate how the required modifications were communicated to the applicant: _____	
Subsequent inspection	
Street trees at above address were found to be adequately protected: _____	YES <input type="checkbox"/> NO <input type="checkbox"/> * If NO, indicate in "Notes" below the disposition of case.
Inspected by: _____	
Date of Inspection: _____	
Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.	
Return approved sheet to Applicant for demolition or building permit issuance. S:\PW\OPS\Tree\DS\TreeProtect	
5/1/06	

City of Palo Alto Tree Technical Manual Arborist Firm Data Here	
ADDENDUM 11 RCA/TSA Certified Arborist #WG-000 Contract: Call #	
Monthly Tree Activity Report- Construction Site	
Inspection Date: _____	Site address: _____
Inspection # _____	Contractor: _____
	Main Site Contact Information: _____
	Company: _____
	Email: _____
	Job site: _____
	Office: _____
	Cell: _____
	Mail: _____
Distribution: 1. City of Palo Alto	Attn: Dave Dockter
2. Others	Dave.dockter@cityofpaloalto.org
	650-329-2440
Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.	
1. Assignment Activity (Demolition/grading/sewer/trenching/foundation/list relevant visits) a. Pre-construction meeting requirement with sub-contractors b. Inspect to verify that tree protection measures are in place c. Determine if field adjustments, watering or plan revisions may be needed	
2. Field Observations (general site-wide and list by individual tree number) a. Tree Protection Fences (TPF) are ... b. Trenching has/will occur ...	
3. Action Items (list site-wide, by tree number and date to be satisfied) and Date Due a. Tree Protection Fence (TPF) needs adjusting (tree #, x, y) b. Root zone buffer material (wood chips) can be installed next c. Schedule sewer trench, foundation dig with ...	
4. Photographs (use often)	
5. Tree Location Map (mandatory 8.5 x 11 sheet)	
6. Recommendations, notes or monitor items for project/staff/schedule	
* <input type="checkbox"/>	
* <input type="checkbox"/>	
* <input type="checkbox"/>	
Respectfully submitted,	
Project site arborist	
Consultant contact information (Include email, cell#, and mailing)	
CC:	
Enter Date	CPA Monthly Tree Activity Report: Type site address here
Page #1 of 1	

---WARNING---	
Tree Protection Zone	
This fencing shall not be removed without City Arborist approval (650-496-5953)	
Removal without permission is subject to a \$500 fine per day*	
*Palo Alto Municipal Code Section 8.10.110	
City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.html	

SPECIAL INSPECTIONS	PLANNING DEPARTMENT
TREE PROTECTION INSPECTIONS MANDATORY	
PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.	
BUILDING PERMIT DATE: _____	
DATE OF 1 ST TREE ACTIVITY REPORT: _____	
CITY STAFF: _____	
REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.	

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

Project
Data

T-1



All other tree-related reports shall be added to the space provided on this sheet (adding as needed). Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-1



T1



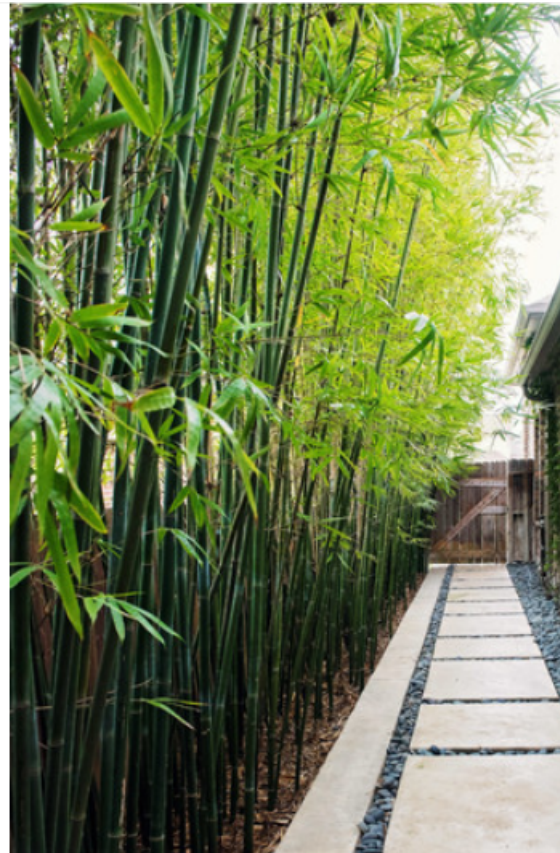
S1



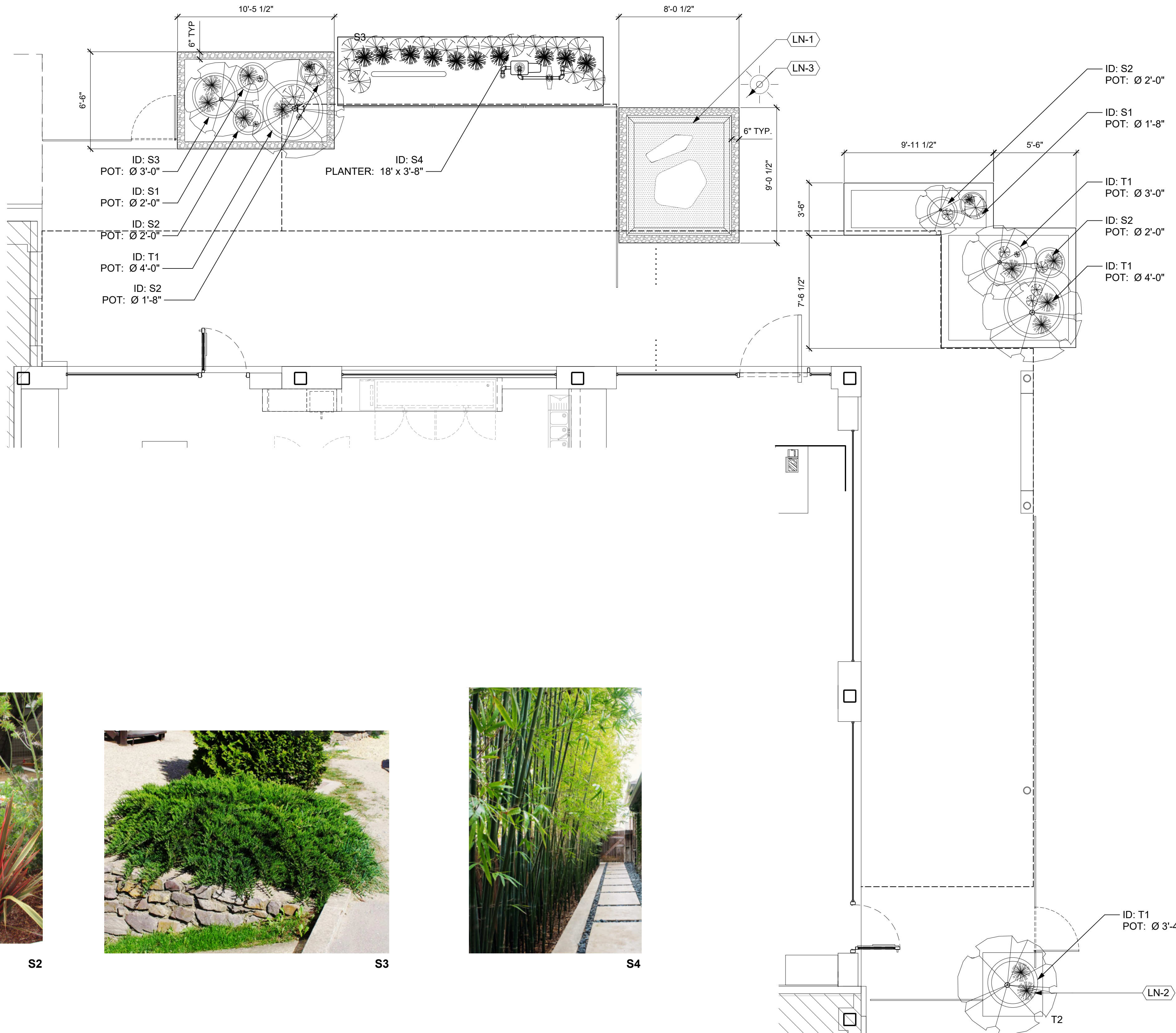
S2



S3



S4



General Notes		PLANTING SCHEDULE					LANDSCAPE PLAN NOTES				
<div>1. LANDSCAPE AND IRRIGATION SHALL COMPLY WITH STATE AND CITY OF PALO ALTO LANDSCAPE WATER EFFECIENCY REQUIREMENTS.</div> <div>2. THE PLANTS SPECIFIED ARE RATED LOW TO MODERATE WATER REQUIREMENT PLANTS BY WUCOLS IV ESTIMATING IRRIGATION WATER NEEDS FOR CALIFORNIA - REGION 1.</div> <div>3. A FULLY AUTOMATIC WATER EFFECIENT DRIP IRRIGATION SYSTEM SHALL BE INSTALLED FOR THE PROPOSED PLANTERS. THE IRRIGATION CONTROLLER SHALL HAVE:<div>1. ET BASED SELF ADJUSTING STATION RUNTIME</div><div>2. MULTIPLE PROGRAM CAPABILITIES</div><div>3. FLEXIBLE ' CANDELA' PROGRAM</div></div>		SHRUBS AND VINES					LN-1. NEW ELEVATED WATER FEATURE W/ DECORATIVE STONE PILLAR				
		ID	PLANT NAME	SIZE	QTY	WATER REQUIREMENT	LN-2. NEW LOW WALL & PLANTER;				
		S1	Kangaroo Paws ((Anigozanthos)	TBD	2	Low	LN-3. EXISTING LIGHT POLE TO REMAIN				
		S2	New Zealand Flax (Phorium Tenex)	TBD	4	Low					
		S3	Tamarix Juniper (Juniperus Sabina)	TBD	1	Low					
		S4	Golden Bamboo (Phyllostachys aurea)	TBD	TBD	Moderate					
		TREES									
		ID	PLANT NAME	SIZE	QTY	WATER REQUIREMENT					
		T1	Eastern Redbud (Cercis canadensis)	TBD	4	Moderate					

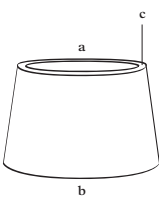
LRC



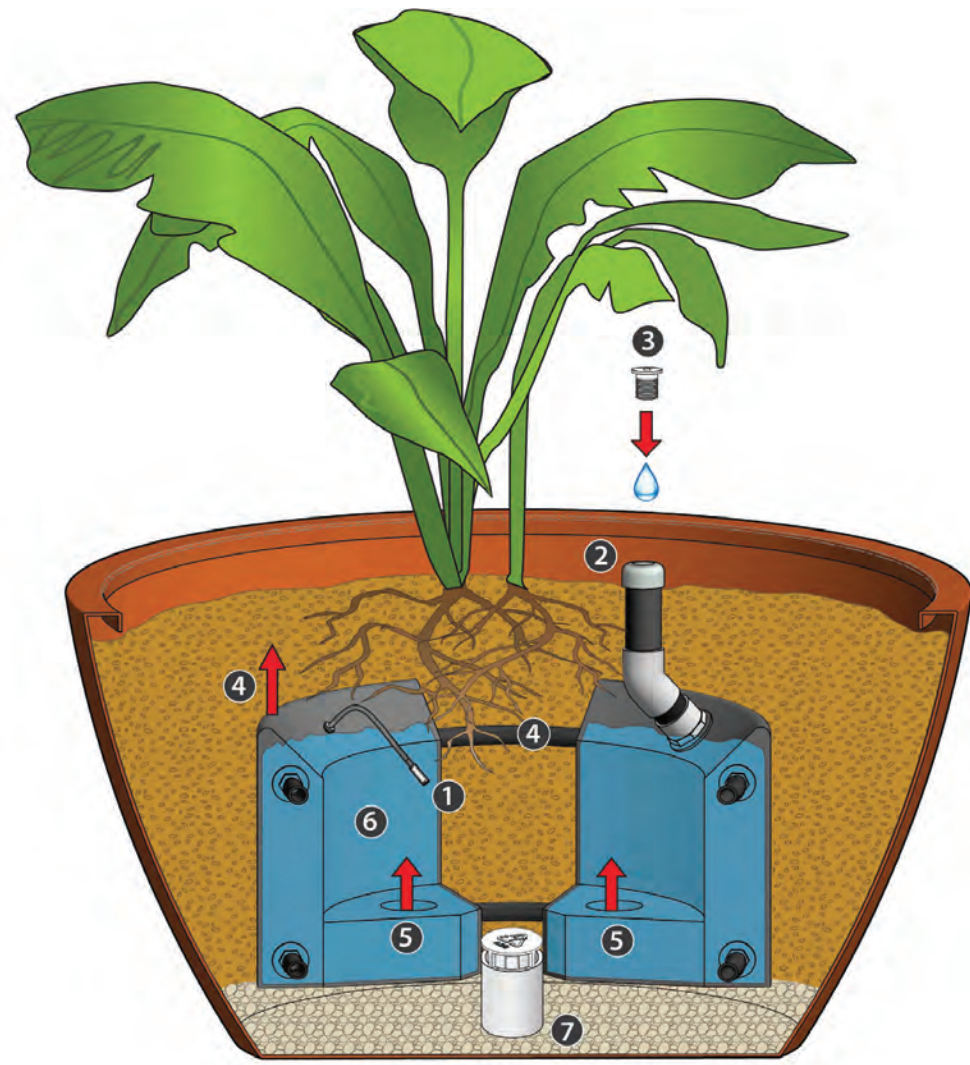
LR

CLE

	a	b	c	d	e	f
CLE10	40cm	40cm	50cm	34cm	60kg	60kg
CLE15	60cm	60cm	60cm	51cm	90kg	90kg
CLE20	80cm	80cm	80cm	60cm	110kg	110kg
CLE25	100cm	100cm	100cm	70cm	130kg	130kg



ateliervierkant - Collection 2022



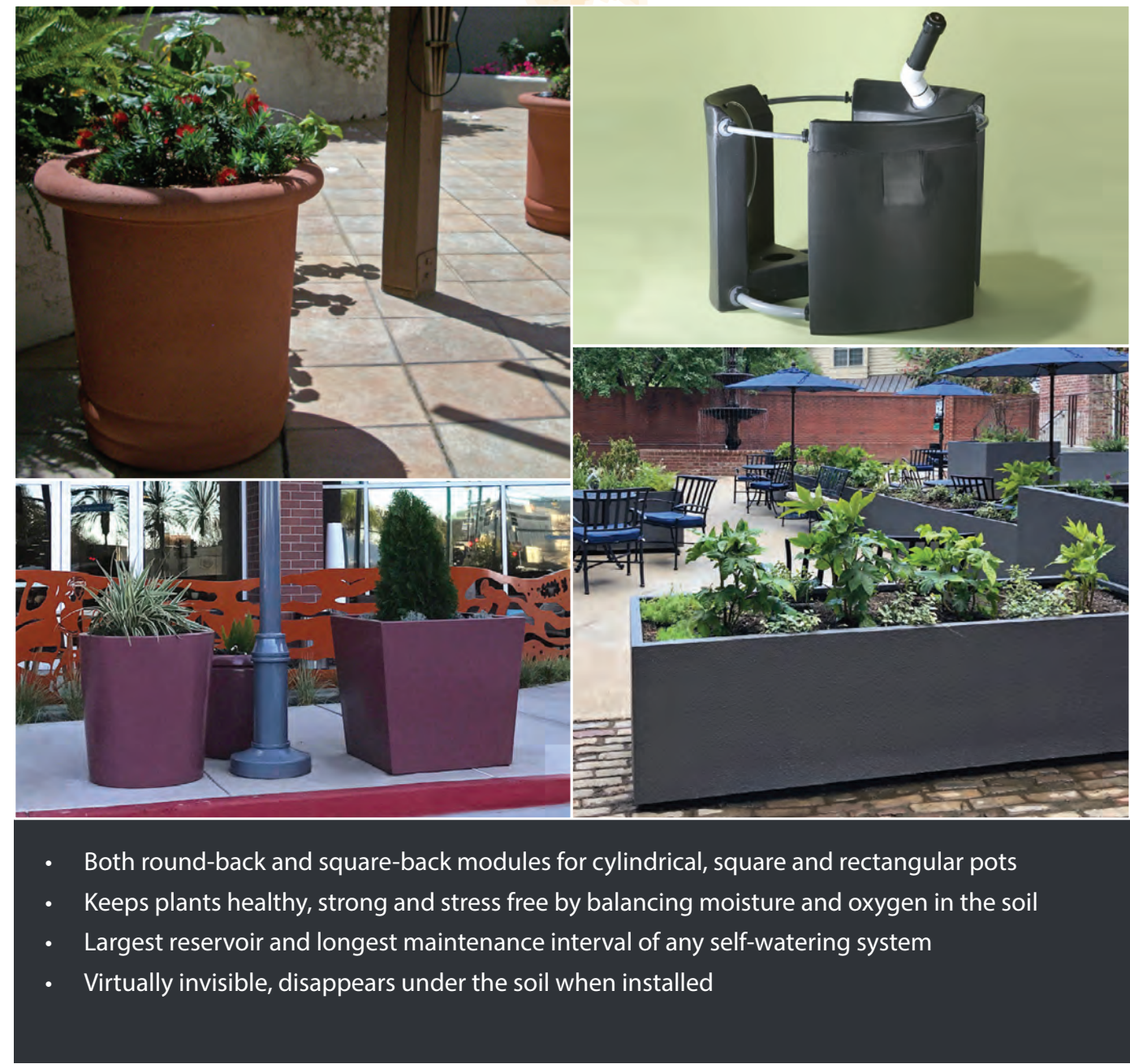
1. The key to the system – A micro-porous sensor tube acts as a simple valve. It allows air to pass when the soil is dry, closes when soil is moist.
2. Reservoir modules are filled through a hole at the top of a fill pipe, which extends above the soil – the amount of water is dependent on the size and number of the modules. Water flows from the fill module to the others via a tube connecting them at the bottom.
3. Once the modules are full, the fill pipe is closed with a tamper-resistant stopper, which creates an airtight seal (and prevents curious fingers from removing it).
4. When the soil is moist (the plant has water), the sensor tube is closed and a vacuum is created above the water, preventing it from flowing. The vacuum is shared by a tube connecting the tops of the modules.
5. When the soil dries, air is allowed through the sensor tube and breaks the vacuum. Water flows into the soil from holes in the bottom of each module, and wicks up into the soil like a sponge.
6. When the roots become moist, the sensor closes and the vacuum is created – stopping the flow until the plant uses the water and the process starts again.
7. When it rains, excess water builds up in the bottom of the container. The modular system includes an overflow drain adapter over the drain hole. Excess water flows out, preventing oversaturation.

Tournesol SITEWORKS
Successful sites start here™

CWM Modular Container Irrigation

The most flexibility for planters, large and small

CWM Modular is a versatile self-watering system designed for use in any large planter, freestanding or otherwise. Reservoir modules are linked together and buried within the pot. The hand-filled reservoir utilizes Tournesol Siteworks' vacuum-sensor system to precisely monitor the soil moisture in the container, giving plants exactly the amount of water they need. The CWM Modular provides optimal flexibility for use in virtually any shape planter, will not interfere with lighting or other electrical connections, and requires no plumbing.



- Both round-back and square-back modules for cylindrical, square and rectangular pots
- Keeps plants healthy, strong and stress free by balancing moisture and oxygen in the soil
- Largest reservoir and longest maintenance interval of any self-watering system
- Virtually invisible, disappears under the soil when installed

NOTE: ALL PROPOSED LANDSCAPE WILL UTILIZE MODULAR CONTAINER IRRIGATION

PROPOSED MODULAR CONTAINER IRRIGATION
Scale: NTS 1

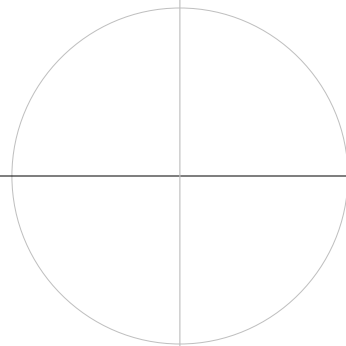
PROPOSED EXTERIOR POTS - ATELIERVIERKANT
Scale: NTS 2

LANDLORD'S GENERAL NOTES

1. PLANS REVIEWED AND APPROVED BY LANDLORD'S TENANT COORDINATOR MUST BE PRESENT ON THE JOB SITE AND BE ACCOMPANIED BY PLANS APPROVED FOR BUILDING PERMIT. ANY PROPOSED DEVIATION FROM THE LANDLORD APPROVED PLANS MUST BE NUMBERED AND CLOUDED ON THE PLANS, AND THEN RESUBMITTED BY THE TENANT TO THE LANDLORD FOR RE-APPROVAL PRIOR TO ANY CONSTRUCTION CHANGES TAKING PLACE IN THE FIELD.
2. TENANT'S GC IS REQUIRED TO CHECK IN WITH LANDLORD'S ON SITE PROPERTY MANAGER PRIOR TO THE START OF TENANT CONSTRUCTION. CONTACT MALL MANAGEMENT OFFICE.
3. CONTACT PROPERTY MANAGEMENT FOR CONSTRUCTION BARRICADE REQUIREMENTS, INCLUDING BARRICADE GRAPHICS.
4. TENANT'S GC IS RESPONSIBLE TO COMPLY WITH ALL MALL RULES AND REGULATIONS AND AS INSTRUCTED ON SITE BY MALL MANAGEMENT.
5. ANY DAMAGE TO LANDLORD'S PROPERTY DURING TENANT DEMOLITION OR CONSTRUCTION (MALL FLOORING, BULKHEAD, NEUTRAL PIERS, ETC.) WILL BE REPAIRED PER MALL SPECIFICATIONS, AT TENANT'S EXPENSE.
6. ANY LANDLORD EQUIPMENT, COMPONENT, AND / OR SERVICE FEEDING OTHER TENANT(S) THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. TENANT SHALL INSTALL ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS. ACCESS PANELS SHALL BE LABELED TO PROPERLY IDENTIFY SYSTEM, COORDINATE WITH MALL OPERATIONS.
7. ALL LANDLORD COMMENTS FROM PREVIOUS REVIEW(S) ARE TO BE INCORPORATED INTO THE FINAL SET OF APPROVED DRAWINGS AND ARE TO BE ADHERED TO IN THE FIELD.
8. ALL LANDLORD COMMENTS ON THIS SET OF DRAWINGS SHALL APPLY TO THE ENTIRE DOCUMENT SET, EVEN IF NOT REPEATED ON EVERY SHEET IN DRAWING SET.
9. THE RE-USE OF ANY EXISTING CONSTRUCTION, FINISHES, EQUIPMENT, OR ELECTRICAL, PLUMBING OR HVAC SYSTEMS CURRENTLY IN THE SPACE IS CONDITIONAL UPON IT BEING APPROPRIATE FOR RE-USE. ANY EXISTING CONDITION OR EQUIPMENT TO BE RE-USED MUST BE RESTORED TO LIKE NEW CONDITIONS. THE LANDLORD MAKES NO WARRANTY ON THE RE-USE OF ANY EXISTING CONDITION IN THE SPACE.
10. IF AT ANY POINT A FAILURE, UPGRADES, AND / OR IMPROVEMENTS TO EXISTING SYSTEMS OCCUR, IT IS THE SOLE RESPONSIBILITY OF THE TENANT TO REPAIR OR REPLACE, AT TENANT EXPENSE.
11. LANDLORD AND TENANT RESPONSIBILITIES ARE AS DEFINED IN LEASE AGREEMENT.
12. LANDLORD STRONGLY PREFERS USE OF ENERGY STAR PRODUCTS AND/OR EQUIPMENT WHENEVER POSSIBLE DURING TENANT BUILD OUT, WHICH CAN REDUCE ENERGY CONSUMPTION.
13. THE TENANT'S GC SHALL BE REQUIRED TO CONTRACT DIRECTLY WITH THE MALL'S FIRE ALARM VENDOR FOR THE SCOPE OF WORK ASSOCIATED WITH THE SYSTEM WITHIN THE PREMISES. THIS SHALL INCLUDE BUT NOT BE LIMITED TO THE "SAFE OFF" OF THE SYSTEM PRIOR TO COMMENCEMENT OF DEMO, DESIGN AND PERMITTING OF NEW SYSTEM (OR MODIFICATIONS TO EXISTING), SUPPLYING "ARTS & SMARTS" AS REQUIRED FOR TENANT'S GC INSTALL AND THE SECURING OF THE FINAL CITY INSPECTIONS/SIGN-OFFS.
14. TENANT'S GC IS REQUIRED TO CONTRACT WITH ONE OF THE MALL'S RECOMMENDED SPRINKLER VENDORS FOR THE DESIGN, PERMITTING AND INSTALLATION OF THE SPRINKLER SYSTEM WITHIN THE PREMISES.
15. THE TENANT SHALL BE REQUIRED TO SUBMIT THE PROJECT TO THE CITY OF PALO ALTO PLANNING DEPT FOR REVIEW AND APPROVAL WHICH IS EXPECTED TO INCLUDE PUBLIC HEARINGS. THE RULINGS, JUDGMENTS, STIPULATIONS, ETC. ISSUED BY THE CITY OF PALO ALTO PLANNING DEPT. GOVERN OVER ANY AND ALL PREVIOUS REVIEWS, APPROVALS, ETC. ISSUED BY THE LANDLORD AND/OR STANFORD UNIVERSITY.
16. LANDLORD STRONGLY RECOMMENDS THAT THE TENANT SECURES A COPY OF THE MALL'S GC RULES & REGULATIONS DIRECTLY FROM MALL OPERATIONS DIRECTOR AND ISSUES SAME TO THEIR BIDDING GC'S FOR REVIEW AND COMMENT BEFORE AWARDDING THE PROJECT.
17. FIELD VERIFICATION REQUIREMENT: TENANT, TENANT'S DESIGN TEAM, AND TENANT'S CONTRACTORS SHALL FIELD VERIFY ALL FIELD CONDITIONS PRIOR TO THE START OF ANY CONSTRUCTION. BE ADVISED THAT ALL CHANGES AND MODIFICATION TO THE LANDLORD'S APPROVED DRAWINGS SHALL BE RESUBMITTED TO LANDLORD FOR RE-APPROVAL. ANY CONSTRUCTION COMPLETED WITHOUT LANDLORD APPROVAL SHALL BE CORRECTED AS APPROVED BY LANDLORD AT TENANT'S EXPENSE.

LANDLORD'S STOREFRONT ELEVATION / SECTION NOTES

1. IF NOT ALREADY EXISTING, TENANT MUST PROVIDE A SEALED PARTITION ABOVE THE STOREFRONT TO SEPARATE THE COMMON AREA CEILING FROM THE TENANT'S SPACE. (SHALL BE RATED IF REQUIRED BY CODE AND ALL PENETRATION SHALL COMPLY AND BE LABELED WITH THE REQUIRED NFPA RATING.)
2. NOTHING IS PERMITTED TO BE ATTACHED TO, SUSPENDED FROM, OR PENETRATE LANDLORD'S STRUCTURE, FLOOR DECK, OR ROOF DECK. YOU MAY ATTACH, NON-DESTRUCTIVELY, TO OR SUSPEND FROM THE TOP CHORD OF THE JOIST OR THE STRUCTURAL STEEL WHICH EXISTS ABOVE THE TENANT SPACE. WHEN ATTACHING TO LANDLORD'S STRUCTURE, DO NOT DRILL, WELD, SCREW, OR SHOOT INTO STRUCTURE. ALTERNATIVE METHODS OF ATTACHMENT ONLY, NOTHING TO DAMAGE LANDLORD'S BASE BUILDING STRUCTURE. TENANT SHALL PROVIDE SIGNED AND SEALED STRUCTURAL DRAWINGS, BY A STRUCTURAL ENGINEER WITH LEGALLY ACTIVE REGISTRATION AS INDICATED BY ALL JURISDICTIONAL REQUIREMENTS, FOR ALL STRUCTURAL MODIFICATIONS FOR LANDLORD RECORDS.
3. ANY LANDLORD EQUIPMENT, COMPONENT, AND / OR SERVICE FEEDING OTHER TENANT(S) THAT IS EXISTING IN THE SPACE MUST REMAIN VISIBLE AND ACCESSIBLE TO THE LANDLORD. TENANT SHALL INSTALL ACCESS PANELS AS REQUIRED TO MAINTAIN ACCESS. ACCESS PANELS SHALL BE LABELED TO PROPERLY IDENTIFY SYSTEM, COORDINATE WITH MALL OPERATIONS.
4. WHEN STOREFRONT GRILLES ARE PERMITTED BY LANDLORD, THEY MUST BE FLOOR SUPPORTED AND SHALL ATTACH TO LANDLORD'S STRUCTURE FOR LATERAL SUPPORT ONLY. WHEN IN OPEN POSITION, BOTTOM RAIL OF GRILLE MUST BE FULLY RECESSED INTO CEILING TREATMENT ABOVE. NO WELDING TO STRUCTURE IS PERMITTED.
5. SLAT WALL MAY NOT BE USED WITHIN THE FIRST 5'-0" OF THE SPACE.
6. VERTICAL GLASS JOINTS SHALL BE FRAMELESS BUTT JOINTS.
7. PAINTED DRYWALL IS NOT AN ACCEPTABLE STOREFRONT FINISH.
8. ANY DAMAGE TO MALL PROPERTY OR ADJACENT TENANTS DURING CONSTRUCTION MUST BE REPAIRED TO MALL SPECIFICATIONS, AT TENANT'S EXPENSE.
9. STOREFRONT SIGN MUST BE ON A 7-DAY, 24-HOUR TIME CLOCK. ILLUMINATED SIGNS MUST REMAIN ILLUMINATED DURING ALL MALL HOURS.
10. APPROVAL OF THE TENANT'S CONSTRUCTION / DESIGN DOCUMENTS BY THE LANDLORD SHALL NOT CONSTITUTE REVIEW AND APPROVAL OF THE TENANT'S SIGNAGE. SIGNAGE SHOP DRAWINGS MUST BE SUBMITTED UNDER SEPARATE SUBMITTAL FOR LANDLORD REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION OF THE SIGN.



SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal
	11.04.2022	ARB Submittal #2

REVISION	DATE	DESCRIPTION
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G051
LANDLORD NOTES

SCALE: NTS
DATE: 11.04.2022

Stanford Shopping Center Parking and Loading Tabulation

8/9/2022 Existing

Gross Floor Area For Parking							
Building #	Basement	Ground Floor	Mezzanine	2nd Floor	3rd Floor	Outdoor Area	Total
Bloomingdale's A (Phase II)*		123,678					123,678
WB (approved)			0				0
EE (revised)						3,204	3,204
RH (under construction)		17,731		15,524	8,613		41,868
C-South		30,738		6,979			37,717
C-North		24,844		11,680			36,524
D		62,859		13,025		222	76,106
E		27,451		12,512		2,318	42,281
F	15,458	43,410		5,127			63,995
New Flemings (Phase I)		7,220				1,291	8,511
H		21,584		475			22,059
J (to be demolished)		8,075		1,418			9,493
Macy's K*		225,830					225,830
L		23,610		2,446		589	26,645
M		55,048		13,492			68,540
N		20,402		325			20,727
P		9,955					9,955
Neiman Marcus*		120,000					120,000
V		31,567		32,573			64,140
W		10,608				1,385	11,993
Phase III							
AA		29,305					29,305
BB		25,978		25,915		174	52,067
CC		16,402					16,402
DD		16,823		16,824			33,647
Subtotal by Level	15,458	953,118	0	158,315	8,613	9,183	1,144,687.0
Nordstrom*		180,000					180,000
Container Store	5,534	24,116		8,651			38,301
Crate&Barrel		39,173					39,173
Subtotal by Level	5,534	243,289	0	8,651	0	0	257,474
TOTAL	20,992	1,196,407	0	166,966	8,613	9,183	1,402,161

Bicycle Parking	Short Term (Racks)	Long Term (Lockers)	Cargo Bike	TOTAL
Required bicycle spaces (per Macys Mens Redevelopment)		254	97	4
Existing bicycle spaces (per Macys Mens redevelopment)		254	97	4
Deficient Bike Parking		0	0	0

Loading Space	Req 3/120k sf	Req 1/50k sf over	Required	Existing	Proposed	Deficient
3/70,000 -120,000 sf with 1 additional space per 50,000 sf over 120,000 sf	3 spaces (3 per 1st 120,000 sf)	26 spaces (based on 1,311,357 sf/50,000 sf)	29 spaces	24 spaces	25 spaces	4 spaces

Parking Provided by Space Type	Notes	Regular	ADA	EVSE	EV (Ready)	ADA EVSE/Ready***	x2 PK EVSE	Dedicated Parking	TOTAL
Required Parking Spaces 1/275 GFA	5099								5,099
Existing Parking Spaces	As of 3/27/2019	5,218	101	29	96				
Proposed Parking Spaces	Macys Mens Project		10	0	49				
Dedicated Parking - Tesla	16PLN-00040							-6	
Loss of Physical Parking Spaces	Macys Mens Project	-240							
Loss of Physical Parking Spaces	Building EE	-1							
Total Parking Spaces		4,977	111	29	153			-6	5,264
Excess number of spaces (Proposed - Required and Dedicated Spaces)									165

***Per AB1100: EVSE & EV Ready Van accessible & accessible spaces adjacent to an accessible path of travel are counted x2 towards the parking total**

Net Floor Area For Entitlements*							
Building #	Basement	Ground Floor	Mezzanine	2nd Floor	3rd Floor	Outdoor Area	Total
Bloomingdale's A (Phase II)*		117,494					117,494
WB (approved)			0				0
EE						3,204	3,204
RH (under construction)		17,731		15,524	8,613		41,868
C-South		30,738		6,979			37,717
C-North		24,844		11,680			36,524
D		62,859		13,025			75,884
E		27,451		12,512			39,963
F	15,458	43,410		5,127			63,995
New Flemings (Phase I)		7,220					7,220
H		21,584		475			22,059
J (to be demolished)		8,075		1,418			9,493
Macy's K*		225,830					214,539
L		23,610		2,446			26,056
M		55,048		13,492			68,540
N		20,402		325			20,727
P		9,955					9,955
Neiman Marcus*		120,000					114,000
V		31,567		32,573			64,140
W		10,608					10,608
Phase III							
AA		29,305					29,305
BB		25,978		25,915			51,893
CC		16,402					16,402
DD		16,823		16,824			33,647
Subtotal by Level	15,458	946,934	0	158,315	8,613	3,204	1,115,233
Nordstrom*		180,000					171,000
Container Store		24,116					24,116
Crate&Barrel		39,173					39,173
Subtotal by Level	0	243,289	0	0	0	0	234,289
TOTAL	15,458	1,190,223	0	158,315	8,613	3,204	1,349,522

Allowable NFA**

1,412,362

Available NFA

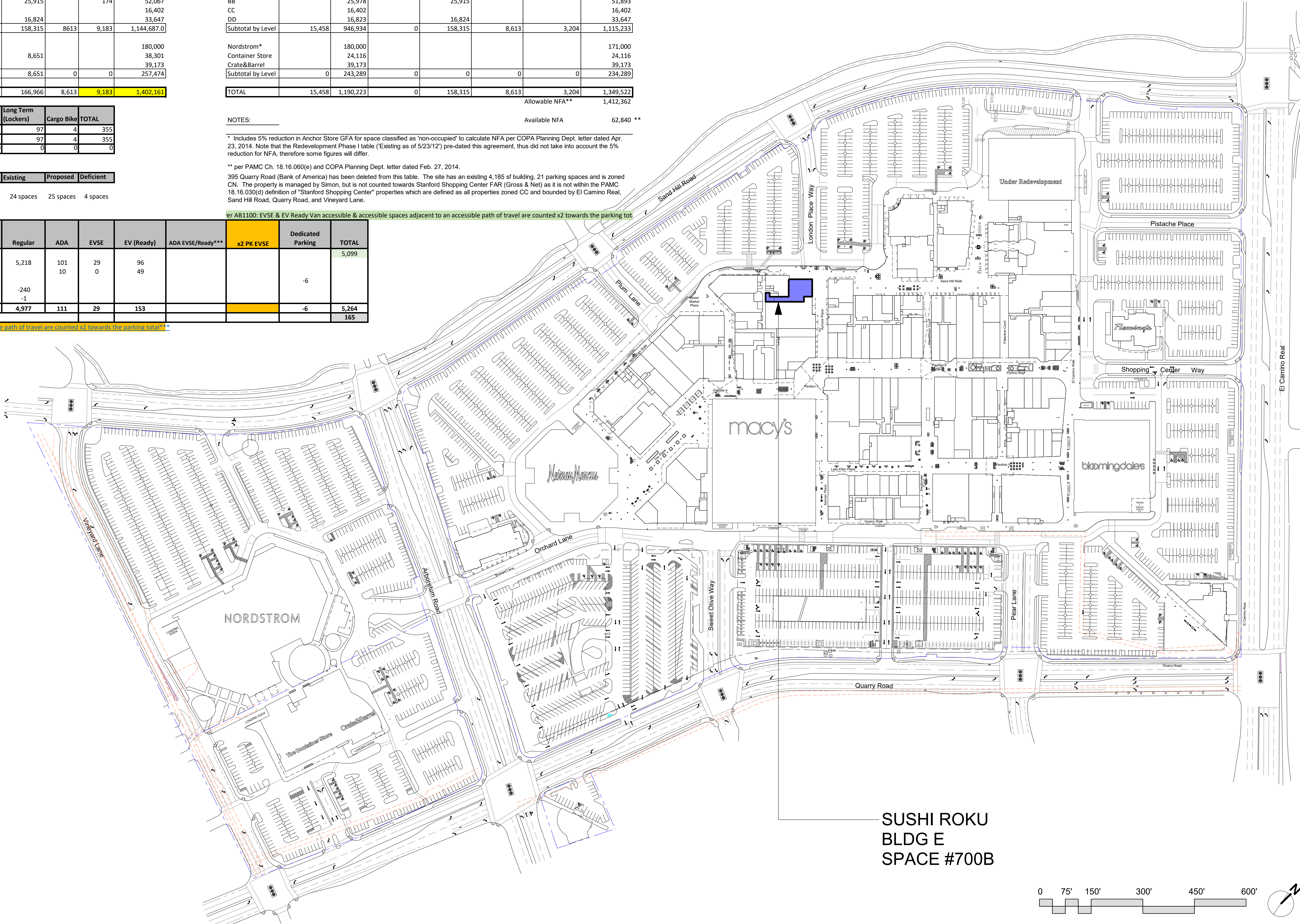
62,840 **

NOTES:

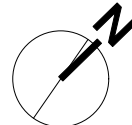
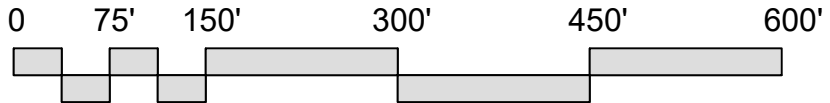
* Includes 5% reduction in Anchor Store GFA for space classified as 'non-occupied' to calculate NFA per COPA Planning Dept. letter dated Apr. 23, 2014. Note that the Redevelopment Phase I table ('Existing as of 5/23/12') pre-dated this agreement, thus did not take into account the 5% reduction for NFA, therefore some figures will differ.

** per PAMC Ch. 18.16.060(e) and COPA Planning Dept. letter dated Feb. 27, 2014.
395 Quarry Road (Bank of America) has been deleted from this table. The site has an existing 4,185 of building, 21 parking spaces and is zoned CN. The property is managed by Simon, but is not counted towards Stanford Shopping Center FAR (Gross & Net) as it is not within the PAMC 18.16.030(d) definition of "Stanford Shopping Center" properties which are defined as all properties zoned CC and bounded by El Camino Real, Sand Hill Road, Quarry Road, and Vineyard Lane.

Per AB1100: EVSE & EV Ready Van accessible & accessible spaces adjacent to an accessible path of travel are counted x2 towards the parking total

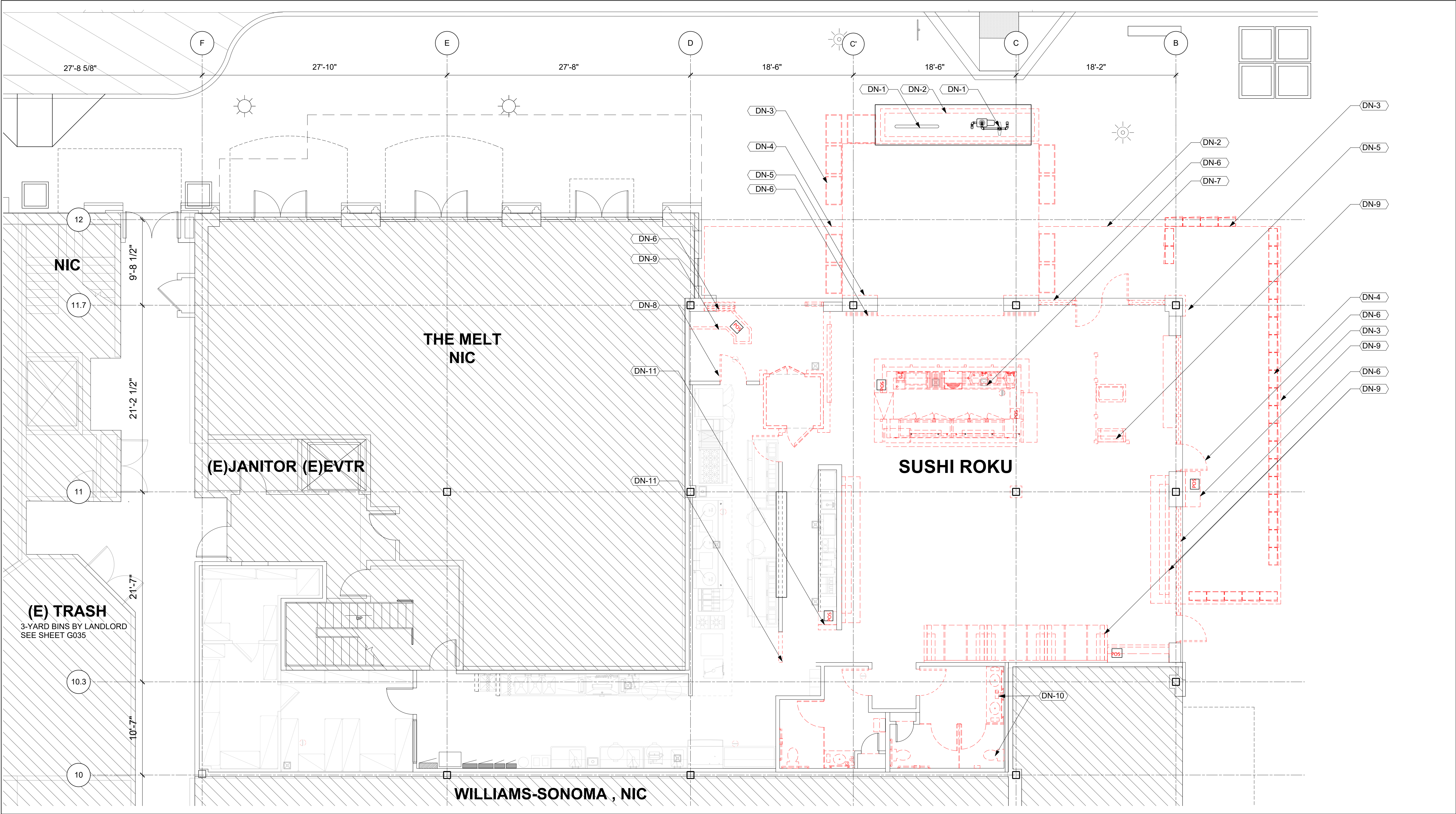





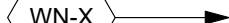
SUSHI ROKU
BLDG E
SPACE #700B



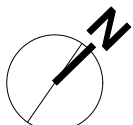
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DEMOLITION PLAN NOTES		DEMOLITION PLAN LEGEND	
DN-1.	(E) GAS METER AND WATER LINE TO REMAIN		NOT IN SCOPE
DN-2.	(E) LOW CONCRETE CURB TO BE DEMOLISHED TO PROVIDE FLUSH CONDITION AT PLANTER		(E) CONSTRUCTION TO REMAIN
DN-3.	(E) PLANTERS TO BE REMOVED, TYPICAL		(E) CONSTRUCTION TO BE REMOVED
DN-4.	(E) CANOPY TO BE DEMOLISHED; (E) CANOPY STRUCTURE TO REMAIN TO BE REFINISHED AND REUSED		PLAN NOTES; REFER TO "DEMOLITION PLAN NOTES" LIST ON THIS SHEET
DN-5.	REMOVE (E) PRECAST CONCRETE WAINSCOT & PREPARE (E) WALL FINISH FOR NEW WALL TILE		
DN-6.	(E) ENTRY DOORS AND STOREFRONT SYSTEMS TO BE DEMOLISHED		
DN-7.	(E) COUNTER TOP AND DIE WALL TO BE DEMOLISHED; BAR EQUIPMENT TO BE REMOVED AND SAVED FOR REUSE PER TENANT, IF NEEDED.		
DN-8.	(E) INTERIOR DOORS TO BE DEMOLISHED AND REPLACED		
DN-9.	(E) MILLWORK TO BE DEMOLISHED, TYPICAL		
DN-10.	(E) PLUMBING FIXTURES, BATHROOM ACCESSORIES TO BE REMOVED AND REPLACED IN PLACE		
DN-11.	PORTIONS OF (E) INTERIOR WALLS TO BE DEMOLISHED.		

0 4' 8' 12' 16' 20'



FIN

WJ

FIN MUATNO ARCHITECTS LLP

10000 Washington Boulevard
Suite 600
Culver City, CA 90232

IDG

INNOVATIVE DINING GROUP

SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

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REVISION	DATE	DESCRIPTION

A101

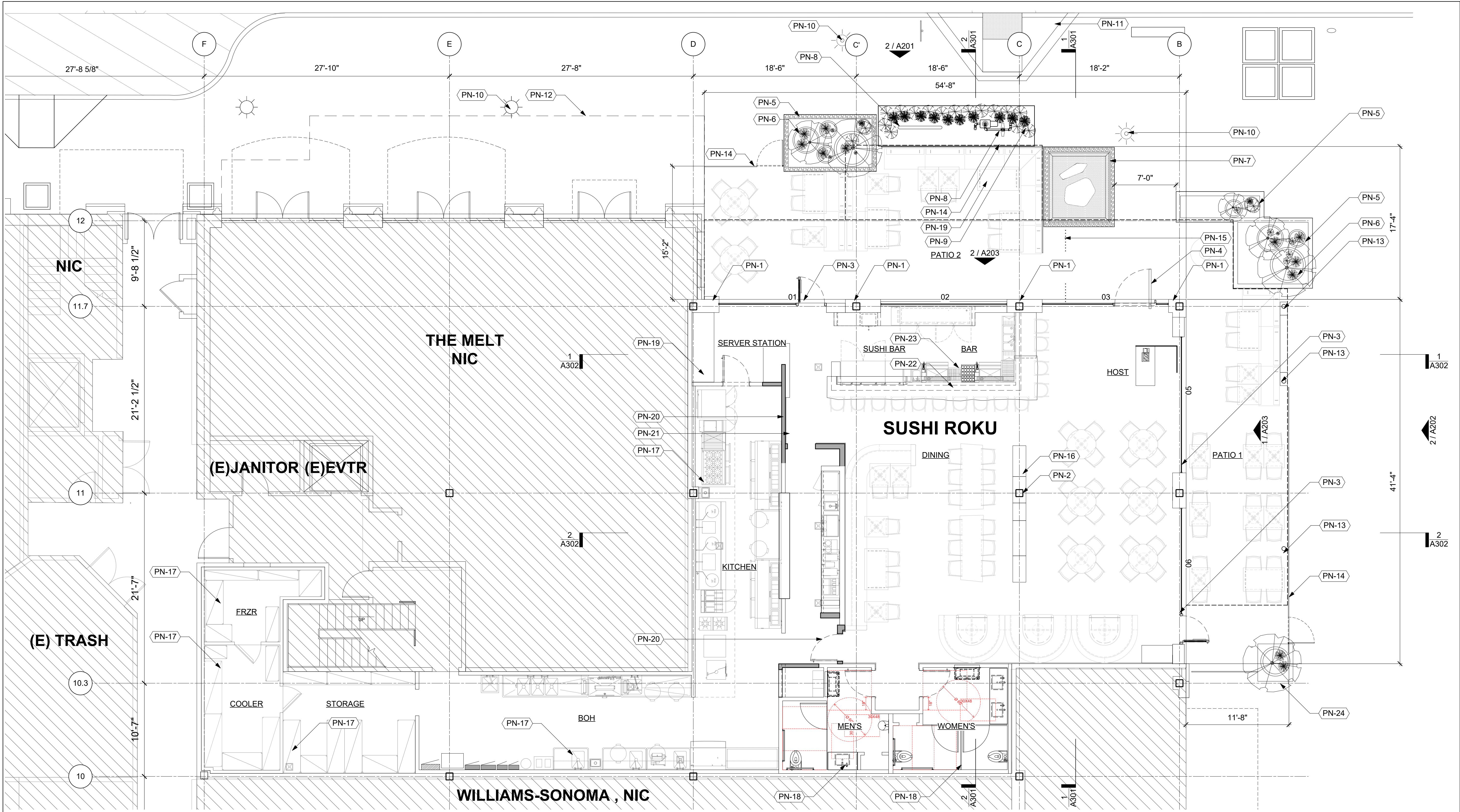
EXISTING CONDITION / DEMO PLAN

SCALE:

DATE:

3/16" = 1'-0"

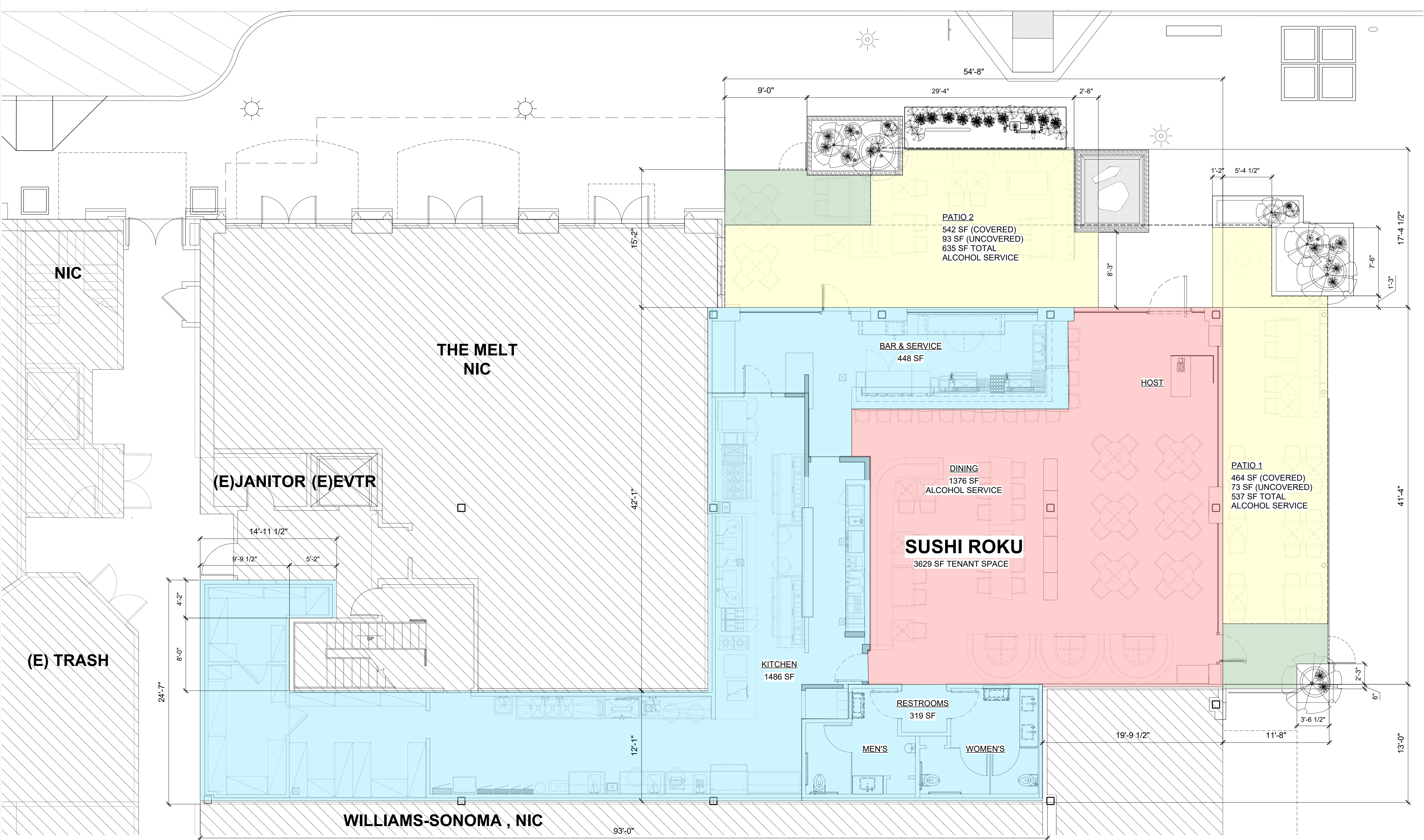
11.04.2022



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PLAN NOTES		SEATING COUNT	FLOOR PLAN LEGEND	
PN-1. EXTERIOR WALL FRAMING TO REMAIN, TENANT GC TO PREP NEW WALL FOR TILE FINISH	PN-14. NEW PATIO METAL & GLASS RAILING @ 54" A.F.F.	DINING: CHAIRS = 42 BANQUETTE = 6 BOOTH = 12 BAR: STOOLS = 14 PATIO 1: CHAIRS = 22 BANQUETTE = 4 PATIO 2: CHAIRS = 24 BANQUETTE = 12 TOTAL = 136		NOT IN SCOPE
PN-2. EXISTING STRUCTURAL COLUMNS TO REMAIN	PN-15. DECORATIVE METAL ROD SCREEN WALL ELEMENT			NEW MILLWORK (06.41)
PN-3. NEW STOREFRONT WINDOW SYSTEM AND DOORS PER SCHEDULES	PN-16. DECORATIVE SHELVING UNIT, TBD			EXISTING WALL / CONSTRUCTION TO REMAIN
PN-4. NEW MAIN ENTRY CUSTOM PIVOT DOOR	PN-17. EXISTING BOH EQUIPMENT TO REMAIN			NEW PARTITION: (09.21 O/ 09.22) U.O.N
PN-5. NEW CONCRETE PLATFORM W/ 6" DECORATIVE ROCK TRANSITION AT EXITING CONCRETE WALKWAY	PN-18. EXISTING RESTROOMS TO BE UPDATED W/ NEW FIXTURES AND FINISHES			ALIGN FINISH FACES OF CONSTRUCTION
PN-6. NEW DECORATIVE PLANTERS	PN-19. NEW SEATING, TABLES & MILLWORK, TBD			(N) DOOR TAG; REFER TO DOOR & HARDWARE SCHEDULES, G003
PN-7. NEW ELEVATED WATER FEATURE W/ DECORATIVE STONE PILLAR	PN-20. NEW INTERIOR WALL FRAMING			(E) DOOR TAG; REFER TO DOOR & HARDWARE SCHEDULES, G003
PN-8. EXISTING GAS & WATER LINE TO REMAIN	PN-21. NEW INTERIOR DOOR PER SCHEDULE			(N) STOREFRONT OR WINDOW STOREFRONTSCHEDULES, G003
PN-9. NEW LANDSCAPE PLANTING TO COVER EXISTING GAS AND WATER LINE	PN-22. NEW BAR DIE WALL & WOOD COUNTERTOP			FIRE EXTINGUISHER (10.41)
PN-10. EXISTING LIGHT POLE TO REMAIN	PN-23. NEW BAR EQUIPMENT			EXIT SIGN
PN-11. EXISTING ACCESSIBLE CURB RAMP TO REMAIN	PN-24. NEW LOW WALL & PLANTER			PLAN NOTES: REFER TO "PLAN NOTES" LIST ON THIS SHEET
PN-12. ADJACENT TENANT PATIO RAILING, V.I.F	PN-25. EXISTING UTILITY ACCESS COVERS TO BE VERIFIED AND PROTECTED PRIOR TO CONSTRUCTION			
PN-13. NEW STRUCTURAL SUPPORT COLUMNS @ EXISTING PATIO CANOPY EDGE, SEE STRUCTURAL				



NIC

THE MELT
NIC

(E)JANITOR (E)EVTR

(E) TRASH

WILLIAMS-SONOMA , NIC

PATIO 2
542 SF (COVERED)
93 SF (UNCOVERED)
635 SF TOTAL
ALCOHOL SERVICE

BAR & SERVICE
448 SF

HOST

DINING
1376 SF
ALCOHOL SERVICE

SUSHI ROKU
3629 SF TENANT SPACE

PATIO 1
464 SF (COVERED)
73 SF (UNCOVERED)
537 SF TOTAL
ALCOHOL SERVICE

KITCHEN
1486 SF

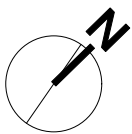
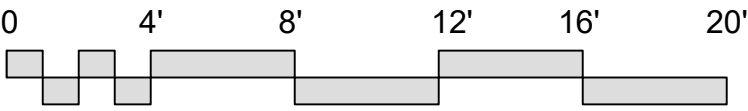
RESTROOMS
319 SF

MEN'S

WOMEN'S

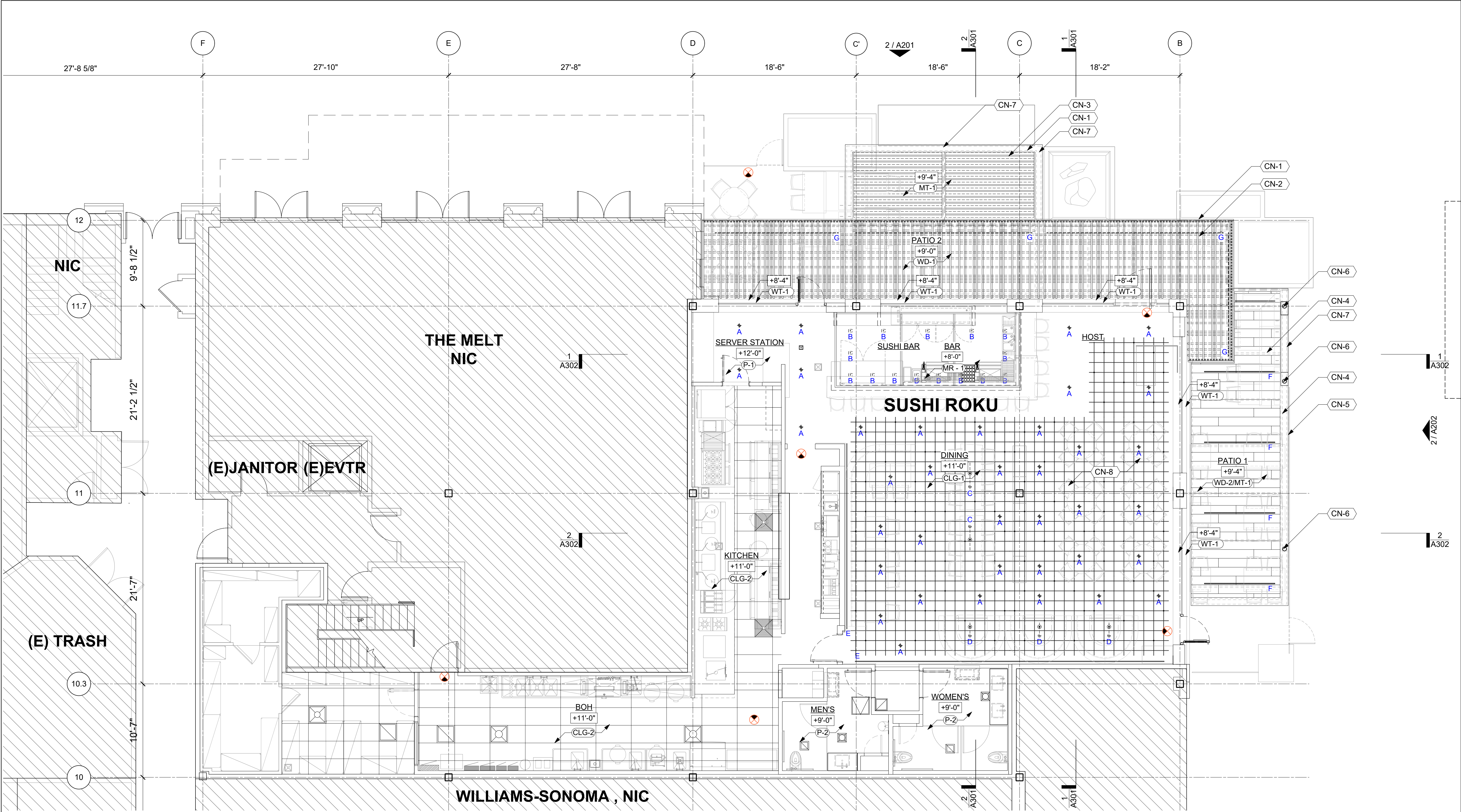
AREA DIAGRAM LEGEND

- NOT IN SCOPE
- PATIO AREA (COVERED)
- PATIO AREA (UNCOVERED)
- FRONT OF HOUSE
- BACK OF HOUSE



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LIGHTING LEGEND							
SYMBOL	ID	MFG	MODEL	LAMP	QTY.	VENDOR	REMARKS
	A	BK Lighting	DENALI SM-3-DE-LED-TR-x101-FL-BLP-12-C-010	12W LED	-	LIGHT	SURFACE MOUNTED DOWNLIGHT
	B	DesignPlan	Genius - Naked BU1061BL4R40M.27.WD.US	8.5W LED	-	PLP	RECESS DOWNLIGHT
	C	ARTEMIDE	nh S1 14 Suspension	5W LED	-	PLP	DECORATIVE PENDANT - 19" Rod
	D	ARTEMIDE	nh S2 14 Suspension	5W LED	-	PLP	DECORATIVE PENDANT - 34" Rod
	E	CORE	PROFILE: ALP 2700TL LED TAPE: LRB-1348-27K-24V	8.8W/FT	-	-	LED STRIP WALL WASHER
	F	CORE	PROFILE: ALP 80 LED TAPE: LSMW60-27K-8'-24	6W/FT	-	PLP	EXTERIOR CANOPY STRIP DOWNLIGHT
	G	CORE	PROFILE: ALP 20 LED TAPE: LSMW60-27K-length-24	6W/FT	-	PLP	EXTERIOR CANOPY BACKLIGHTING

SYMBOL	ID	MFG	MODEL	LAMP	QTY.	VENDOR	REMARKS
	H						
	J						
	K						
	L						
	M						
	X	DUAL-LITE	LES SERIES	2.5-4W LED	-	PLP	EMERGENCY EGRESS EXIT SIGN
	Y	DUAL-LITE	CLML SERIES	10W LED	-	PLP	EMERGENCY EGRESS LIGHTING

- REFLECTED CEILING PLAN NOTES**
- CN-1. EXISTING TUBE STEEL CANOPY STRUCTURE, STRUCTURAL TO VERIFY ADDED WOOD SCREEN ATTACHMENT & WEIGHT
 - CN-2. NEW 2X2 WOOD SCREEN SUPPORTED BY TUBE STEEL FRAME WORK ATTACHED TO EXISTING STEEL CANOPY
 - CN-3. NEW CANOPY LOUVERS
 - CN-4. EXISTING TUBE STEEL CANOPY STRUCTURE, TENANT G.C. TO REMOVE EXISTING DIAGONAL BRACING, INSTALL NEW COLUMN SUPPORTS ALONG FRONT EDGE OF CANOPY STRUCTURE
 - CN-5. TENANT G.C. TO CLOSE OPEN CANOPY STRUCTURE WITH NEW METAL PANEL FINISH
 - CN-6. NEW CANOPY SUPPORT COLUMN
 - CN-7. POSSIBLE ROLLER SHADE INSTALLED IN EXISTING CANOPY
 - CN-8. SUSPENDED ACOUSTICAL CEILING PANELS

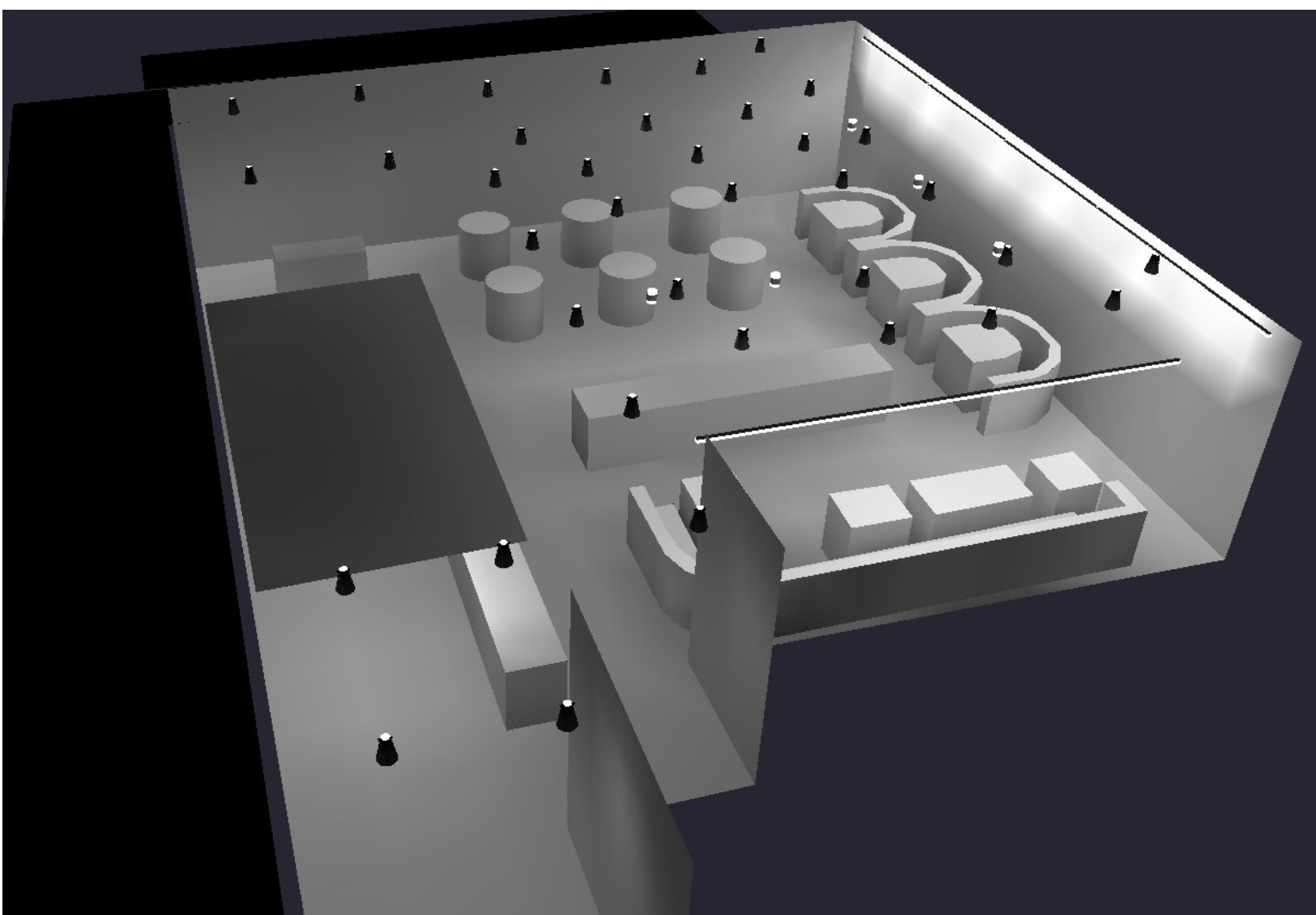
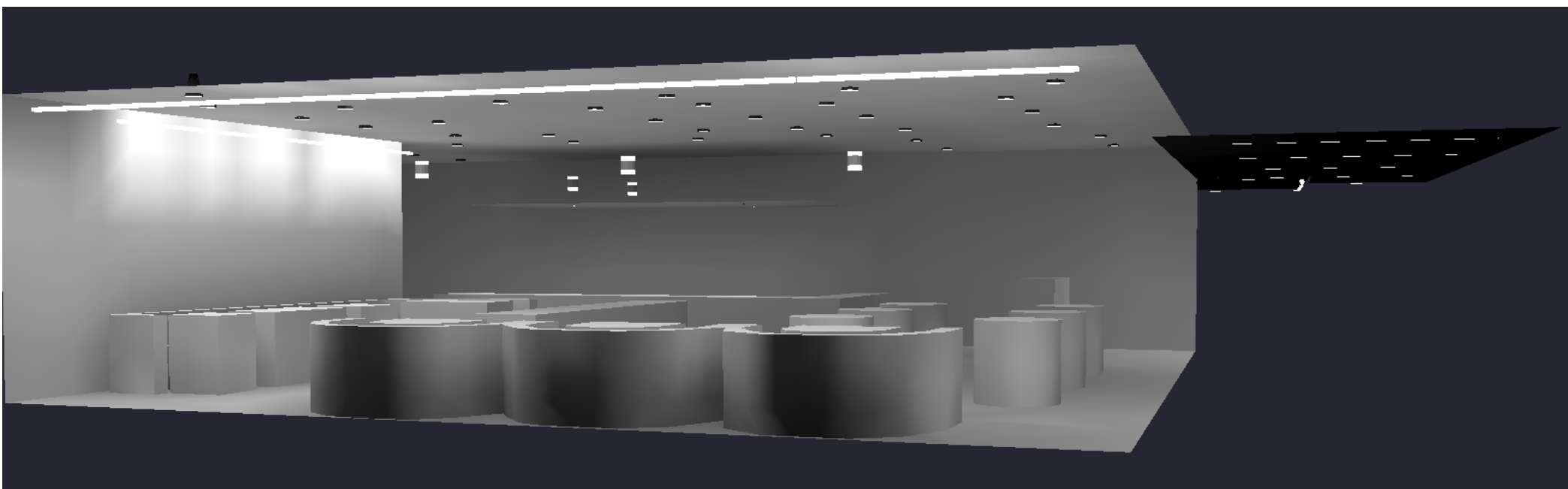
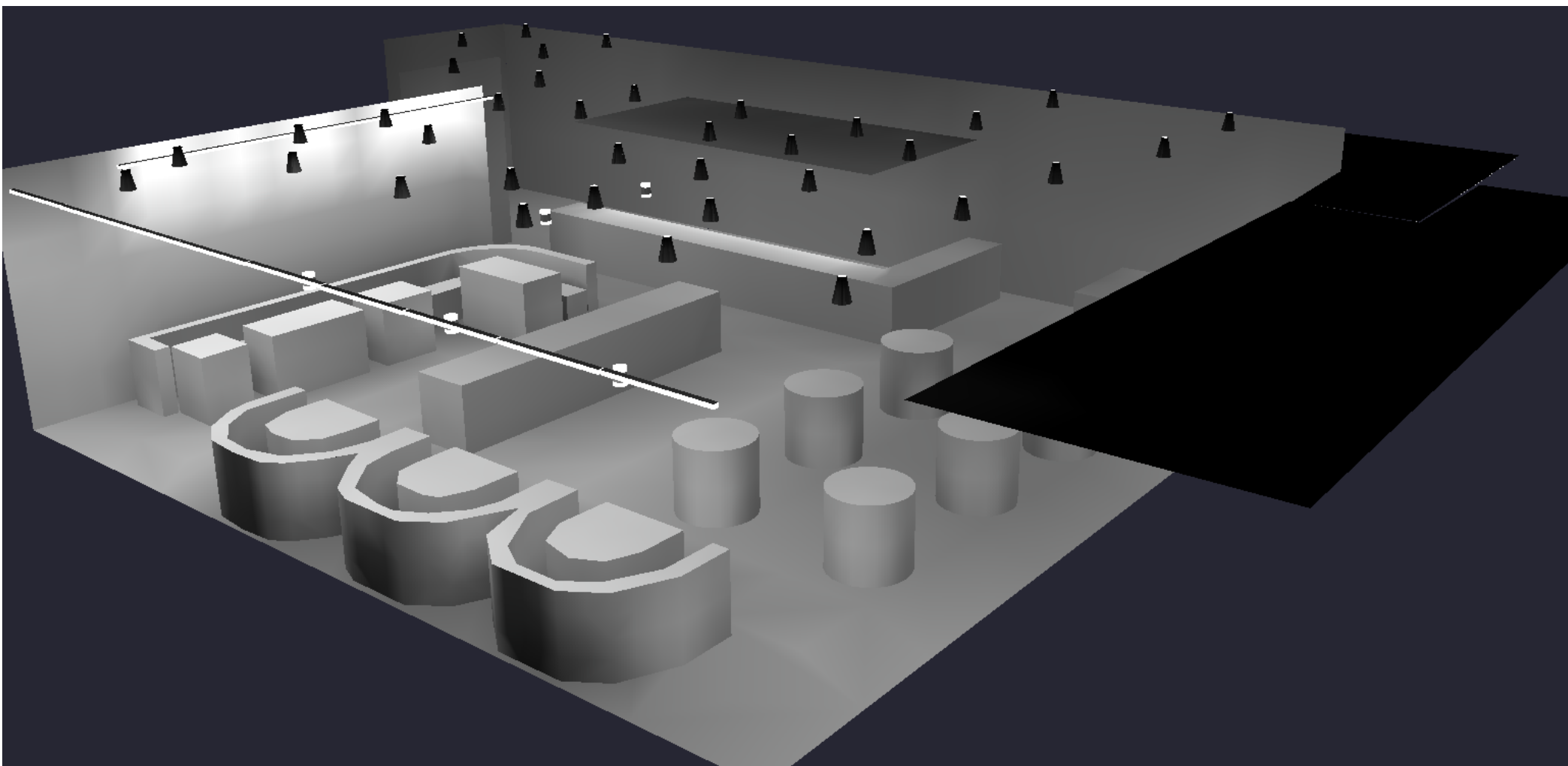
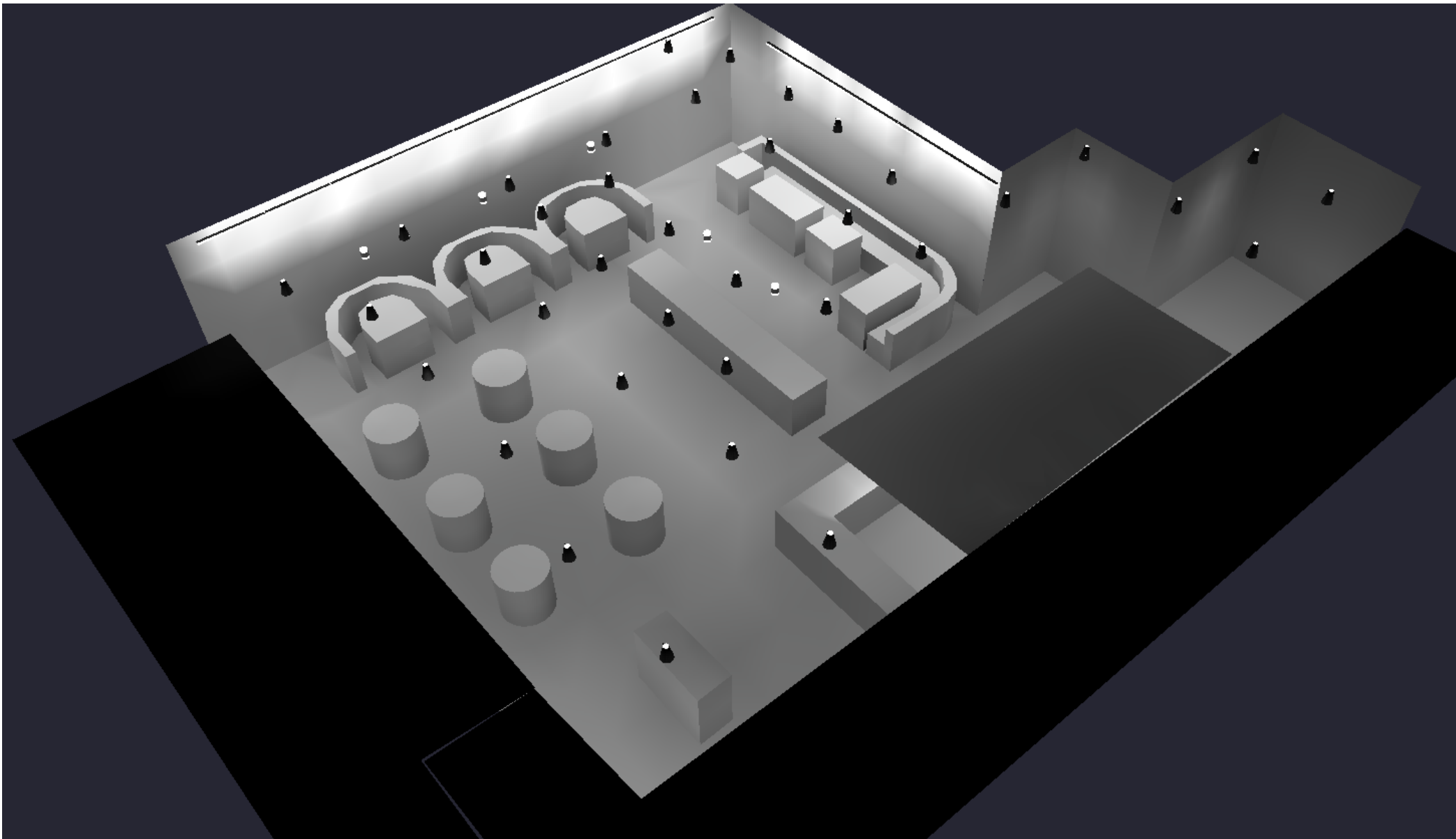
REFLECTED CEILING PLAN LEGEND	
	AREA OF NEW CEILING
	LIGHT FIXTURE (SEE SCHEDULE) FIXTURE TYPE, TYP. (SEE SCHEDULE)
	EXIT SIGN
	ACCESS PANEL
	CEILING MOUNTED DEVICES
	REFLECTED CEILING NOTES; REFER TO "REFLECTED CEILING PLAN NOTES" LIST ON THIS SHEET
	MATERIALS KEYNOTE; REFER TO SHEET G002 - FINISH MATERIAL SCHEDULE

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A121
PROPOSED RCP

SCALE: 3/16" = 1'-0"
DATE: 11.04.2022



CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
MAIN DINING GRID CLG	FC	41.27	79.2	0.0	N.A.	N.A.
NON GRID (TOP SUSHI BAR AREA)	FC	22.05	52.1	3.4	6.49	15.32
PATIO RIGHT	FC	25.31	47.1	13.0	1.95	3.62
PATIO TOP	FC	21.77	50.9	5.0	4.35	10.18

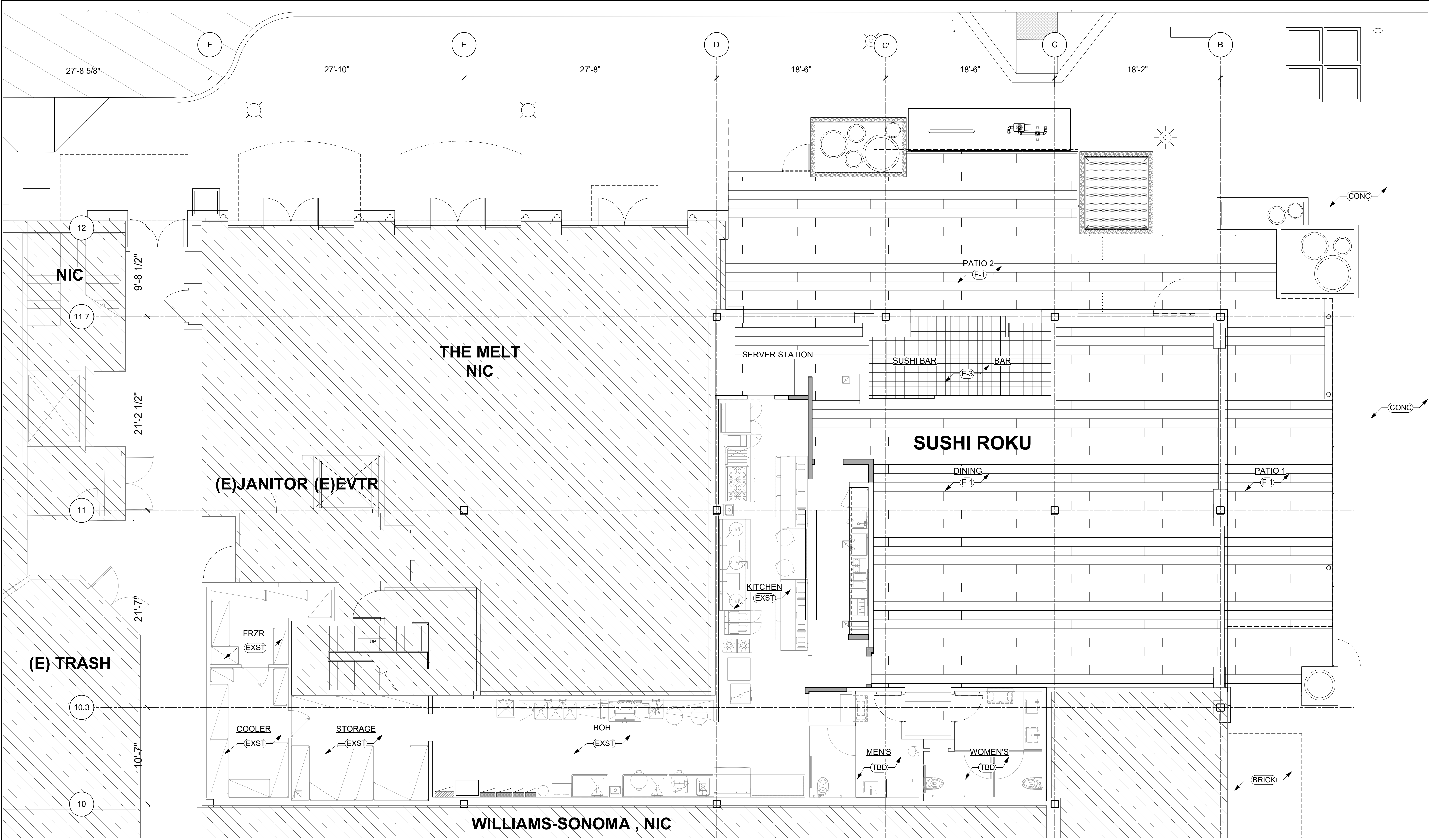
READINGS TAKEN AT 3'0" AFF (APPROXIMATE TABLE HEIGHT)

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A122

PHOTOMETRIC PLAN



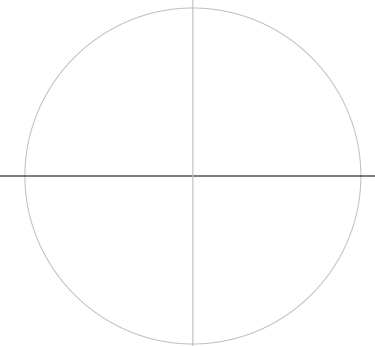
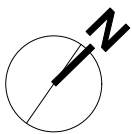
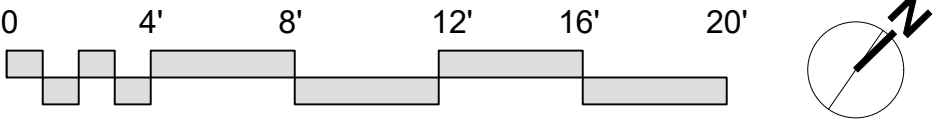
FLOOR FINISH SCHEDULE

EXTERIOR								
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	FLAME	REMARKS
F-1	PATIO FLOOR TILE	FLAVIKER	COZY	HAVANA	10" X 78	SPEC CERAMICS	-	PATIO PAVER STONES
CONC	CONCRETE	-	-	EXISTING			-	ANY REPAIR TO MATCH EXISTING CONCRETE FINISH
INTERIOR								
F-1	FLOOR TILE	FLAVIKER	COZY	HAVANA	10" X 78"	SPEC CERAMICS	NON-COMBUSTIBLE	NO GROUT JOINTS, GR-1 AS NEEDED
F-3	QUARRY TILE	SUMMITVILLE	QUARRY TILE	OXFORD GRAY - 44	6" X 6"	SPEC CERAMICS	NON-COMBUSTIBLE	1/8" GROUT JOINT MAX, GR-2

FINISH FLOOR PLAN LEGEND

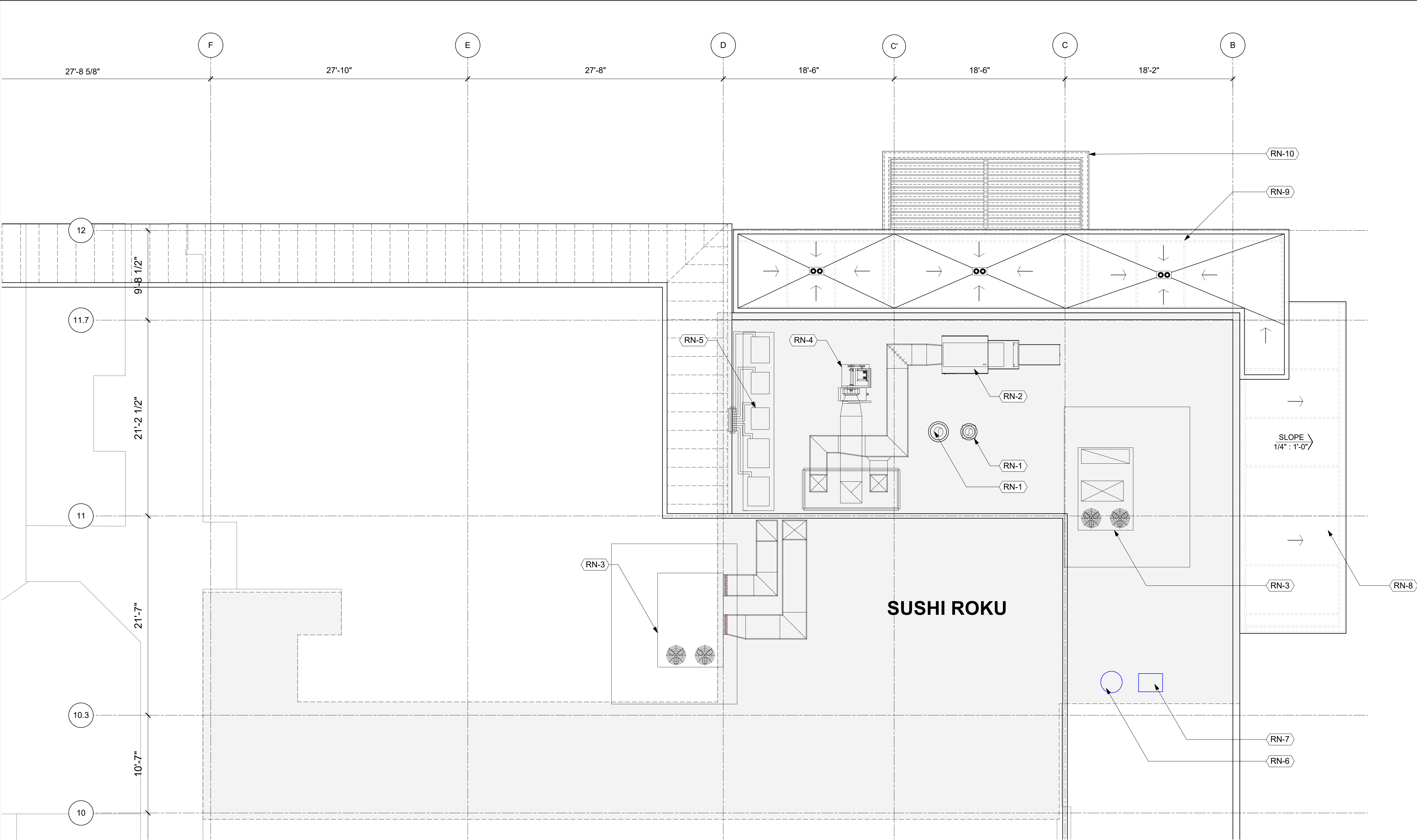
- NOT IN SCOPE
- xx.xx

→ MATERIAL KEYNOTE: REFER TO MATERIAL SCHEDULE ON THIS SHEET

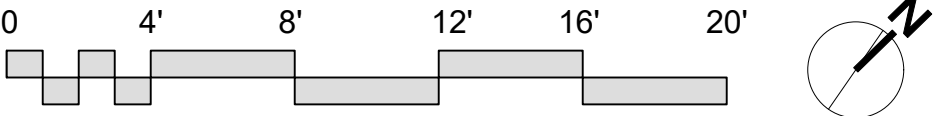


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ROOF NOTES	ROOF PLAN LEGEND
<div><div>RN-1.</div><div>EXISTNG EXHAUST FAN</div></div> <div><div>RN-2.</div><div>EXISTING MAKEUP AIR UNIT</div></div> <div><div>RN-3.</div><div>EXISTING AIR CONDITIONING UNIT</div></div> <div><div>RN-4.</div><div>EXISTING KITCHEN EXHAUST FAN</div></div> <div><div>RN-5.</div><div>EXISTING REMOTE REFRIGERATION CONDENSERS</div></div> <div><div>RN-6.</div><div>EXISTING STORAGE TANK</div></div> <div><div>RN-7.</div><div>EXISTING GAS WATER HEATER</div></div> <div><div>RN-8.</div><div>EXISTING CANOPY STRUCTURE REUSED W/ NEW METAL FINISH</div></div> <div><div>RN-9.</div><div>NEW ROOF O/ WOOD SCREEN STRUCTURE SUPPORTED BY (E) STEEL CANOPY STRUCTURE TO REMAIN</div></div> <div><div>RN-10.</div><div>NEW LOUVERS INSTALLED IN EXISTING CANOPY STRUCTURE; SEE A121</div></div>	<div><div>ROOF AREA ABOVE TENANT SPACE #700B</div></div> <div><div>WN-X</div><div>PLAN NOTES; REFER TO "ROOF NOTES" LIST ON THIS SHEET</div></div> <div><div>XX.XX</div><div>MATERIAL KEYNOTE; REFER TO G002 FINISH MATERIAL SCHEDULE</div></div>



FIN WJ

FIN MUATNO ARCHITECTS LLP

10000 Washington Boulevard
Suite 600
Culver City, CA 90232

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INNOVATIVE DINING GROUP

SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal
	11.04.2022	ARB Submittal #2
REVISION	DATE	DESCRIPTION

A141

PARTIAL ROOF PLAN

SCALE:

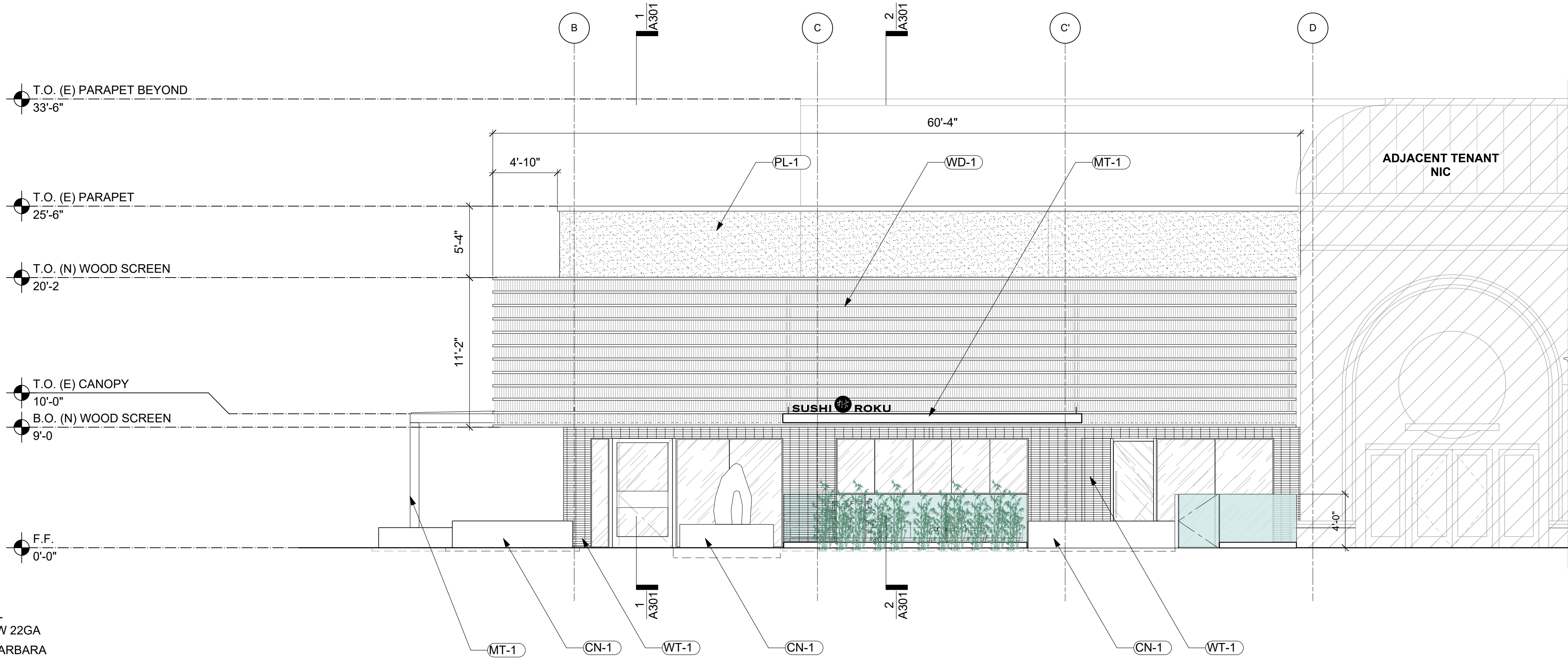
3/16" = 1'-0"

DATE:

11.04.2022

MATERIALS LEGEND

- CN-1. BOARD-FORMED CONCRETE
MT-1. SPECIALTY SHEET METAL PANELS; MANUFACTURER - WESTERN STATES METAL; COLOR - CORTEN AZP RAW 22GA
PL-1. SMOOTH TROWELLED STUCCO; LA HABRA - SANTA BARBARA SMOOTH; X-820 SILVERADO
WD-1. NATURAL ACCOYA WOOD SLATS; 2X2
WT-1. PORCELAIN DECORATIVE TILE; MANUFACTURER - INAX HOMURA; COLOR - LIGHT BEIGE; SIZE - 1.75"X 9.25"



PROPOSED NORTH EXTERIOR ELEVATION

2

DEMOLITION LEGEND



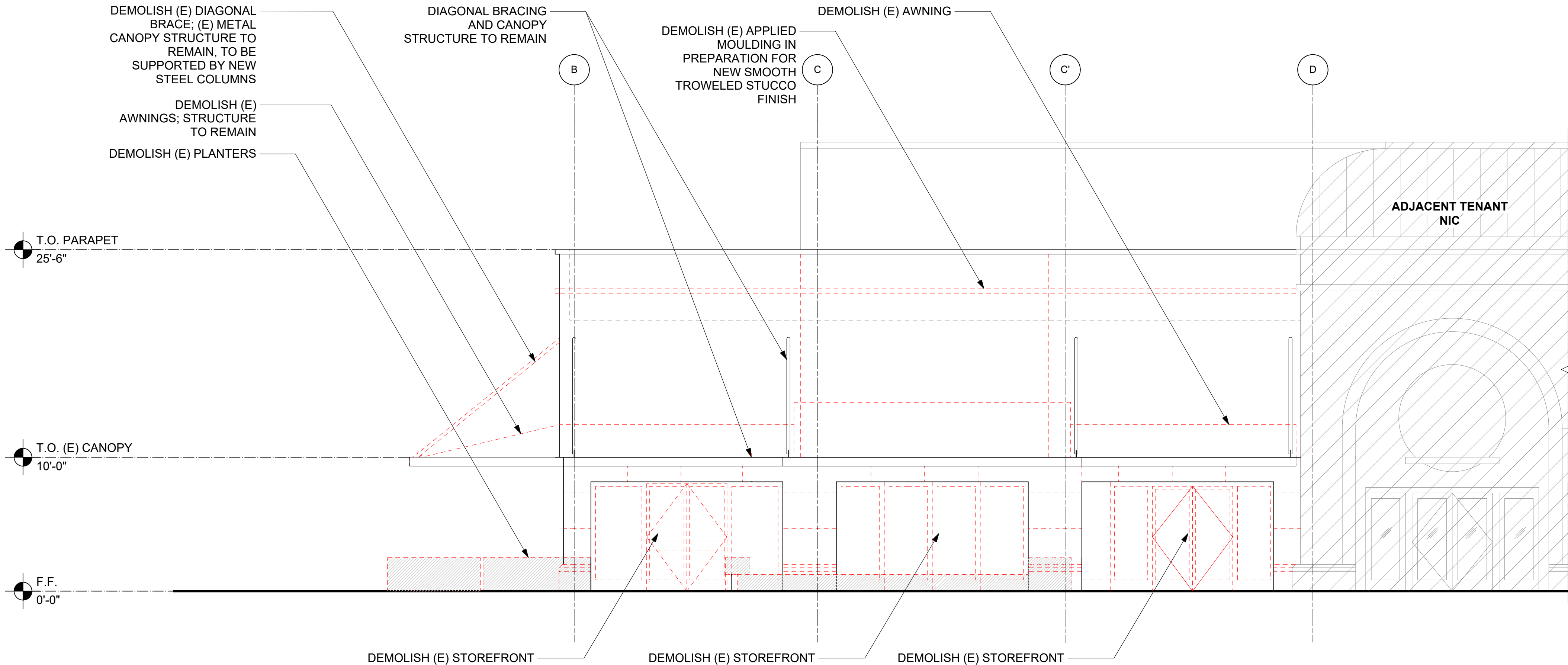
NOT IN SCOPE



(E) CONSTRUCTION TO REMAIN

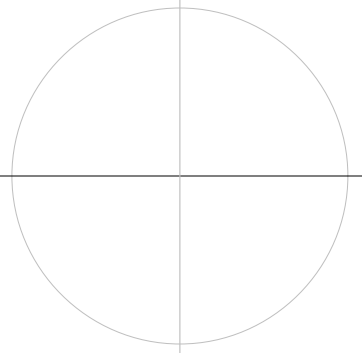


(E) CONSTRUCTION TO BE REMOVED



EXISTING NORTHWEST EXTERIOR ELEVATION

1



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	11.04.2022	ARB Submittal #2

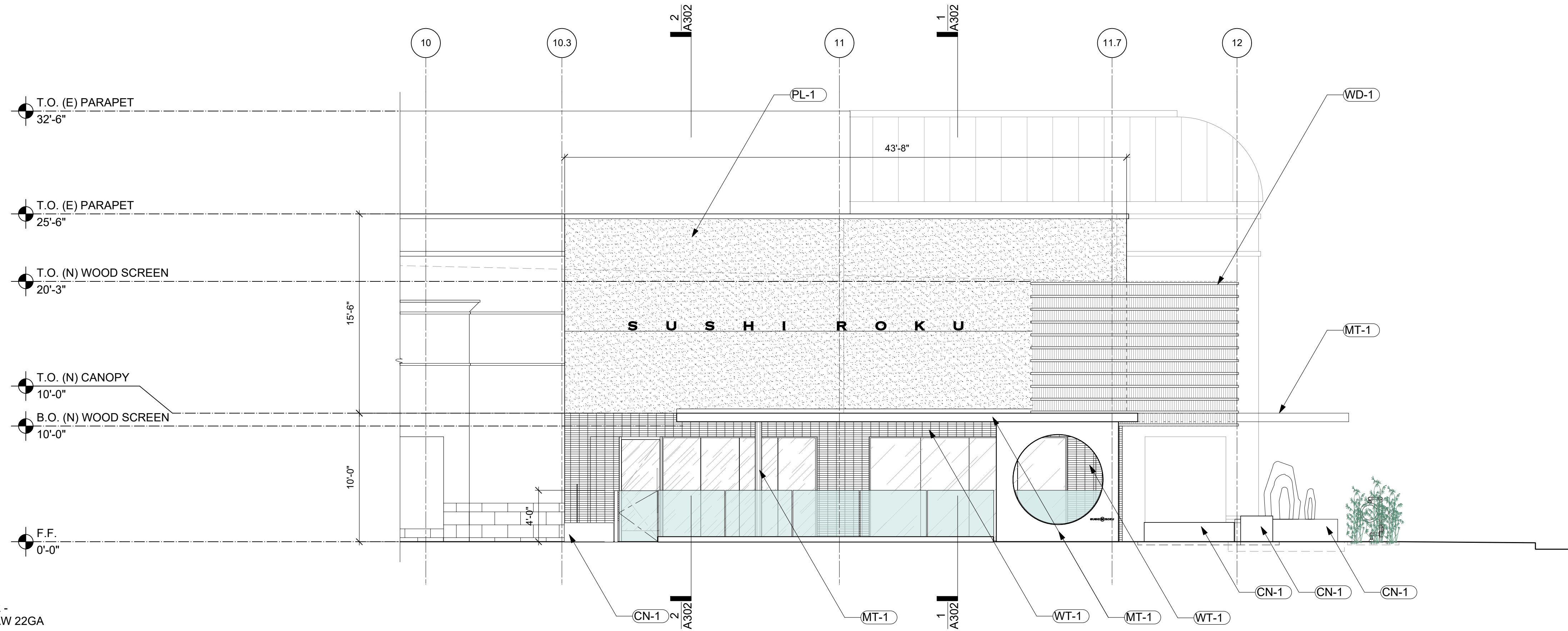
REVISION	DATE	DESCRIPTION
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A201
EXISTING AND PROPOSED
EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"
DATE: 11.04.2022

MATERIALS LEGEND

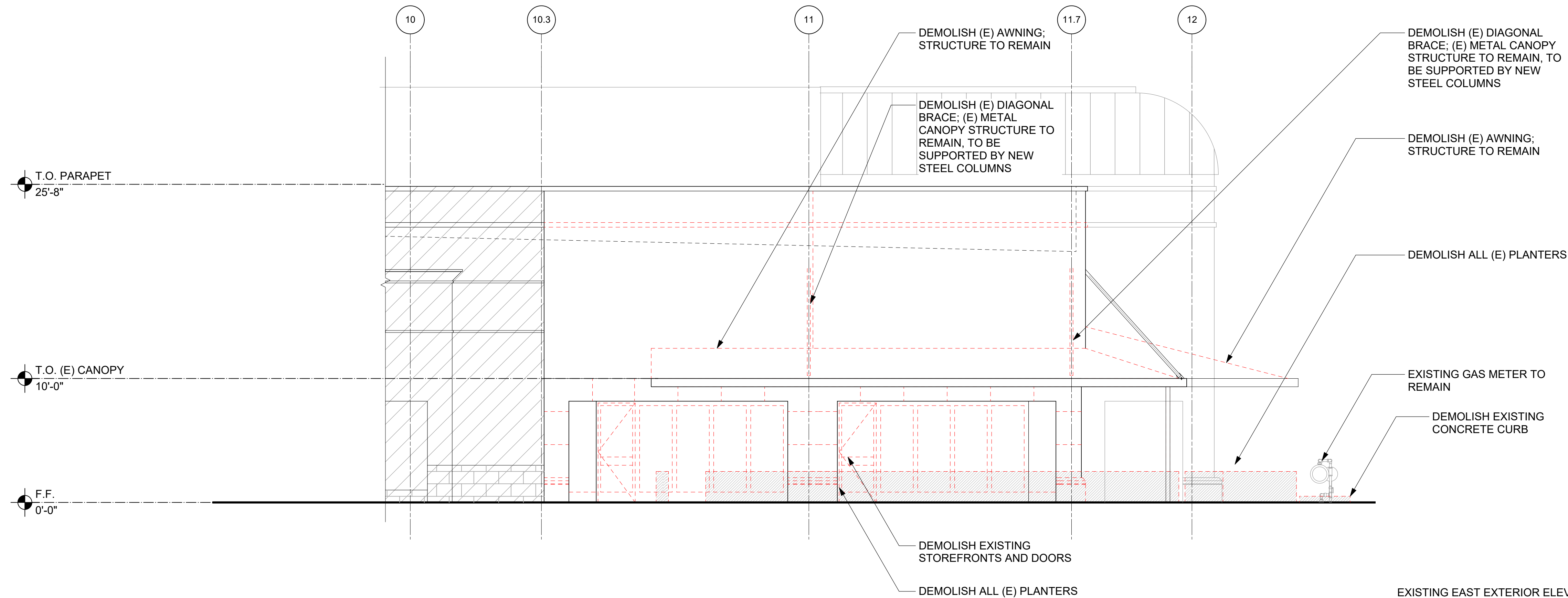
- CN-1. BOARD-FORMED CONCRETE
MT-1. SPECIALTY SHEET METAL PANELS; MANUFACTURER - WESTERN STATES METAL; COLOR - CORTEN AZP RAW 22GA
PL-1. SMOOTH TROWELLED STUCCO; LA HABRA - SANTA BARBARA SMOOTH; X-820 SILVERADO
WD-1. NATURAL ACCOYA WOOD SLATS; 2X2
WT-1. PORCELAIN DECORATIVE TILE; MANUFACTURER - INAX HOMURA; COLOR - LIGHT BEIGE; SIZE - 1.75"X 9.25"



PROPOSED EAST EXTERIOR ELEVATION 2

DEMOLITION LEGEND

- NOT IN SCOPE
(E) CONSTRUCTION TO REMAIN
(E) CONSTRUCTION TO BE REMOVED



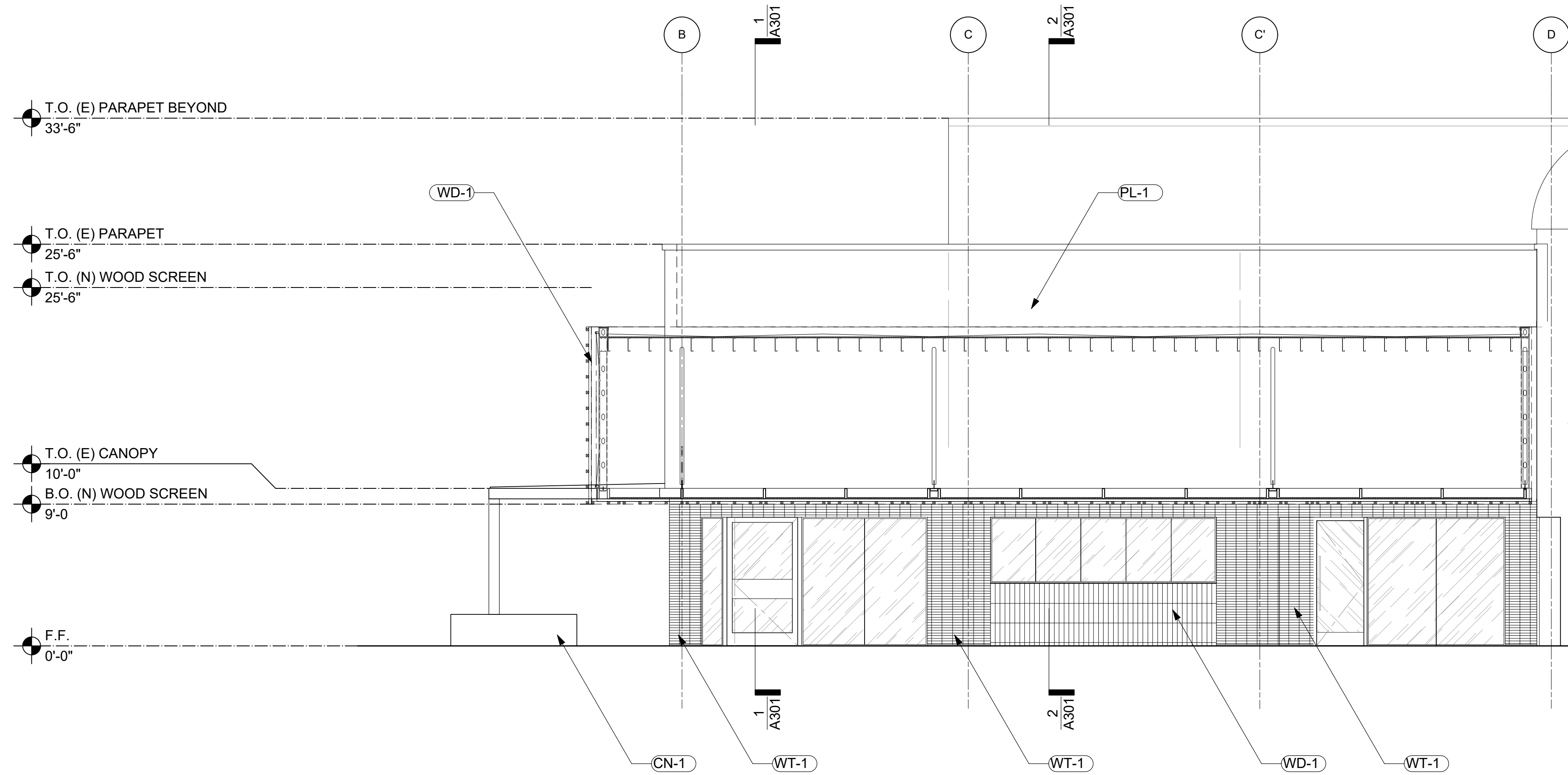
EXISTING EAST EXTERIOR ELEVATION 1

ISSUE	DATE	DESCRIPTION
	05.27.2022 LL	Review & Prelim ARB
	07.19.2022 ARB	Submittal
	11.04.2022 ARB	Submittal #2

REVISION	DATE	DESCRIPTION
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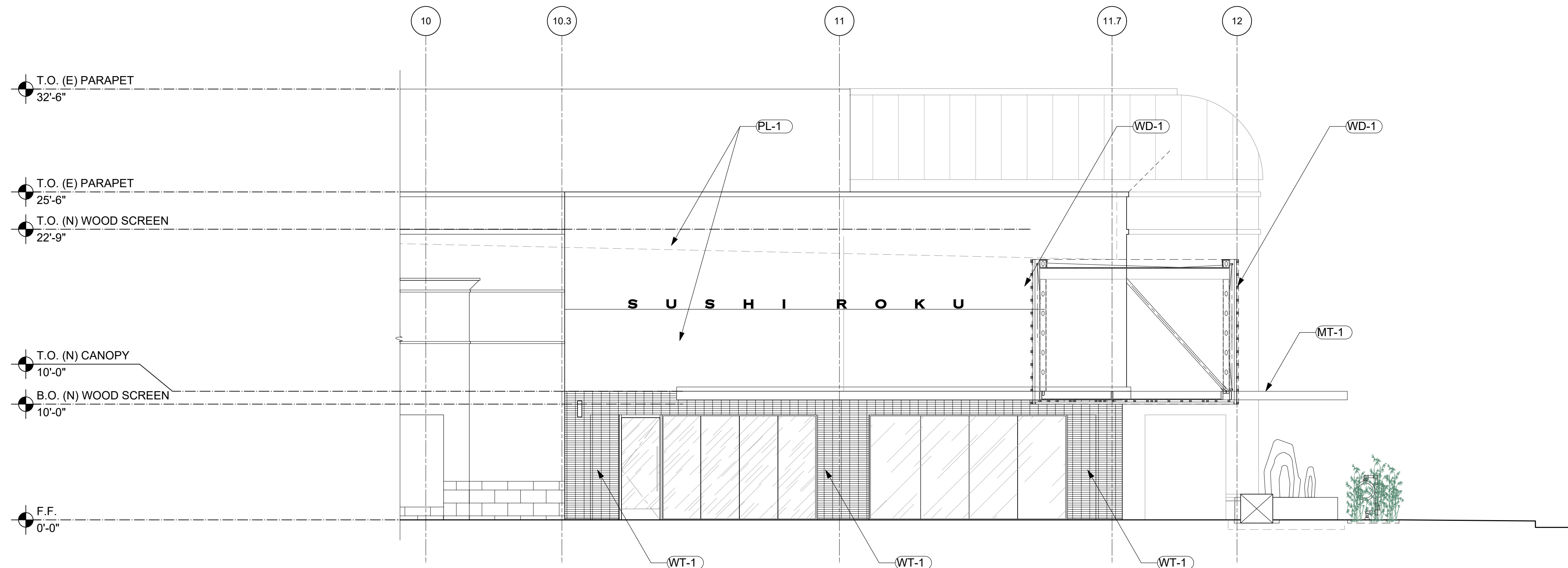
A202
EXISTING AND PROPOSED
EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"
DATE: 11.04.2022



PROPOSED NORTH EXTERIOR ELEVATION - PATIO 2

2



PROPOSED EAST EXTERIOR ELEVATION - PATIO 1

1

MATERIALS LEGEND

- CN-1. BOARD-FORMED CONCRETE
- MT-1. SPECIALTY SHEET METAL PANELS; MANUFACTURER - WESTERN STATES METAL; COLOR - CORTEN AZP RAW 22GA
- PL-1. SMOOTH TROWELLED STUCCO; LA HABRA - SANTA BARBARA SMOOTH; X-820 SILVERADO
- WD-1. NATURAL ACCOYA WOOD SLATS; 2X2
- WT-1. PORCELAIN DECORATIVE TILE; MANUFACTURER - INAX HOMURA; COLOR - LIGHT BEIGE; SIZE - 1.75"X 9.25"

ISSUE	DATE	DESCRIPTION
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05.27.2022	LL Review & Prelim	ARB
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07.19.2022	ARB Submittal	
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11.04.2022	ARB Submittal #2	
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REVISION	DATE	DESCRIPTION
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A203

EXTERIOR PATIO ELEVATIONS

SCALE: 3/16" = 1'-0"
DATE: 11.04.2022



4



PL-1
FACAD PLASTER



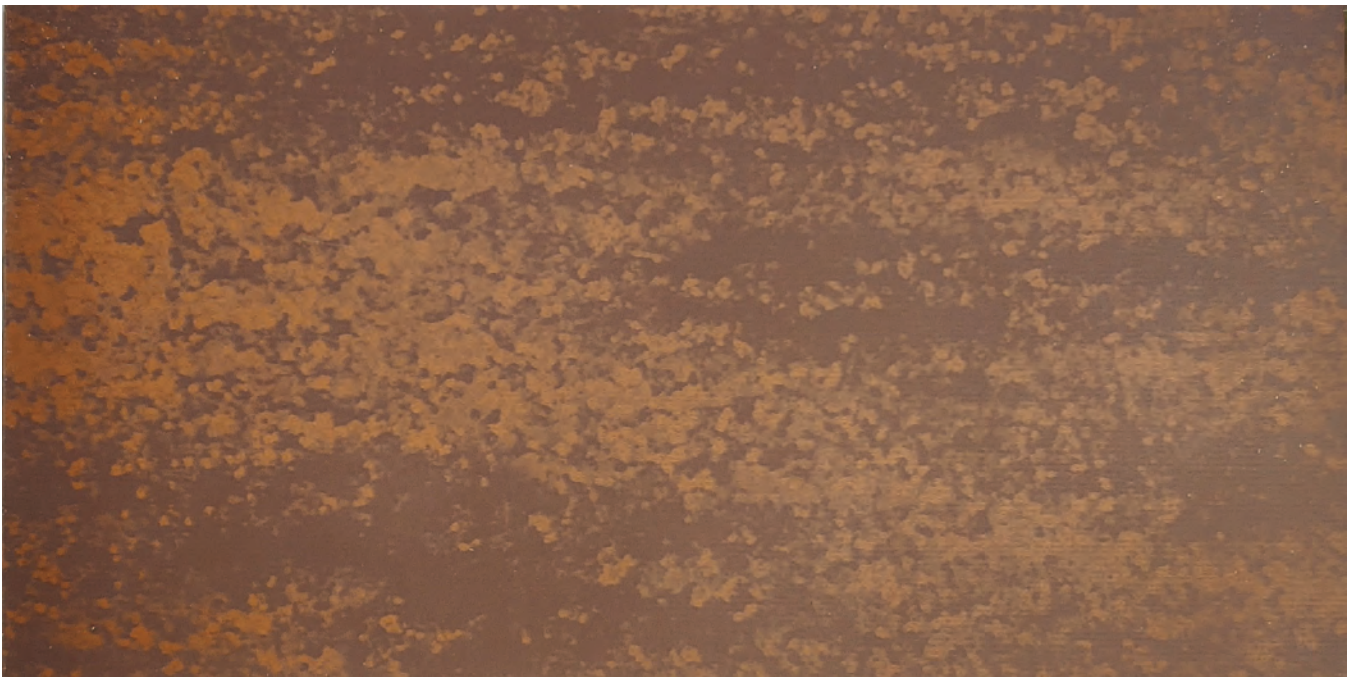
WD-1
WOOD SCREEN



1



WD-2
CANOPY CEILING WOOD



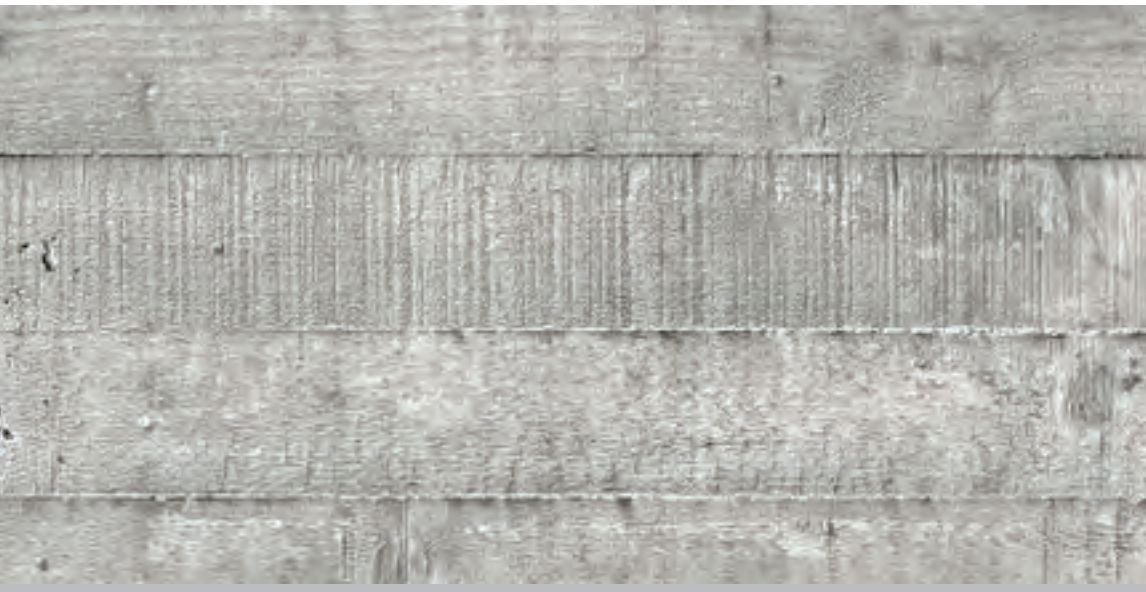
MT-1
METAL FINISH

MATERIAL SCHEDULE

WALL TILE							
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	REMARKS
WT-1	WALL TILE	INAX	HOMURA	LIGHT BEIGE	1.75" x 9.25"	SPEC CERAMICS	FACAD WALL TILE
WT-2	WALL TILE	COTTO D'ESTE	CEMENT PROJECT - WORK	COLOR 10	39" x 118"	SPEC CERAMICS	EXTERIOR & INTERIOR WALL TILE
PLASTER							
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	REMARKS
PL-1	PLASTER	LAHABRA	SANTA BARBRA - SMOOTH	X-820 SILVERADO	-	LAHABRA	EXTERIOR PLASTER FINISH
METAL							
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	REMARKS
MT-1	METAL	WESTERN STATES	SPECIALTY SHEET METAL PANELS	CORTEN AZP. RAW 22 GA.	48"	WESTERN STATES METAL	EXTERIOR METAL FINISH
WOOD							
SYMBOL	MATERIAL	MANUFACTURER	MODEL	COLOR/FINISH	SIZE	VENDOR	REMARKS
WD-1	WOOD	-	NATURAL ACCOYA WOOD SLATS	NATURAL SEALER	2 x 2	-	EXTERIOR CANOPY WOOD SCREEN
WD-2	WOOD	-	NATURAL ACCOYA WOOD PLANK	NATURAL SEALER	6" WIDTH	-	CANOPY WOOD PLANK



GLASS RAILING SHOE
METAL FINISH - MATTE BRONZE



CN-1 CONCRETE BOARDFORM
PEDESTAL FINISH



WT-1
WALL TILE

SUSHI  ROKU



VIEW OF PATIO 2 FROM SIDEWALK 3



VIEW OF MAIN ENTRY 1



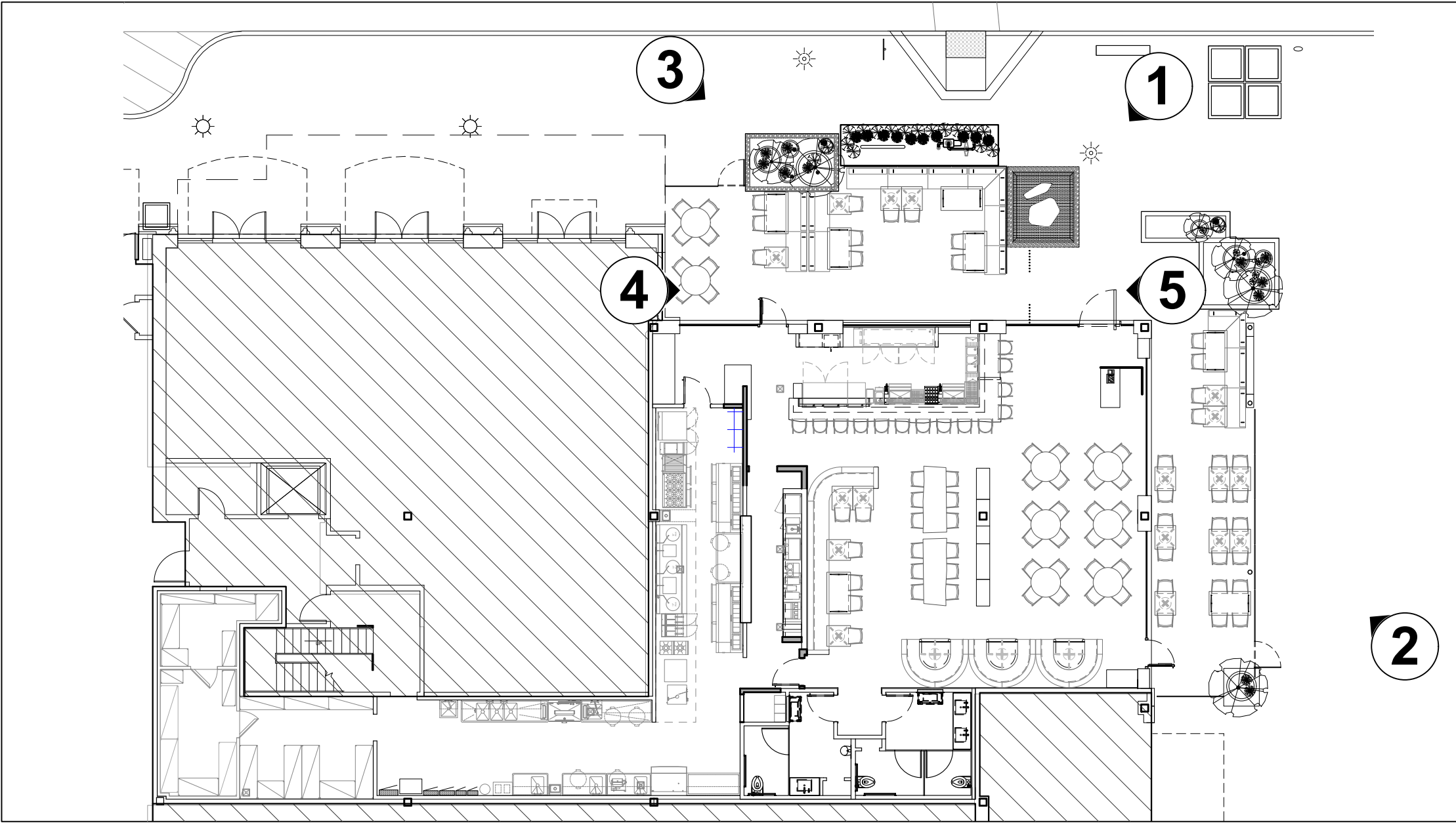
VIEW OF INTERIOR OF PATIO 2 4



VIEW OF PATIO 1 FROM PROMENADE 2



VIEW OF PATIO 2 FROM MAIN ENTRY 5



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A211 EXTERIOR RENDERINGS

SCALE: NTS
DATE: 11.04.2022



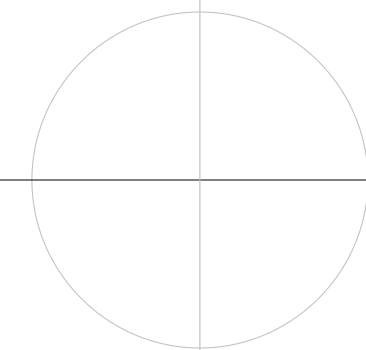
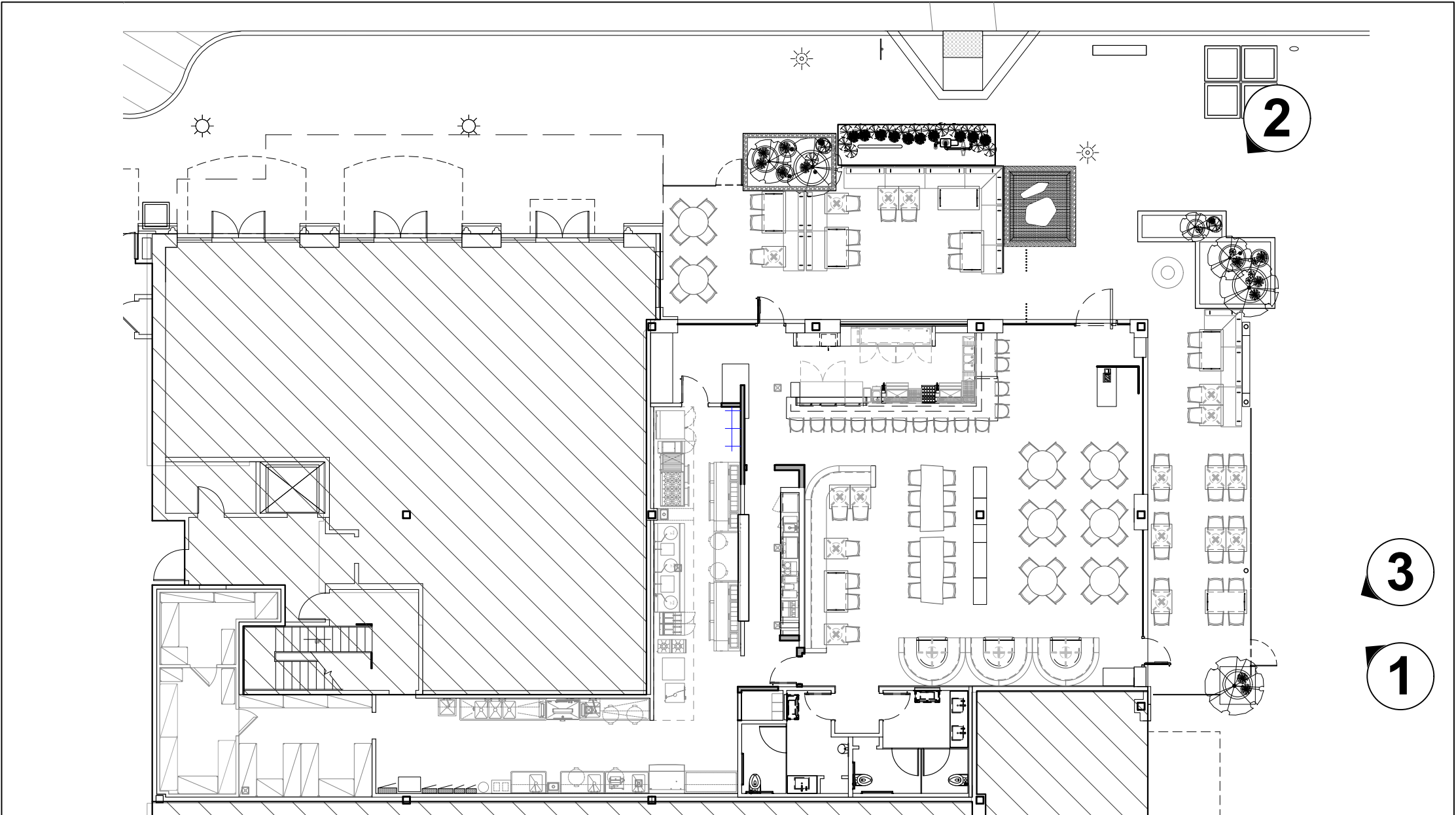
CLOSE UP VIEW OF PATIO 1 3



NIGHT VIEW OF ENTRY 2



NIGHT VIEW OF PATIO 1 1



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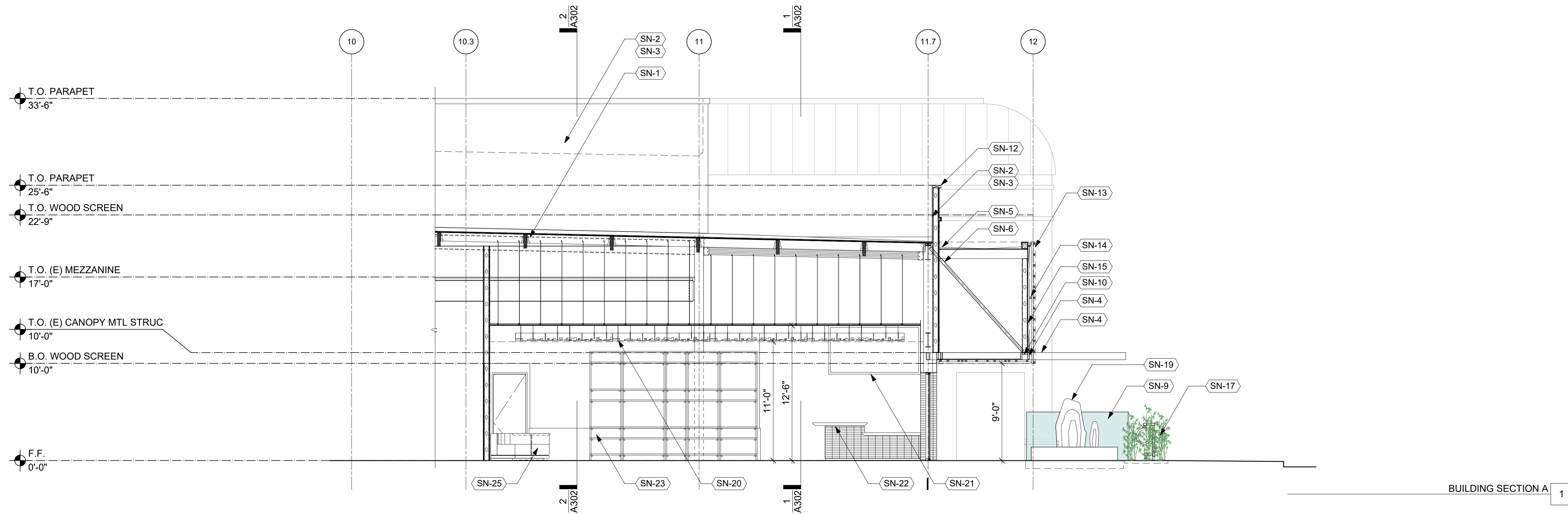
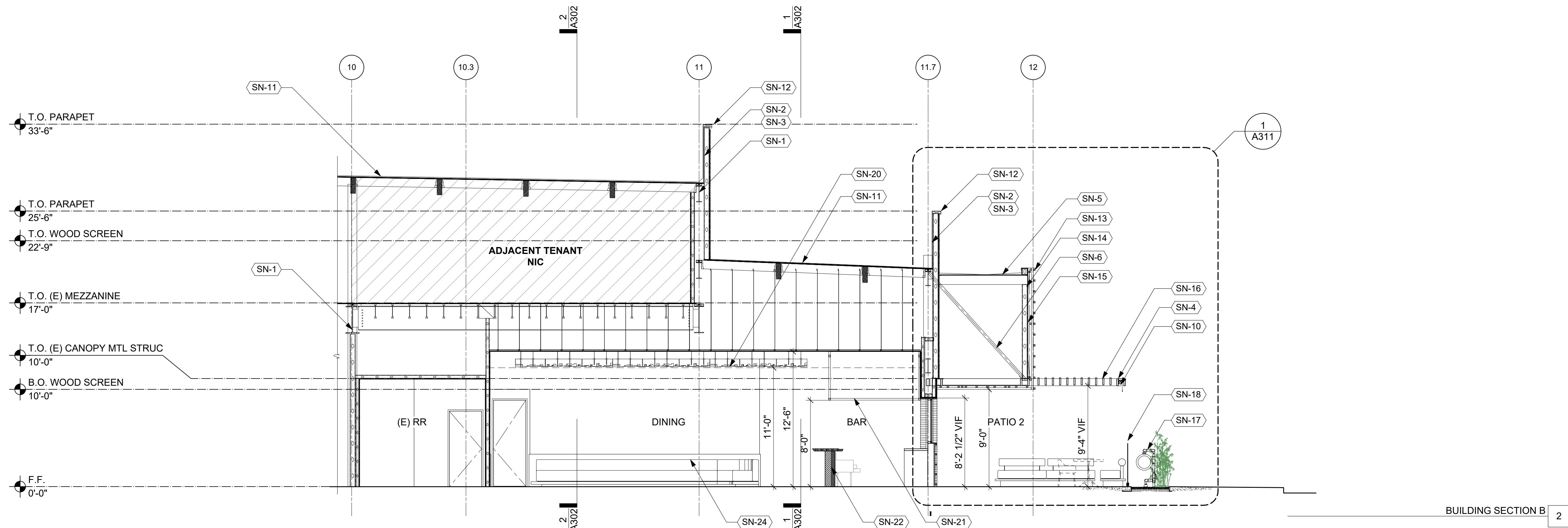
22-004

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
	07.19.2022	ARB Submittal
	11.04.2022	ARB Submittal #2

REVISION	DATE	DESCRIPTION
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A212
EXTERIOR RENDERINGS

SCALE:
DATE: 11.04.2022



SECTION NOTES

- SN-1. EXISTING STRUCTURAL BEAM TO REMAIN

SN-2. EXISTING METAL WALL FRAMING TO REMAIN

SN-3. EXISTING PLASTER FINISH TO REMAIN, G.C. TO PATCH AND REPAIR DAMAGED AREAS TO LIKE NEW CONDITION

SN-4. EXISTING 2X8 TUBE STEEL CANOPY STRUCTURE TO REMAIN

SN-5. NEW SINGLE PLY ROOFING MEMBRANE O/ SHEATHING O/ METAL JOISTS

SN-6. EXISTING TUBE STEEL DIAGONAL BRACING TO REMAIN

SN-7. EXISTING TUBE STEEL CANOPY STRUCTURE, TENANT G.C. TO REMOVE EXISTING DIAGONAL BRACING, INSTALL NEW COLUMN SUPPORTS ALONG FRONT EDGE OF CANOPY STRUCTURE

SN-8. TENANT G.C. TO INFIL EXISTING CANOPY STRUCTURE WITH NEW METAL FRAMING; SLOPE ROOF TO EXTERIOR @ 1/4" : 1'-0"
- SN-9. NEW CANOPY SUPPORT COLUMN

SN-10. NEW ROLLER SHADE INSTALLED IN EXISTING CANOPY CAVITY

SN-11. EXISTING ROOFING MATERIAL TO REMAIN, TENANT G.C. TO PATCH AND REPAIR ANY DAMAGED AREAS TO LIKE NEW CONDITION

SN-12. EXISTING ROOF PARAPET TO REMAIN

SN-13. NEW 2x2 WOOD SLAT SCREEN WALL

SN-14. NEW 2x2 HORIZONTAL TUBE STEEL WITH ANGLE CIPS TO METAL FRAMED BOX-OUT FOR WOOD SLAT SCREEN SUPPORT STRUCTURE

SN-15. NEW METAL-FRAMED BOX-OUT; EXTERIOR SHEATHING O/ METAL STUDS SUPPORTED ON EXISTING STEEL CANOPY STRUCTURE

SN-16. NEW FIXED LOUVERS INSTALLED IN EXISTING CANOPY STRUCTURE
- SN-17. EXISTING GAS METER & WATER LINE TO REMAIN

SN-18. NEW GLASS RAILING, 48" A.F.F.

SN-19. NEW EXTERIOR WATER FEATURE W/ LARGE STONES

SN-20. NEW SUSPENDED ACOUSTICAL BAFFLE CEILING SYSTEM

SN-21. NEW BAR SOFFIT

SN-22. NEW BAR DIE WALL & WOOD COUNTER TOP

SN-23. NEW INTERIOR DECORATIVE SHELVING, TBD

SN-24. NEW INTERIOR BANQUETTE SEATING, TBD
- SN-25. NEW INTERIOR BOOTH SEATING, TBD

SN-26. NEW EXTERIOR WALL TILE FINISH PER PLANS

SN-27. NEW 6" METAL STUD WALL FURRING

SN-28. NEW 9" TALL BACKLIT STOREFRONT SIGNAGE

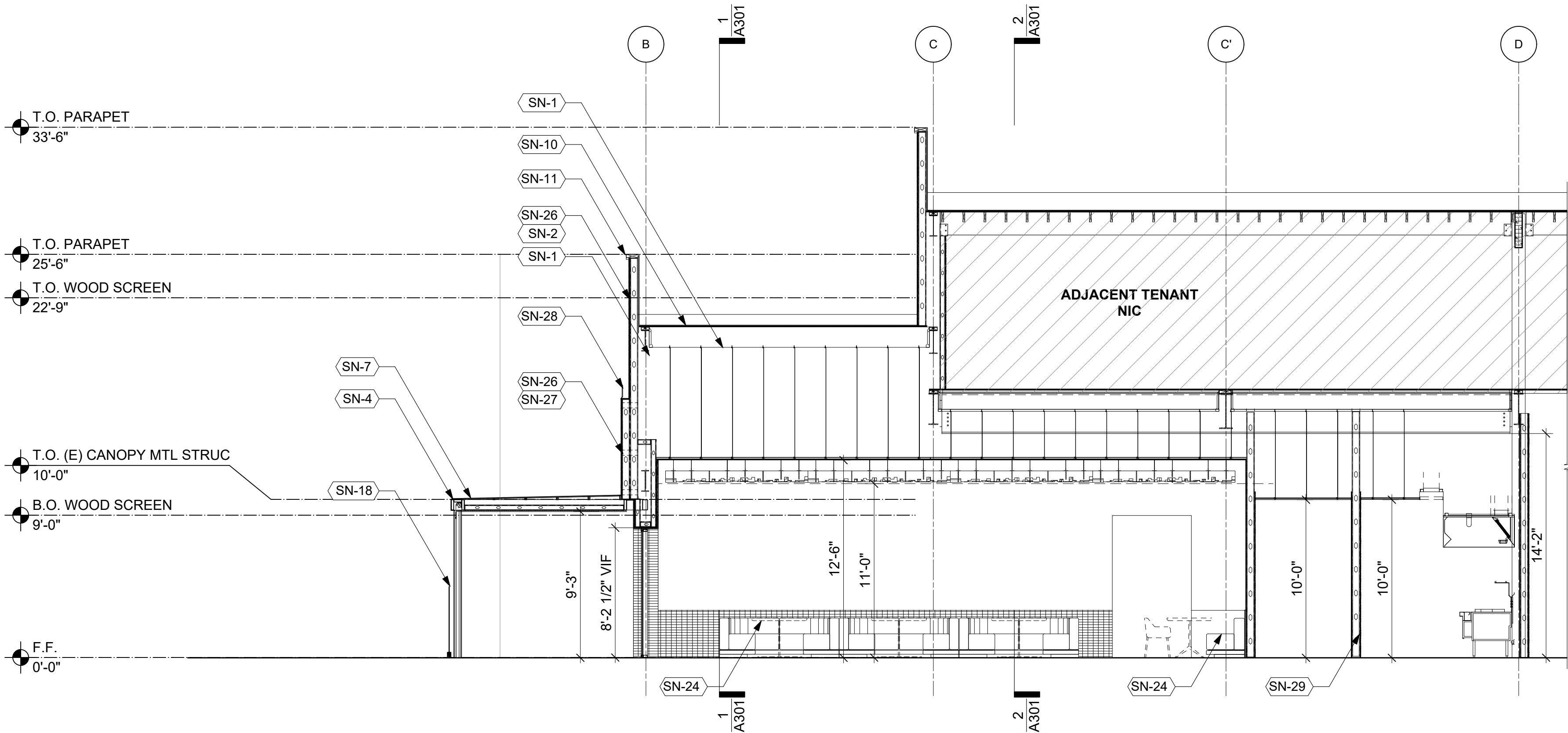
SN-29. EXISTING INTERIOR METAL WALL FRAMING TO REMAIN. TENANT G.C. TO REPAIR AS NEEDED AND PREP FOR NEW INTERIOR FINISHES

ISSUE	DATE	DESCRIPTION
	05.27.2022	LL Review & Prelim ARB
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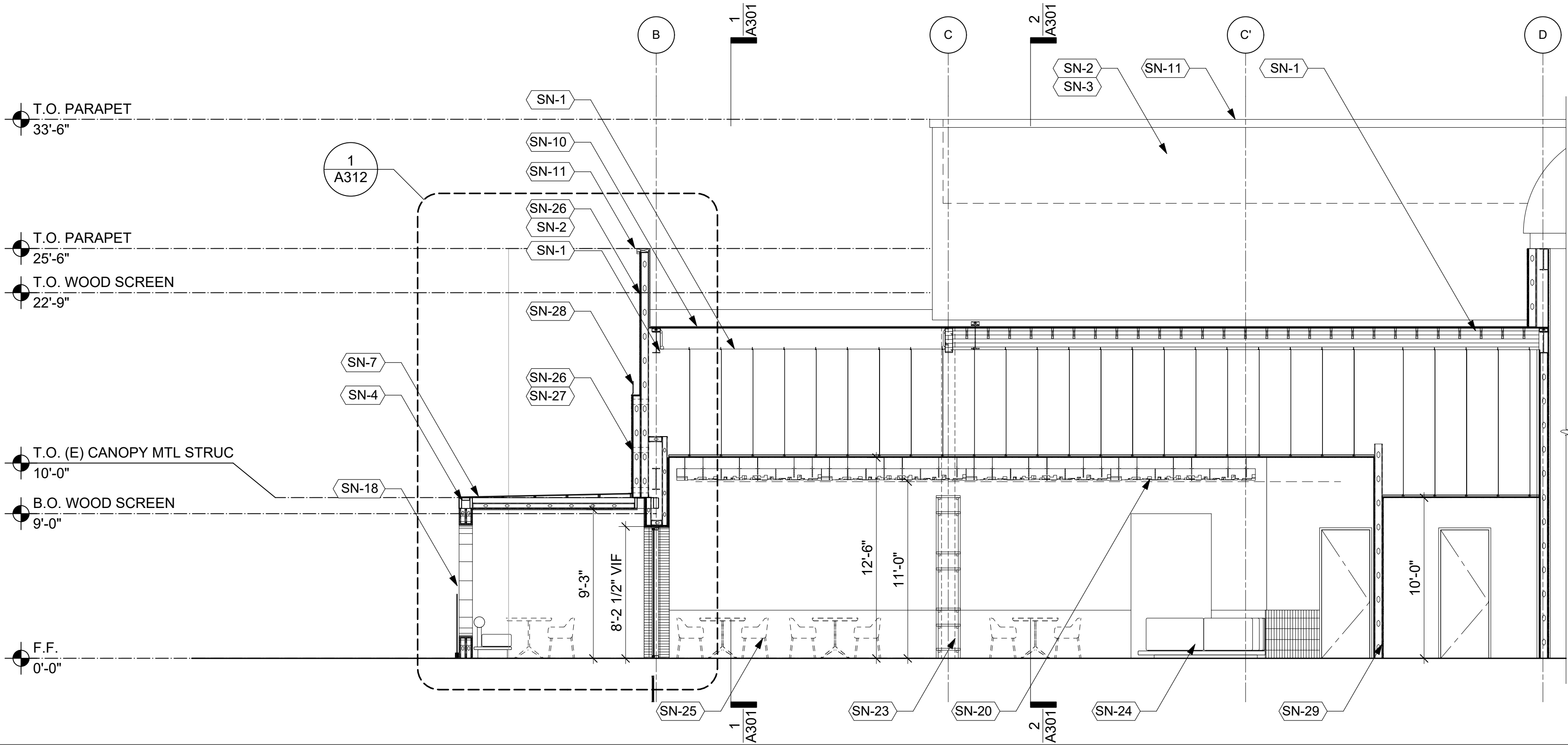
A301
BUILDING SECTIONS

SCALE: 3/16" = 1'-0"
DATE: 11.04.2022



BUILDING SECTION D

2



BUILDING SECTION C

1

SECTION NOTES

- SN-1. EXISTING STRUCTURAL BEAM TO REMAIN

SN-2. EXISTING METAL WALL FRAMING TO REMAIN

SN-3. EXISTING PLASTER FINISH TO REMAIN, G.C. TO PATCH AND REPAIR DAMAGED AREAS TO LIKE NEW CONDITION

SN-4. EXISTING 2X8 TUBE STEEL CANOPY STRUCTURE TO REMAIN

SN-5. EXISTING TUBE STEEL DIAGONAL BRACING TO REMAIN

SN-6. EXISTING TUBE STEEL CANOPY STRUCTURE, TENANT G.C. TO REMOVE EXISTING DIAGONAL BRACING, INSTALL NEW COLUMN SUPPORTS ALONG FRONT EDGE OF CANOPY STRUCTURE

SN-7. TENANT G.C. TO CLOSE EXISTING CANOPY STRUCTURE WITH NEW METAL PANEL FINISH, SLOPE ROOF 1/4":1'-0"

SN-8. NEW CANOPY SUPPORT COLUMN
- SN-9. NEW ROLLER SHADE INSTALLED IN EXISTING CANOPY CAVITY

SN-10. EXISTING ROOFING MATERIAL TO REMAIN, TENANT G.C. TO PATCH AND REPAIR ANY DAMAGED AREAS TO LIKE NEW CONDITION

SN-11. EXISTING ROOF PARAPET TO REMAIN

SN-12. NEW 3x3 VERTICAL TUBE STEEL @48" O.C., ATTACHED TO TOP OF EXISTING 2x8 TUBE STEEL CANOPY STRUCTURE, W/ 2x3 TUBE STEEL TIE BACK SUPPORTS CONNECTED TO EXISTING BUILDING STRUCTURE

SN-13. NEW 2x3 HORIZONTAL TUBE STEEL @48" O.C., ATTACHED TO 3x3 VERTICAL TUBE STEEL STRUCTURE, FOR WOOD SLAT SCREEN SUPPORT STRUCTURE

SN-14. NEW 2x2 WOOD SLAT SCREEN WALL

SN-15. NEW 1x1 TUBE STEEL FRAME W/ BIRD SCREEN MESH

SN-16. NEW OPERABLE CANOPY LOUVER SYSTEM INSTALLED IN EXISTING CANOPY STRUCTURE
- SN-17. EXISTING GAS METER & WATER LINE TO REMAIN

SN-18. NEW GLASS RAILING, 48" A.F.F.

SN-19. NEW EXTERIOR WATER FEATURE W/ LARGE STONES

SN-20. NEW SUSPENDED ACOUSTICAL BAFFLE CEILING SYSTEM

SN-21. NEW BAR SOFFIT

SN-22. NEW BAR DIE WALL & WOOD COUNTER TOP

SN-23. NEW INTERIOR DECORATIVE SHELIVING, TBD

SN-24. NEW INTERIOR BANQUETTE SEATING, TBD
- SN-25. NEW INTERIOR BOOTH SEATING, TBD

SN-26. NEW EXTERIOR WALL TILE FINISH PER PLANS

SN-27. NEW 6" METAL STUD WALL FURRING

SN-28. NEW 9" TALL BACKLIT STOREFRONT SIGNAGE

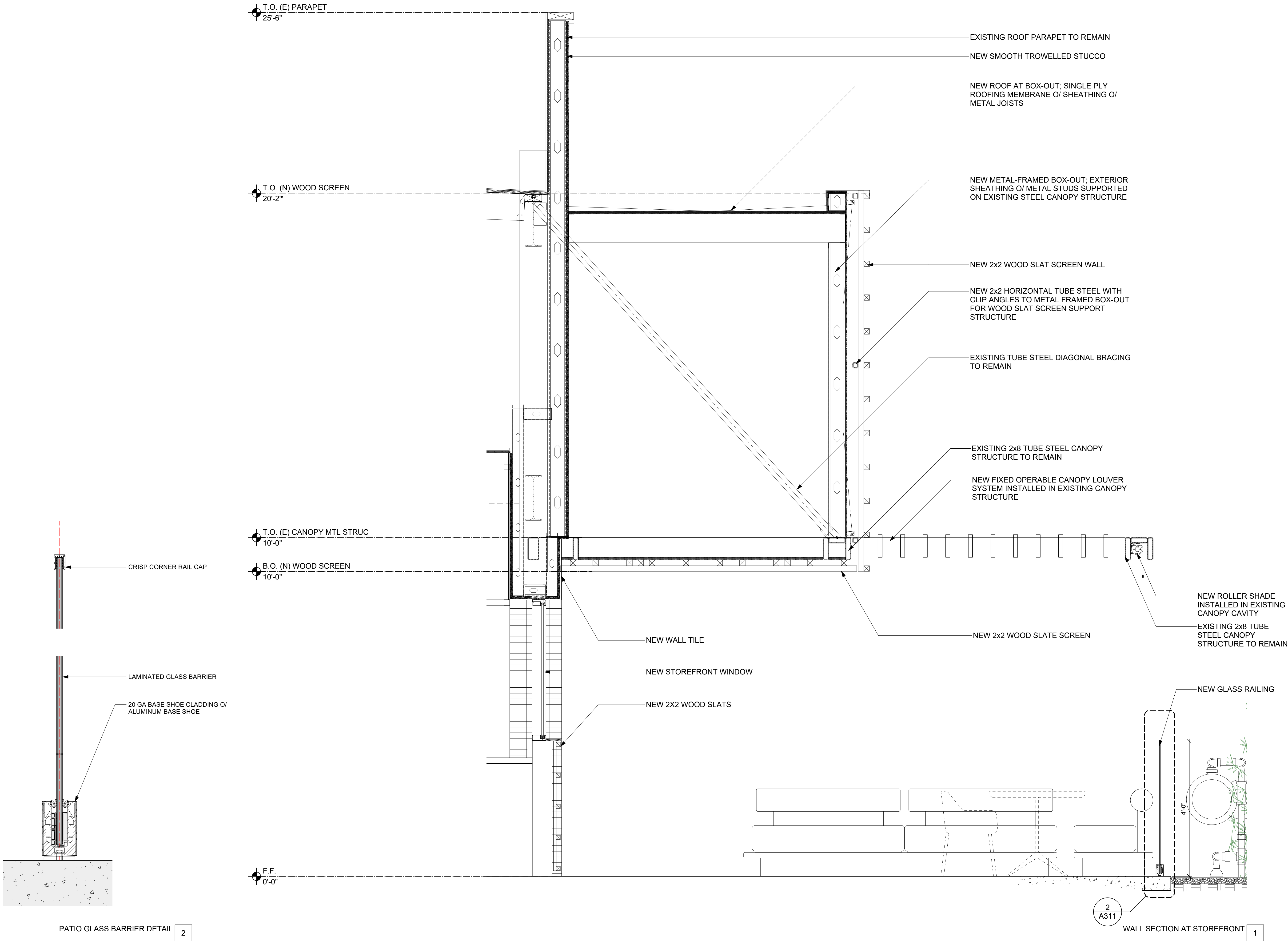
SN-29. EXISTING INTERIOR METAL WALL FRAMING TO REMAIN. TENANT G.C. TO REPAIR AS NEEDED AND PREP FOR NEW INTERIOR FINISHES

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REVISION	DATE	DESCRIPTION
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A302
BUILDING SECTIONS

SCALE: 3/16" = 1'-0"
DATE: 11.04.2022



ISSUE	DATE	DESCRIPTION
	05.27.2022 LL	Review & Prelim ARB
	07.19.2022 ARB	Submittal
	11.04.2022 ARB	Submittal #2

REVISION	DATE	DESCRIPTION
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A311
ENLARGED EXTERIOR
WALL SECTION

SCALE: 3/4" = 1'-0"
DATE: 11.04.2022

T.O. PARAPET
25'-6"

(N) LEDGE @ (N) SIGNAGE
16'-5"

T.O. (E) CANOPY MTL STRUC
10'-0"

F.F.
0'-0"

EXISTING ROOF PARAPET TO REMAIN
EXISTING STRUCTURE TO REMAIN

NEW SMOOTH TROWELLED STUCCO

NEW 9" TALL BACKLIT STOREFRONT
SIGNAGE

NEW SMOOTH TROWELLED STUCCO

NEW METAL WALL FRAMING

EXISTING 2x8 TUBE STEEL CANOPY
STRUCTURE TO REMAIN

TENANT G.C. TO CLOSE EXISTING CANOPY
STRUCTURE WITH NEW METAL PANEL
FINISH, SLOPE ROOF 1/4":1'-0"

EXISTING 2x8 TUBE
STEEL CANOPY
STRUCTURE TO REMAIN

NEW WALL TILE

NEW STOREFRONT WINDOW

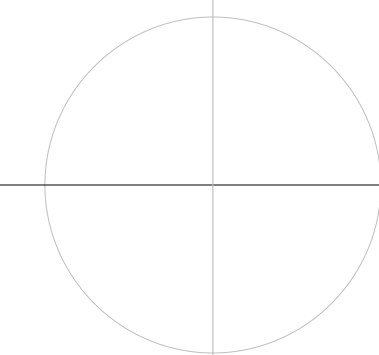
NEW WALL TILE

NEW GLASS RAILING.

2
A311

WALL SECTION AT STOREFRONT

1



SUSHI ROKU

STANFORD SHOPPING CENTER

180 El Camino Real, Bldg E,
Suite #700B
Store No. TBD
Level: Ground Level
Palo Alto, CA 94304

22-004

ISSUE	DATE	DESCRIPTION
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	07.19.2022	ARB Submittal
	11.04.2022	ARB Submittal #2

REVISION	DATE	DESCRIPTION
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A312

ENLARGED EXTERIOR
WALL SECTION

SCALE: 3/4" = 1'-0"
DATE: 11.04.2022

status | PERMITDRAWINGS

180 El Camino Real, Building E, Suite 700B
Palo Alto, CA 94304

J O B # 2 2 0 5 1 1 - 0 4

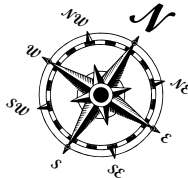
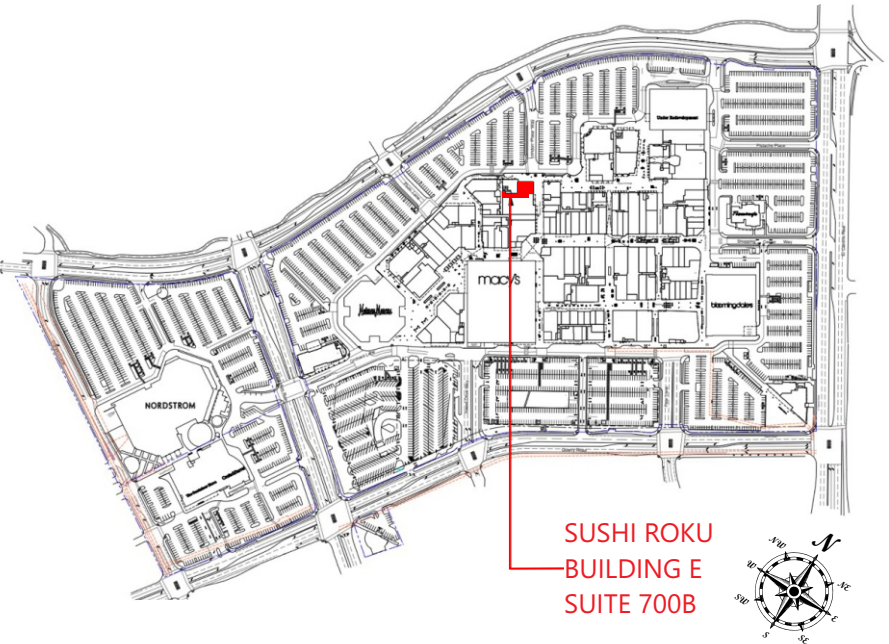
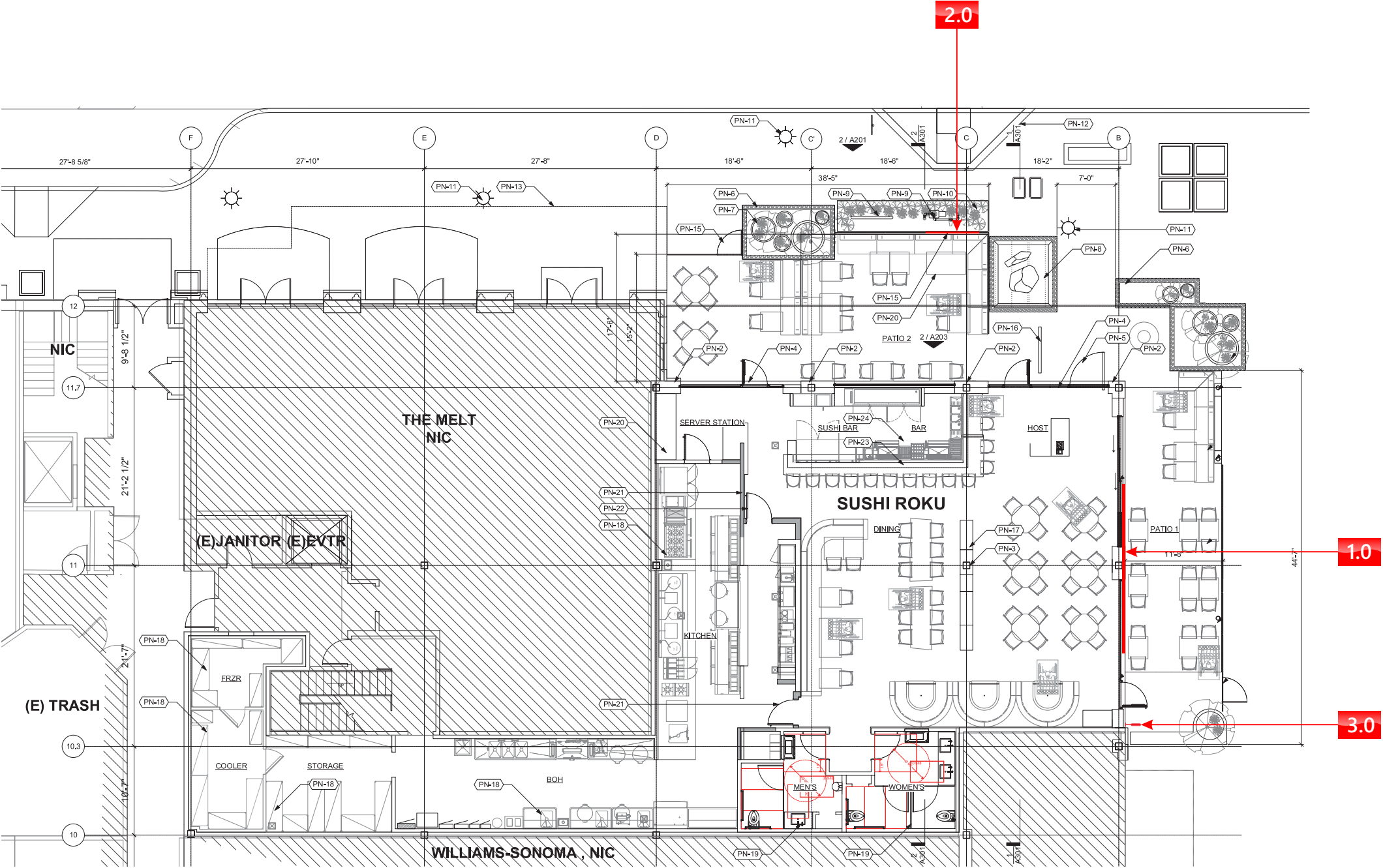


WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299

SITE PLAN

SIGNAGE SPECIFICATIONS

- 1.0
- FREESTANDING FCO LETTERS ON LEDGE:
Manufacture and Install (1) One Sign.
- 2.0
- FREESTANDING TROUGH FACE LIT LTRS ON STEEL CANOPY:
Manufacture and Install (1) One Sign.
- 3.0
- NON-ILLUMINATED D/F BLADE SIGN:
Manufacture and Install (1) One Sign.



PS 127:1

P R O J E C T

C L I E N T

J O B / D R A W I N G #

Project Name: SUSHI ROKU
Address: 180 El Camino Real, Building E, Suite 700B
City, State, Zip: Palo Alto, CA 94304

Client Approval:
Landlord Approval:
Designer: Garcia, G. Sales: Chris D.

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#	Designer:	Date:	Revision Notes:
1	Garcia, G.	07.11.22	
2	Garcia, G.	07.12.22	
3	Salamanca, A.	11.02.22	Add blade sign and update plan details
4	Salamanca, A.	11.08.22	Update north elevation and add renderings
5			
6			
7			
8			
9			
10			



WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299

SUSHI ROKU

220511-04



ARTIST RENDERING - DAY VIEW

Scale: NTS

T.O. (E) PARAPET
32'-6"

T.O. (E) PARAPET
25'-6"

T.O. (N) WOOD SCREEN
20'-2"

T.O. (N) CANOPY
10'-0"

B.O. (N) WOOD SCREEN
9'-0"

F.F.
0'-0"

PROPOSED ELEVATION- EAST

Scale: 1/8" = 1'-0"



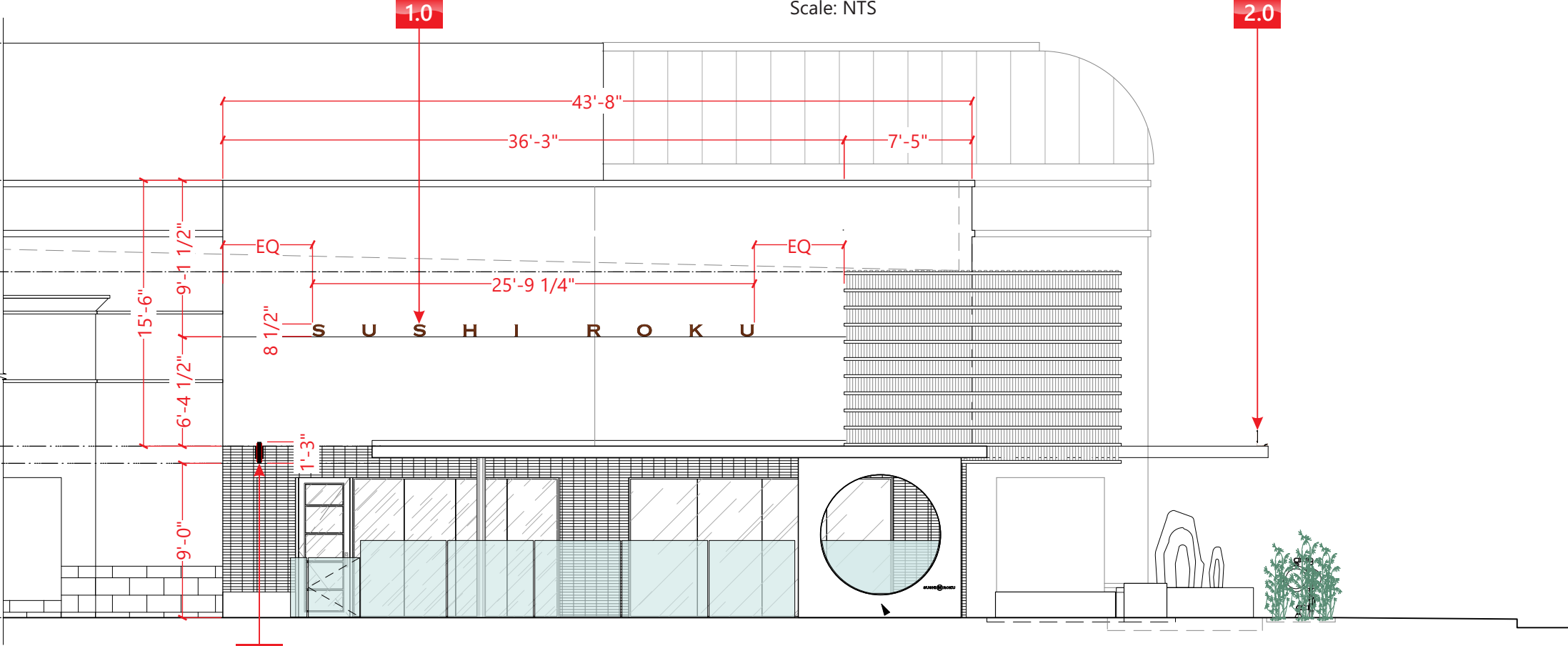
ARTIST RENDERING - NIGHT VIEW

Scale: NTS

2.0

1.0

3.0



PS 127:1

P R O J E C T

C L I E N T

J O B / D R A W I N G #



WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299

Project Name: SUSHI ROKU

Address: 180 El Camino Real, Building E, Suite 700B

City, State, Zip: Palo Alto, CA 94304

Client Approval:

Landlord Approval:

Designer: Garcia, G.

Sales: Chris D.

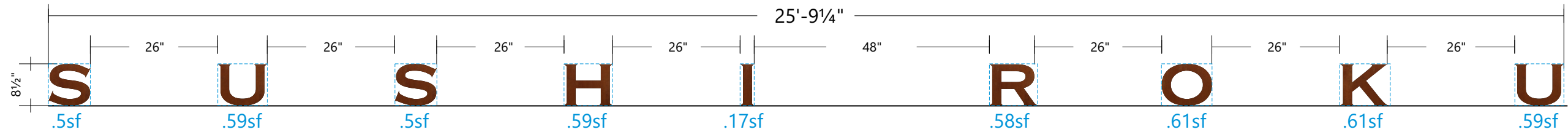
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#	Designer:	Date:	Revision Notes:
1	Garcia, G.	07.11.22	
2	Garcia, G.	07.12.22	
3	Salamanca, A.	11.02.22	Add blade sign and update plan details
4	Salamanca, A.	11.08.22	Update north elevation and add renderings
5			
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SUSHI ROKU

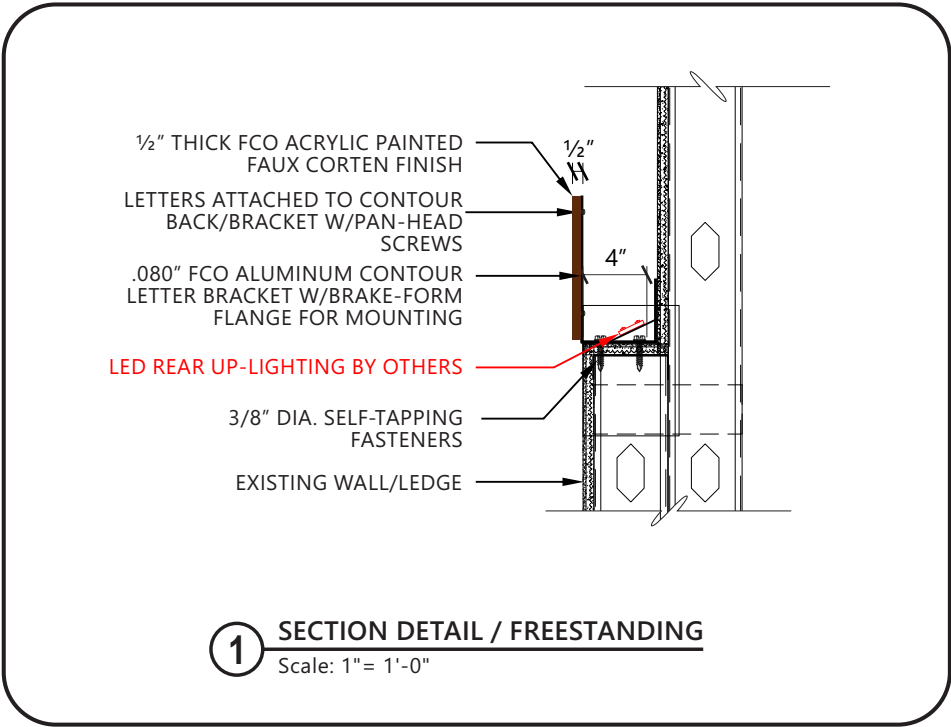
220511-04

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1.0 SIGN ELEVATION / NON-ILLUMINATED FCO FREESTANDING LETTERS 4.74 Sq. Ft.
Quantity: One (1) Sign Required Scale: 1/2" = 1'-0"

SQUARE FOOTAGE	
4.74 SQ. FT. PROPOSED	
MATERIALS	
M1	.080 ALUM BACKER
M2	1/2" FCO ACRYLIC LETTERS
PAINT FINISH	
P1	FAUX CORTEN FINISH



ILLUMINATED NIGHT VIEW
Scale: 1/4" = 1'-0"



WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
714.491.0299

Project Name: **SUSHI ROKU**
Address: 180 El Camino Real, Building E, Suite 700B
City, State, Zip: Palo Alto, CA 94304

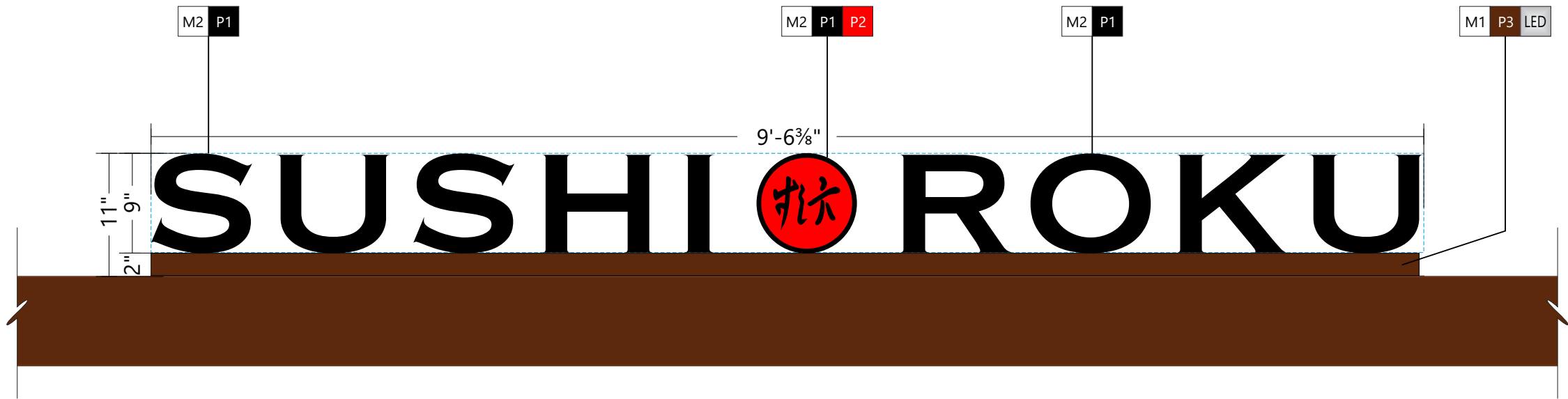
Client Approval:
Landlord Approval:
Designer: Garcia, G. Sales: Chris D.

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#	Designer:	Date:	Revision Notes:
1	Garcia, G.	07.11.22	
2	Garcia, G.	07.12.22	
3	Salamanca, A.	11.02.22	Add blade sign and update plan details
4	Salamanca, A.	11.08.22	Update north elevation and add renderings
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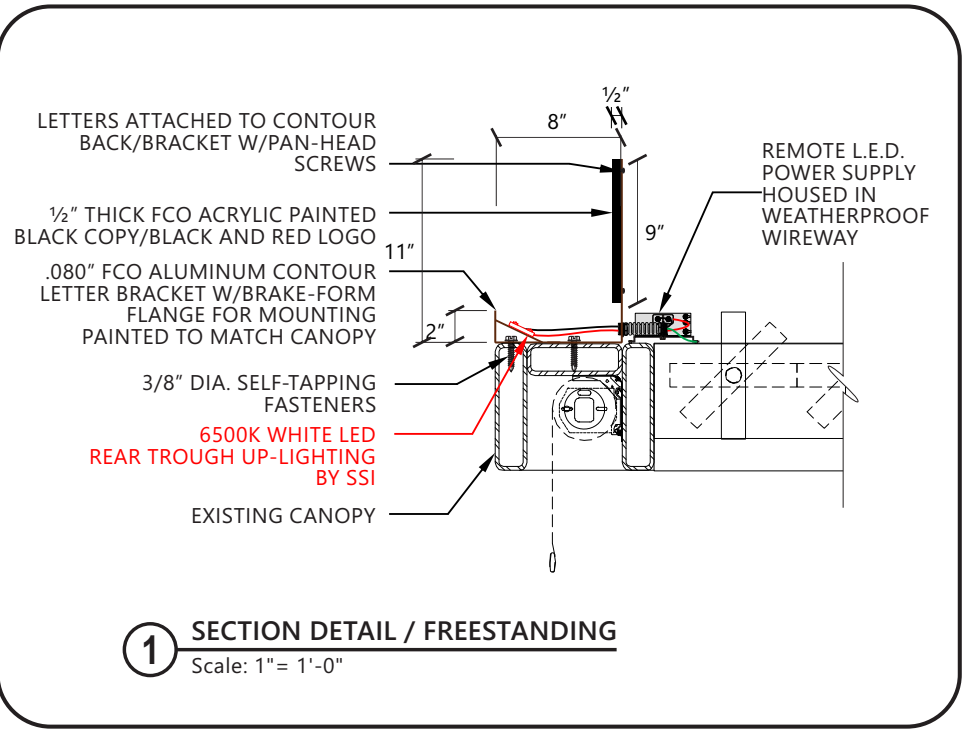
220511-04



2.0 SIGN ELEVATION / NON-ILLUMINATED FCO FREESTANDING LETTERS

Quantity: One (1) Sign Required

Scale: 1" = 1'-0"



1 SECTION DETAIL / FREESTANDING
Scale: 1" = 1'-0"

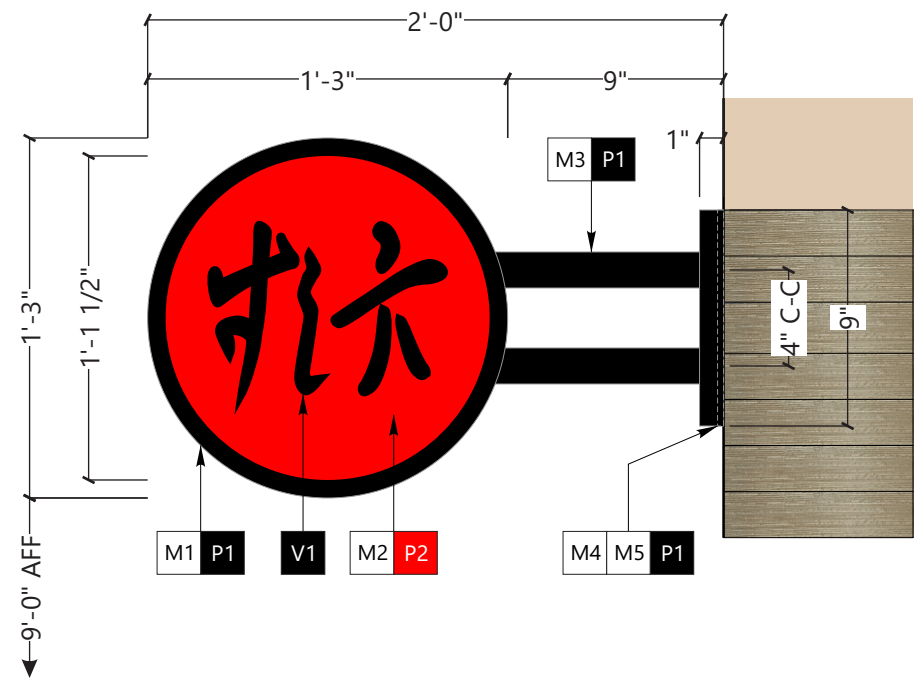


ILLUMINATED NIGHT VIEW

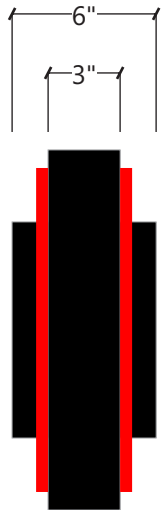
Scale: 3/4" = 1'-0"

SQUARE FOOTAGE	
7.14 sf	
M1	.080" ALUM TROUGH
M2	1/2" FCO ACRYLIC LETTERS
PAINT FINISH	
P1	BLACK
P2	RED
P3	PAINT TO MATCH CANOPY
ILLUMINATION	
LED	6500K WHITE L.E.D.
ELECTRICAL REQUIREMENTS	
Approx. A load (amps) (1) 120V 20A circuit req'd UL labels required away from public view.	
IMPORTANT NOTE	
UL COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE. FINAL ELECTRICAL HOOK UP BY OTHERS. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AS PER NEC 2008 ART: 600.6 FBC ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.	

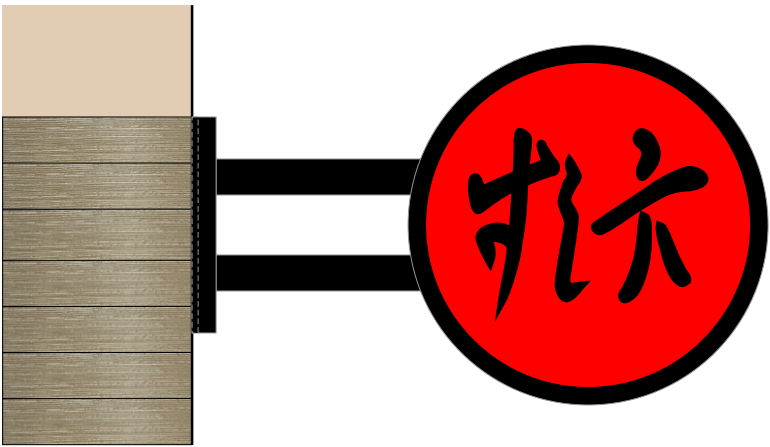




3.0 SIGN ELEVATION - NON-ILLUMINATED D/F BLADE SIGN
Scale: 1 1/2" = 1'-0"
Qty: 1 Req'd



PROFILE VIEW
Scale: 1 1/2" = 1'-0"

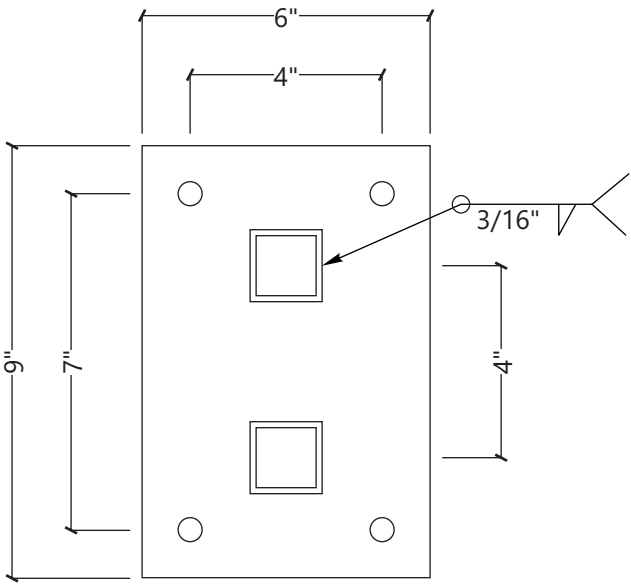


OPPOSITE SIDE
Scale: 1 1/2" = 1'-0"

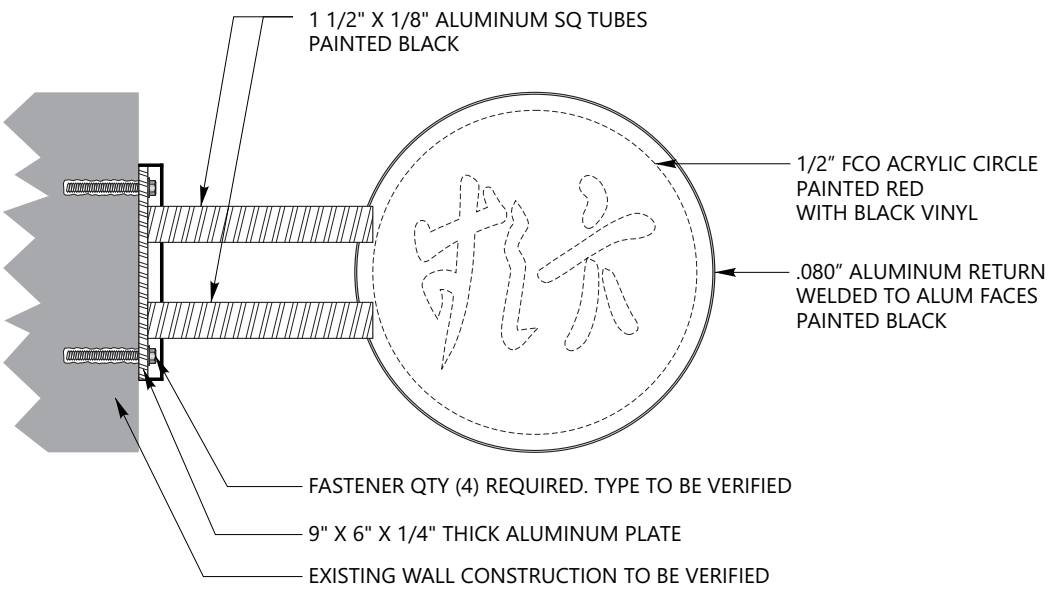
SQUARE FOOTAGE	
1.56 SQ. FT. PROPOSED	
MATERIALS	
M1	.080" ALUM FACES/RETURNS
M2	1/2" WHITE FCO CIRCLE
M3	1 1/2" ALUM SQUARE TUBES
M4	6"x9"x1/4" ALUM MOUNTING PLATE
M5	.063" ALUM PLATE COVER
DIGITAL PRINT / VINYL	
V1	7725-12 BLACK
PAINT FINISH	
P1	BLACK SATIN FINISH
P2	RED SATIN FINISH



ARTIST RENDERING
Scale: NTS



MOUNTING PLATE DETAIL
Scale: 1 1/2" = 1'-0"



TYP. BLADE SIGN CONSTRUCTION - ATTACHMENT DETAIL TO BE VERIFIED
Scale: NTS

PS 127:1	P R O J E C T	C L I E N T	J O B / D R A W I N G #
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