



# Historic Resources Board

## Staff Report (ID # 14036)

**Report Type:** Action Items **Meeting Date:** 2/24/2022

**Summary Title:** 567 Hale (Tobey House)

**Title:** PUBLIC HEARING: 567 Hale Street [21BLD-02531]: Request for Historic Resources Board Review of a Building Permit Application for Consistency with the Secretary of the Interior's Standards. The Project Includes Exterior Modifications to a Local Historic Resource Category II. Zone District: R-1 (10,000). Environmental Assessment: Exempt from the California Environmental Quality Act per Sections 15268 (Ministerial Projects). For More Information Contact the Project Planner Danielle Condit at [danielle.condit@cityofpaloalto.org](mailto:danielle.condit@cityofpaloalto.org).

**From:** Jonathan Lait

### Recommendation

Staff recommends that the Historic Resources Board (HRB) take the following action(s):

1. Review the proposed exterior alterations and report prepared by the City's qualified historic preservation consultant, and provide recommendations regarding the proposed alterations project, specific to its compliance with the Secretary of the Interior's Standards.

### Report Summary

This report is to enable HRB input into the review process of exterior alterations to the local inventory Category 2 resource located at 567 Hale Street. The local historic inventory form, circa 1984, for this property is provided with this report (Attachment G).

The proposed alterations include, generally:

- Removal of non-historic French doors at the main entry on the front façade.
- Removal and replacement of assorted windows on the left and right facades on both levels, to be replaced with exact replica windows in their original openings.
- Remove existing non-historic leaded glass window from the first-floor front porch along the left façade—infill openings with two new fixed wood windows surrounded by solid walls that are recessed within the original openings.

- Remove small rectangular and square window and vent openings at the basement level—windows are to be infilled or modified to accommodate construction of required sheer walls at the interior. New windows of a generally similar size will be inserted along the base of the building.
- Infill two non-historic casement windows on the second-floor rear façade. Windows at the rear east corner of the enclosed first floor porch will be replaced with replica double-glazed windows—with a new door to replace the center window. The rear façade’s symmetrical fenestration pattern will be altered at the first floor to accommodate a single, wide opening with glazed sliding doors. The patio extending off the rear façade will remove the rear deck, railings and parapet walls—to be redesigned with new contemporary, code-compliant guardrails, and will have new wider steps. A new rectangular skylight will be installed on the rear plane of the roof.
- The existing French window located on the first floor of the right façade—center (door) section will be replaced with a new divided light window. The adjacent window located toward the rear of the home will be removed and replaced with two new divide light windows on the first floor. Above, the second story balconette’s balustrade will be replaced to match the new guardrail at the rear patio below.
- Removal of stucco from each façade in contiguous and non-contiguous sections.

The project description is stated in the C2 Plans and voluntary structural upgrade (Attachments C and E).

The documents attached to this report also include:

- A Bulletin (Attachment A) the HRB adopted for staff and community use in 2016 providing guidance regarding the review of historic resources
- A report (Attachment B) describing the City’s historic preservation consultant’s evaluation of the proposed exterior alterations.
- Project Plans reviewed in the Attachment B report (Attachment C)
- A report (Attachment D) describing the City’s consultant’s evaluation of the proposed voluntary structural upgrades.
- Project Plans reviewed in the Attachment D report (Attachment E)
- The Character Defining Features (CDF) letter (Attachment F) prepared by the City’s historic preservation consultant

## Background

### PAMC 16.49 Section 16.49.050

Palo Alto Municipal Code (PAMC) contains regulations for ‘Exterior alteration of historic structures’; PAMC Section 16.49.050, item (B) directs the HRB to review building permit applications involving single family homes and duplexes that are historic structures/sites in the Downtown or significant buildings (category 1 and 2 resources) elsewhere. This item notes “Compliance of the property owner with the recommendations shall be voluntary, not mandatory”. Item (C) of this section states:

*“Planning staff may review and approve minor exterior alterations pursuant to guidelines which the HRB may adopt. Minor exterior alterations are those alterations which the Director of Planning and Development Services or his/her designee determines will not adversely affect the exterior architectural characteristics nor the historical or aesthetic value of the historic structure, its site or surroundings.”*

#### Guidelines for Staff Review of Exterior Modifications to Resources

The ‘guidelines which the HRB may adopt’ is an open-ended phrase. In 2016 the HRB adopted the attached Bulletin (Attachment A) which describes aspects of the ‘Group A’ properties review process. The Bulletin is not very descriptive and does not provide a threshold extent of exterior alterations above which the Director would be guided to send to the HRB for category 1 and 2 resources outside the Downtown.

Staff’s review process decisions for exterior changes to the historic resources noted in PAMC 16.49.050 item (B), which the Bulletin calls “Group A” resources, have been influenced by this Bulletin. However, the Bulletin became out of date once Council adopted the Comprehensive Plan at the end of 2017. Staff removed the Bulletin from the webpage to enable eventual updates to the bulletin for HRB review and adoption.

#### Subject Project Review History

A building permit has been submitted but not yet approved. The City’s historic preservation consultant reviewed the building permit plans for compliance with the Secretary of the Interior’s (SOI) Standards. The City’s consultant will be present for the HRB’s consideration of the project and can respond to HRB members’ questions regarding the attached reports (Attachments B and D).

Staff began conversations with the applicant in July 2021. The City’s historic preservation consultant provided preliminary feedback regarding removal of the divided light windows on the front elevation. The city’s consultant prepared a character defining features (CDF) memo to help guide preliminary stages of design. In September, the applicant reached out to discuss submittal of a building permit and the next steps. Staff explained to the applicant that, once the plans had been reviewed for compliance with the SOI standards - and if the analysis indicated that the project scope complied with those standards - the building permit could potentially stay at a staff level-review or could be elevated to a board-level review, if staff felt the project required it. In October a building permit was submitted to the City and the plans were sent to the City’s consultant for review.

Initially the City’s consultant concluded the project did not comply with Rehabilitation Standards 2, 5, 6, 9, and 10 and provided recommendations to bring the project into full compliance. Staff noted the option to bring the project to the HRB for recommendation at this stage to enable the board to review the consultant’s SOI standards compliance evaluation and make recommendations based on the HRB’s expertise. The City’s consultant then reviewed revised plans submitted November 30<sup>th</sup>, 2021 (Attachment C) and found the revised project complied with all ten standards.

The owners then explored a structural upgrade that would introduce new shear walls. Staff contacted the City's consultant regarding the revised work and review. The consultant reviewed the plans submitted January 19<sup>th</sup>, 2022 (Attachment E) and recommends that installation of the shear walls from the interior, rather than the exterior, be considered for reasons outlined in the amended SOIS analysis (Attachment D). The consultant assessed how the project could maintain full compliance and avoid an impact to the building's integrity. The consultant noted the following conditions would need to be met:

- *New stucco should match the old in color, texture, and depth along the façade plane*
- *Any cracks in the stucco discovered after the new stucco cures should be repaired*
- *Any exterior trim and detailing impacted by the installation of new stucco should be modified to accommodate the increased depth, repaired, and installed in accordance with recommendations provided in the Rehabilitation Standards*

The next stage in the staff-level review process is for the City's consultant to review any additional revised plans to ensure their recommendations to meet the SOI Standards are fully incorporated into the plans.

## **Discussion**

The HRB is asked to provide feedback regarding the proposed exterior alterations, submitted as part of a building permit application; as well as the approach to be taken for the voluntary structural upgrade.

## **Environmental Review**

The subject project has been assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. Specifically, the City's consultant found the project to be consistent with the Secretary of the Interior's Standards.

## **Public Notification, Outreach & Comments**

Notice of a public hearing for this project was published in the Palo Alto Daily Post on February 11, 2022, which is 13 days in advance of the meeting. Postcard mailing is not required for ministerial project (exempt from CEQA per Class 15268, since only a building permit is required for this project).

## **Next Steps**

To recuperate the staff costs for reviewing the building permit application, and document the recommendations of the HRB, staff will request the applicant submit an historic review application. Following the completion of the historic review, and any adjustment to plans to ensure compliance with the SOI Standards, the applicant may submit a building permit revision



to adjust the proposed exterior evaluations. Any recommendations of the HRB on other aspects of the project unrelated to SOI Standards compliance would be associated with voluntary compliance.

**Report Author & Contact Information**

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**HRB<sup>1</sup> Liaison & Contact Information**

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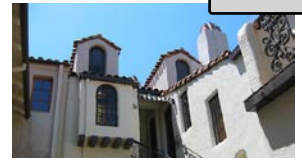
**Attachments:**

- Attachment A: Historic Resources Review Info Bulletin 10.13.16 (PDF)
- Attachment B SOIS Recommendation and Memo (PDF)
- Attachment C 567 Hale C2 Plans (PDF)
- Attachment D SOIS Amended (PDF)
- Attachment E 567 Hale Plans Voluntary Structural Upgrade (PDF)
- Attachment F CDF Memo (PDF)
- Attachment G 1984 Local Inventory Form DPR (PDF)

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<sup>1</sup> Emails may be sent directly to the HRB using the following address: [hrb@cityofpaloalto.org](mailto:hrb@cityofpaloalto.org)

# Historic Resources & Permit Review Requirements



- Historic resources enrich the quality of life in Palo Alto. They include buildings, structures, sites, and areas of historical, architectural, and cultural significance. The Planning Department groups historic resources according to the development application review procedures that apply. Some development projects involving historic resources are subject to review under the City's Historic Preservation Ordinance (Municipal Code Chapter 16.49) and/or the California Environmental Quality Act (CEQA), as explained further below and on the reverse page.
- For information on a specific property, please review a Parcel Report for the subject property, available at the City's website at <http://www.cityofpaloalto.org/gov/depts/pln/parcel.asp>, or request a Parcel Report from City staff at: Development Services, 265 Hamilton Avenue; (650) 329-2496; [planner@cityofpaloalto.org](mailto:planner@cityofpaloalto.org).

## What is a "Group A" Historic Resource?

A "Group A" historic resource is an existing property that is listed in the Palo Alto Historic Inventory, and which is subject to Historic Resources Board (HRB) review under the City's Historic Preservation Ordinance. A "Group A" resource may also be subject to CEQA review as explained on the reverse page. "Group A" resources include historic properties that are **one or more of the following**:

- Listed in the City's Inventory as Historic Category 1-2; or
- Listed in the City's Inventory as Historic Category 3-4 and located in the Downtown Area; or
- Located in one of the City's locally designated historic districts, Professorville or Ramona Street.

## What is a "Group B" Historic Resource?

A "Group B" historic resource is an existing property that was previously designated or formally evaluated, and which may be subject to CEQA review as explained on the reverse page. "Group B" resources are subject to HRB review if CEQA review indicates that a resource may be impacted. "Group B" resources include historic properties that are **one or more of the following**:

- Listed in the City's Inventory as Historic Category 3-4 and located outside of the Downtown Area and local historic districts; or
- Listed in the National Register of Historic Places (NR) or the California Register of Historical Resources (CR); or
- Listed in the Palo Alto Historic Survey Update (Dames & Moore, 1997-2000) as NR-eligible or CR-eligible; or
- Previously determined CR-eligible through a development application review procedure.

## When Does a Property Require Evaluation as a Historic Resource?

A property that has not yet been evaluated or designated may qualify as a historic resource for the purposes of CEQA review. In the case of a development application being filed for certain properties which have not yet been evaluated or designated, a Historic Resource Evaluation (HRE) report to determine CR-eligibility may be required in order to complete a CEQA review. The City of Palo Alto may require an HRE report to be completed for an existing property if the property **meets all of the following conditions**:

- A "discretionary" development application proposes demolition, new construction, new addition, or other substantial exterior alterations; and
- The existing development on the property is more than 45 years old; and
- The existing property is not a single-family residence in a Single-Family Residential zone. (A single-family residence in any non-Single Family Residential zone, or a non-single family residence in any zone, is subject.)

***See the reverse page for application review procedures.***

**APPLICATION REVIEW PROCEDURES FOR HISTORIC RESOURCES  
AND PROPERTIES THAT REQUIRE HISTORIC RESOURCE EVALUATION**

<b>HISTORIC PRESERVATION ORDINANCE (PAMC 16.49) REVIEW PROCEDURES</b>	<b>CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) REVIEW PROCEDURES</b>
<b>“GROUP A” HISTORIC RESOURCES</b>  <i>See the reverse page for explanation of properties that qualify as “Group A” Historic Resources.</i>	
<b>Route any permit applications for exterior changes (including ministerial) to the Historic Resources Planner.</b> <ul style="list-style-type: none"> <li>➤ The Planner reviews the application for consistency with the Secretary of the Interior’s Standards for Rehabilitation* (“Standards”) and the Historic Preservation Ordinance.</li> <li>➤ If the project is inconsistent with the Standards, or it exceeds the scope of a “minor exterior alteration” according to the Historic Preservation Ordinance, the Planner refers the application to the HRB.</li> </ul>	<b>Route discretionary development applications** for exterior changes to the Historic Resources Planner.</b> <ul style="list-style-type: none"> <li>➤ The Planner reviews the application for consistency with the Secretary of the Interior’s Standards for Rehabilitation* and potential impacts to a historic resource per CEQA.</li> <li>➤ If CEQA analysis indicates that there may be a potential impact to a historic resource, the Planner refers the application to the HRB.</li> </ul>
<b>“GROUP B” HISTORIC RESOURCES</b>  <i>See the reverse page for explanation of properties that qualify as “Group B” Historic Resources.</i>	
<b>Not subject to the review procedures in the City’s Historic Preservation Ordinance.</b>  (Only “Group A” properties are subject to review under the Historic Preservation Ordinance. For more information, see PAMC 16.49.050.)	<b>Route discretionary development applications** for exterior changes to the Historic Resources Planner.</b> <ul style="list-style-type: none"> <li>➤ The Planner reviews the application for consistency with the Secretary of the Interior’s Standards for Rehabilitation* and potential impacts to a historic resource per CEQA.</li> <li>➤ If CEQA analysis indicates that there may be a potential impact to a historic resource, the Planner refers the application to the HRB.</li> </ul>
<b>PROPERTIES THAT REQUIRE EVALUATION AS HISTORIC RESOURCES</b>  <i>See the reverse page for explanation of when a property requires evaluation as a historic resource.</i>	
<b>Not subject to the review procedures in the City’s Historic Preservation Ordinance.</b>  (Only “Group A” properties are subject to review under the Historic Preservation Ordinance. For more information, see PAMC 16.49.050.)	<b>Route discretionary development applications** for demolition, new construction, addition, or substantial exterior alterations to the Historic Resources Planner.</b> <ul style="list-style-type: none"> <li>➤ The Planner determines if a Historic Resource Evaluation (HRE) report is required in order to conduct and complete CEQA review. If a property is found to be eligible for the California Register of Historical Places, it is reviewed as a “Group B” historic resource.</li> </ul>

\*The Secretary of the Interior’s Standards for Rehabilitation are found on the National Park Service’s website at:

<https://www.nps.gov/tps/standards/rehabilitation.htm>.

\*\*Discretionary development applications include: Architectural Review; Design Enhancement Exception; Home Improvement Exception; Neighborhood Preservation Exception; Single Family Individual Review; Site and Design Review; Variance.

**MEMORANDUM**

DATE	November 2, 2021	PROJECT	16252A.68
		NUMBER	
TO	Danielle Condit, Associate Planner <a href="mailto:Danielle.Condit@CityofPaloAlto.org">Danielle.Condit@CityofPaloAlto.org</a>	PROJECT	567 Hale, Palo Alto
OF	City of Palo Alto Planning & Community Environment Dept. 250 Hamilton Avenue, 5th Fl Palo Alto, CA 94301	FROM	Josh Bevan, AICP Cultural Resources Planner
CC	Amy French, <a href="mailto:Amy.French@cityofpaloalto.org">Amy.French@cityofpaloalto.org</a> Ruth Todd, Page & Turnbull Christina Dikas, Page & Turnbull	VIA	Email

REGARDING 567 Hale Street, Palo Alto – *Secretary of the Interior's Standards for Rehabilitation*  
Compliance Analysis

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**INTRODUCTION**

The City of Palo Alto has requested this *Secretary of the Interior's Standards for Rehabilitation* Compliance Analysis for a proposed project located at 567 Hale Street (APN 120-07-048) in Palo Alto's Crescent Park neighborhood. The residence and a detached garage were designed by the prominent San Francisco architecture firm Bliss & Faville and built by C.H. Lewis and H. Bruecker for Walter D. Tobey. The residence was completed in 1904 and was designed in the Classical Revival style.<sup>1</sup> The property is listed on the City of Palo Alto's Historic Resources Inventory and is assigned a Category 2 rating.<sup>2</sup> The purpose of this memorandum is to review the proposed exterior alterations to the single-family residence per the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, specifically the *Standards for Rehabilitation*.

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<sup>1</sup> "Palo Alto Historic Buildings Inventory: 567 Hale Street," Palo Alto Stanford Heritage, Accessed August 9, 2021.  
<https://www.pastheritage.org/inv/invH/567Hale.html>

<sup>2</sup> Palo Alto Municipal Code 16.49.020.

## Methodology

Page & Turnbull conducted a site visit on August 13, 2021. The purpose of the site visit was to document existing conditions and to develop a list of character-defining features of the property to guide the analysis of the project's compliance with the *Secretary of the Interior's Standards for Rehabilitation*. Page & Turnbull reviewed plans titled "A Remodel for the: Sun-Pao Family" for 567 Hale Street" by Margaret Wimmer Residential Design (dated September 30, 2021). This analysis follows a previously prepared Character-Defining Features memo for 567 Hale Street that Page & Turnbull issued on August 27, 2021.

## HISTORIC STATUS

567 Hale Street was listed in Palo Alto's Historic Inventory (HRI) in 1979 as a Category 2 "Major Building."<sup>3</sup> A Category 2 building is defined within the City of Palo Alto's Historic Preservation Ordinance as "any building or group of buildings of major regional importance, meritorious works of the best architects or an outstanding example of an architectural style or the stylistic development of architecture in the state or region. A major building may have some exterior modifications, but the original character is retained."<sup>4</sup> Listing in the HRI qualifies the property as a historic resource for the purposes of the California Environmental Quality Act.

## Brief Architectural Description

The L-shaped property at 567 Hale Street contains a two-story residence and a freestanding, two-story garage, both designed in the Classical Revival style by Bliss & Faville, Architects in 1905. The scope of the proposed project is limited to alterations of the residence. 567 Hale Street is a two-story-over-basement, Classical Revival style residence with a concrete foundation, wood frame, a hip roof with non-historic dormers added in 1990, and a stucco exterior. The building is generally rectangular, with a one-story enclosed porch at the rear east corner set back from the northeast façade. Windows consist of original double-hung wood-sash with divided lites and original fixed wood windows, which are located at the primary façade and primarily along the first story at secondary façades. Non-original fixed and operable divided-lite windows set in original openings with wood frames with molded wood sills are concentrated in the second story. Typical wood windows, doors, and vents are surrounded by molded wood frames. Windows are equally spaced across the southwest (front), southeast, and northeast façades, creating a balanced fenestration pattern along each façade. Each façade is capped with a decorative cornice with a plain wood frieze board with dentils, molded banding, circular vents at the soffit, and modillions at the eaves.

<sup>3</sup> Paula Boghosian and John Beach, "Historical and Architectural Resources of the City of Palo Alto," Historic Environment Consultants, February 1979.

<sup>4</sup> Palo Alto Municipal Code 16.49.020.



Figure 1: Aerial photograph of 567 Hale Street, with the approximate parcel boundary shown in dashed red line. Source: Google Maps, 2021. Edited by Page & Turnbull.

## Character-Defining Features

For a property to be eligible for listing in a local historic register, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. To be eligible, a property must contain enough of those characteristics, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials. Page & Turnbull developed the following list of character-defining features for 567 Hale Street for a previously prepared Character-Defining Features memorandum on file with the City of Palo Alto and dated August 27, 2021. The character-defining features of 567 Hale Street date to its period of significance of 1904, contribute to the Classical Revival style of the residence, and include, but are not limited to:

### General:

- Spatial relationship of main residence to garage (former barn)

### Residence:

- Two-story, generally rectangular massing
- Classical Revival style
- Stucco cladding
- Flat-top hipped roof
- Two brick chimneys
- Decorative cornice with dentils and modillions at the eaves
- Exposed decorative joists and roof detailing at enclosed east corner porch
- Original fenestration, including:
  - Multi-lite wood fixed and double-hung windows in wood frames
  - Window arrangements at enclosed the east corner porch

- Multi-lite casement window arrangement at center southeast facade
- Amber glass stair windows at northwest façade
- Window box planters with decorative corbels
- Wood vents at ground level around the house
- Entry portico framed by shaped jam-shaft pilasters with molded bases

Features that are not original to the building, do not date to the period of significance, and therefore are not character-defining features, include, but are not limited to:

Residence:

- Landscaping and driveway
- Lion sculptures at entry stairs
- Shaped entry stairs
- Leaded glass window and blind recess at enclosed side openings to entry porch on the northwest façade (these areas were originally open)
- Replacement windows at the second story
- Dormer windows
- Composition roofing materials

## PROPOSED PROJECT DESCRIPTION

Based upon the scope of work illustrated in the drawing set titled "A Remodel for the: Sun-Pao Family" for 567 Hale Street" by Margaret Wimmer Residential Design (dated September 30, 2021) the proposed project includes the following work at the exterior.

### PRIMARY (SOUTHWEST) FAÇADE

At the primary façade, non-historic French doors located on the porch's inset wall will be replaced with a new glazed wood door, sidelites, and transom windows.

### NORTHWEST FAÇADE

At the basement level, small rectangular and square window and vent openings will be infilled or modified to accommodate construction of required sheer walls at the interior. New windows of a generally similar size will be inserted along the base of the building. A side entrance door will be placed into a wider opening with a new adjacent sidelite and a new rectangular transom window above.

At the first story, the previously altered openings of the front porch, one with leaded glass and the other a blind wall, will be infilled with new fixed wood windows surrounded by solid walls that are recessed within the original openings. The three-window group at the center of the first story will be replaced by the aforementioned transom above the new side entrance and a single-lite window to the right of the transom. The two rearmost wood windows with divided lites will be replaced with slightly taller, single-lite casement windows with similar spacing. At the second story, all windows, excepting the six-over-six window closest to the front of the façade and the large amber glass stair window, will be replaced with new windows in new locations with varying dimensions. The non-historic attic dormer's divided-lite windows will be replaced with two-lite windows.

### NORTHEAST (REAR) FAÇADE

At the northeast (rear) façade, the façade's symmetrical fenestration pattern will be altered to accommodate a single, wide opening with glazed sliding doors at the first story and two new casement windows at the second story. The patio extending off the rear façade will be redesigned with new contemporary, code-compliant guardrails, and will have new wider steps. The historic corner porch at the east side of the façade will receive replica double-glazed windows in place of the existing single-pane windows, and a new glazed entrance door, but will otherwise retain its design. Windows at the second story will be single-lite or two-lite, replacing existing divided-lite wood windows; small wood casement windows at the second story will be infilled. Patio guardrails will be



replaced with contemporary code-compliant guardrails. A new rectangular skylight will be installed on the rear plane of the roof.

### SOUTHEAST FAÇADE

At the southeast façade, windows within the southernmost bay closest to the front of the building will be retained. A French window (formerly used as doors to a non-extant balcony) with sidelites and transom will be replaced by a three-window group, which will include a relocated divided-lite window from the bay to the immediate north at center. Directly above at the second story, the existing six-over-six window will be retained, while one-over-one sash flanking the window will be replaced with single-lite, double-glazed windows. Further toward the rear of the building, existing window openings at the first and second story will be infilled and two new openings with single-lite windows will be inserted into each story. The northernmost bay of the first story will retain the enclosed porch, with replica double-glazed windows. Above, the second story balconette's door, sidelite, and balustrade will be replaced. The door and window will feature a single pane of glass each and the balustrade will be designed to match the new guardrail at the patio below. The non-historic attic dormer's divided-lite windows will be replaced with two-lite windows.

## SOI STANDARDS FOR REHABILITATION COMPLIANCE

Under Palo Alto's historic preservation ordinance, planning staff may review and approve minor exterior alterations pursuant to guidelines adopted by the Historic Resources Board. Minor exterior alterations are "those alterations which the director of planning and community environment or his/her designee determines will not adversely affect the exterior architectural characteristics nor the historical or aesthetic value of the historic structure, its site or surroundings."<sup>5</sup> Projects that are not considered minor exterior alterations are subject to California Environmental Quality Act (CEQA) and Historic Resources Board review.<sup>6</sup>

The following discussion considers the proposed project's potential effects on the historic status of, and compatibility with, the house at 567 Hale Street, and provides comments on whether the project appears to adhere to the ten *Secretary of the Interior's Standards for Rehabilitation*.

**1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

The proposed project would continue the single-family residential use of the property. Thus, the project complies with Rehabilitation Standard 1.

**2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

The proposed project would retain and preserve the building's character-defining height and massing, stucco cladding, flat-top hipped roof, brick chimneys, decorative cornice with dentils and modillions, exposed decorative joists and detailing at the east corner porch, window box planters, and the entry portico. All of the windows at the primary façade, windows within the second-story bays closest to the front of the building along the side façades, and the amber glass stair window would also be preserved. Windows at the rear east corner porch would be replaced with replica double-glazed windows.

The proposed project includes the replacement of several historic wood divided-lite windows with new single-lite casement windows, and in many cases, new windows would be inserted at new rather than existing locations. On the northwest façade, all window and door openings excepting the second story divided-lite window closest to the front of the building and the amber glass stair window would be altered. Historic windows at the center and rear of the first story would be replaced with a larger entrance and new single-lite windows. At the rear façade, the existing

<sup>5</sup> Section 16.49.050(C), Palo Alto Municipal Code, Chapter 16.49 Historic Preservation.

<sup>6</sup> City of Palo Alto, "Historic Resource Project Review FAQ," <https://www.cityofpaloalto.org/civicax/filebank/documents/64188>.

symmetrical arrangement of windows and rear entrance would be redesigned. A larger set of sliding glass doors would be placed in the first story, and new single- and two-lite windows would be inserted into the second story in new openings. The rear east corner porch's windows would be replicated with double-pane replacements and a new door would be installed.

At the southwest façade, the character-defining French windows near the center of the first story would be removed, and a window from the rear of the first story would be relocated to that location; two new sidelites would be installed also, creating a larger opening at center. The divided lite window with sidelites at the second story would be altered with new sidelites, and a smaller two-lite rectangular window would be replaced with a single lite window. New single-lite windows would be inserted into the first and second story, closer to the rear of the building, each in new locations.

Although windows at the second story are apparently not original, the openings that windows are set within are original, and are typically arranged to provide vertical alignment between the first- and second-story openings and a very balanced composition from façade to façade. Fenestration with a balanced, generally even spacing, and with divided-lite glazing was a common aspect of Classical Revival style residences of the early twentieth century, and in the case of the Tobey House, a key aspect of Bliss & Faville's design of the residence. The proposed window alterations would result in a shift away from the building's formal fenestration, as it would introduce windows in new openings that are not consistently vertically aligned between stories and are of varying dimensions and glazing patterns that do not harmonize with the building's historic character. The enlargement of the rear patio entrance to fit glazed doors would on its own not significantly impact the balanced fenestration of the rear façade. However, combined with proposed second-story window alterations, these changes affect the historic character of the facade.

Changes to the rear patio (decking, railings, steps) and rear balcony would minimally impact the historic features of the property. The proposed new skylight would be placed on the rear side of the roof, and would not impact the historic form of the roof.

Overall, the project does not appear to comply with Rehabilitation Standard 2. Please see the following section for additional recommendations for treatment of the historic building.

**3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

No conjectural features or architectural elements from other buildings would be added to the original building. Thus, the project complies with Rehabilitation Standard 3.

**4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.**

The period of significance for 567 Hale Street is 1904. No previous changes or additions have occurred that have acquired historic significance in their own right. Thus, the project complies with Rehabilitation Standard 4.

**5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.**

As described in Standard 2, the proposed project would retain and preserve the building's stucco cladding, brick chimneys, decorative cornice with dentils and modillions, exposed decorative joists and detailing at the east corner porch, window box planters, and the entry portico. Changes to the rear patio (deck, railing, stairs) and rear balcony would minimally impact the historic features of the property.

Windows at the primary façade, the second-story bays closest to the front of the building, and the amber glass stair window would be preserved. Windows at the rear east corner porch would be replaced with replica double-glazed windows. The project otherwise proposes the replacement of existing wood windows with single-lite wood casement windows, many of which would be located in new locations and have varied dimensions, rather than in the existing openings. The historic windows to be replaced represent distinctive features and craftsmanship that support the property's significance.

Therefore, the project does not appear to comply with Rehabilitation Standard 5 due to the degree of replacement and alteration of windows and fenestration openings that is proposed. Please see the following section for additional recommendations for treatment of the historic building.

**6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.**

The SOI Standards prioritize repair over replacement. As such, replacement of historic wood windows should be supported by evidence that the windows to be replaced are beyond reasonable repair. It does not appear that a conditions analysis has been produced to demonstrate this. Thus, the project as currently designed is not in compliance with Rehabilitation Standard 6. Please see the following section for additional recommendations for treatment of the historic building.

**7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.**

The project does not include any physical or chemical treatments to clean or remove historic materials or finishes. Thus, the project complies with Rehabilitation Standard 7.

**8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.**

Excavation may be required for the foundation of the proposed rear patio. In the case of discovery of archaeological materials, provided that standard discovery procedures for the City of Palo Alto are followed, the proposed project would adhere to Rehabilitation Standard 8.

**9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**

As described under Standard 2 and 5, the proposed project would retain and preserve a number of the building's character-defining features. Changes to the rear patio and rear balcony would minimally impact the historic features of the property. Additionally, the proposed alterations to small square windows and vents along the basement level exterior do not significantly impact the historic character of the property. The proposed new skylight would be placed on the rear side of the roof, and would not impact the historic form of the roof.

However, as previously described, the project proposes replacement, infill, relocation, and insertion of window openings to provide new windows with single- or two-lite glazing. These exterior alterations as a whole diminish the building's ability to convey its significance as a Category 2 building designed in the Classical Revival style by Bliss & Faville. The proposed project would leave only the windows at the primary façade, two windows at the front (southernmost) end of the side façades, and one window at the rear façade intact. Thus, fenestration patterns that characterize the residence would be altered heavily on three of the four façades. New windows would be clearly differentiated from the old, given their obvious differences in number of lites per sash, and in some locations new windows would be oriented with a horizontal rather than a vertical emphasis. Although differentiated, the new windows would not be very compatible, as their positions and relationship to historic windows retained elsewhere would not result in a similar balanced fenestration pattern along each façade. The contrast of the single-lite windows to the divided-lite windows would also be too strong to comply with Standard 9. The existing divided-lite windows, although not original, provide a more compatible alternative.

Additionally, relocation of one window on the southeast façade and introduction of new windows of varying sizes with single lites would work against the building's expression of style and workmanship. Therefore, as currently proposed, the project does not appear to comply with Standard 9.

Please see the following section for additional recommendations for treatment of the historic building.

**10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**

The proposed project would introduce new windows on each side façade, relocate one window on the southeast façade, and would redesign the rear façade. Review of project plans indicates that new wall sections would be built to accommodate infilling and relocation of windows. Although a future project could attempt to reverse such changes, it is likely that doing so would result in further loss of historic materials, and historic windows previously removed would (unless salvaged and stored) be unable to be reintroduced. Although the project would preserve the building's massing, height, footprint, and materiality, its integrity would nonetheless be diminished to the extent that it could not be regained. Overall, the project does not comply with Rehabilitation Standard 10.

Please see the following section for additional recommendations for treatment of the historic building.

Summary of Standards for Rehabilitation Analysis

As the above analysis demonstrates, the project as currently designed appears to comply with six of the ten the *Secretary of the Interior's Standards for Rehabilitation* but is not in compliance with Rehabilitation Standards 2, 5, 6, 9, and 10. Therefore, Page & Turnbull has provided several recommendations for improved compliance with the Rehabilitation Standards in the following section.

## RECOMMENDATIONS

This section includes recommendations to better comply with the *Secretary of the Interior's Standards for Rehabilitation*, in particular, Rehabilitation Standards 2, 5, 6, 9, and 10.

**Recommendation #1 (Standards 2, 5, 6, 9):** Revise the proposed design to retain more of the historic window openings (size, shape, and location) and avoid removal of historic windows that contribute to the character of the property. Prioritize retention of historic wood windows at the first story of each façade that have divided-lite glazing. Retention of a greater number of historic wood windows and a greater number of existing window locations would result in less substantial alteration of the building's historic fenestration and support its Classical Revival style character that dates to the 1904 period of significance.

**Recommendation #2 (Standard 10):** Consider locating some of the new single-lite windows at the second story in existing openings and using a divided-lite windows, which would support future reversibility more than locating new windows in new openings and provide a more compatible glazing pattern to the house's historic windows with divided lites. Slightly different muntin profiles and lite dimensions are acceptable and aid in differentiating new windows from old.

**Recommendation #3 (Standards 2,5, and 9):** Retain the French window at the center of the first story of the southwest façade in lieu of removing the window and replacing it with a relocated historic window that is located in the adjacent first story bay. Retention of at least one of these windows in their existing location would enable the southwest façade to retain a greater degree of its historic character and offset the proposed insertion of additional new window openings on the same façade.

**Recommendation #4 (Standard 9):** Considering using a divided-lite window to fill the front porch's previously infilled side walls. This recommendation is provided to support compatibility of new construction, but is focused on an area of previous alteration. Thus, this recommendation can be considered a lower priority than those above.

## CONCLUSION

The proposed project, as currently designed, does not comply with Rehabilitation Standards 2, 5, 6, 9, and 10 and cannot be said to be in overall compliance with the *Secretary of the Interior's Standards for Rehabilitation*. Page & Turnbull has provided recommendations that, if implemented, would bring the project into full compliance.

## QUALIFICATIONS

Page & Turnbull was established in 1973 as Charles Hall Page & Associates to provide architectural and conservation services for historic buildings, resources, and civic areas. The company was one of the first architecture firms in California to dedicate its practice to historic preservation and is among the longest practicing such firms in the country. Offices are located in Los Angeles, Sacramento, and San Francisco, and staff includes licensed architects, designers, architectural historians, conservators, and planners. All of Page & Turnbull's professional staff members meet or exceed the Secretary of the Interior's Historic Preservation Professional Qualification Standards.

As an architectural historian and cultural resources planner within Page & Turnbull's Cultural Resources Planning Studio, Josh Bevan, AICP meets the Secretary of the Interior's Professional Qualification Standards for Architectural History. He is experienced in surveying, researching, and evaluating historic properties, as well as analyzing proposed projects for potential impacts on historic resources.



567 Hale Street, Palo Alto - Secretary of the Interior's Standards for Rehabilitation Compliance Analysis [16252A.68]  
Page 14 of 14

## APPENDIX I – PROPOSED PROJECT DRAWING SET

## MEMORANDUM

DATE	December 14, 2021	PROJECT NUMBER	16252A.68
TO	Danielle Condit, Associate Planner Danielle.Condit@CityofPaloAlto.com	PROJECT	567 Hale Street SOI Compliance Analysis
OF	City of Palo Alto Planning & Development Services 250 Hamilton Avenue, 5 <sup>th</sup> Floor Palo Alto, CA 94301	FROM	Josh Bevan, AICP Cultural Resources Planner Page & Turnbull bevan@page-turnbull.com
CC	Amy French, Chief Planning Official Ruth Todd, Principal, Page & Turnbull Christina Dikas, Associate Principal	VIA	Email

REGARDING Update to Secretary of the Interior's Standards for Rehabilitation Analysis

---

The City of Palo Alto has requested Page & Turnbull's review of revised plans for a proposed project at 567 Hale Street in Palo Alto's Crescent Park neighborhood. On November 2, 2021, Page & Turnbull delivered a *Secretary of the Interior's Standards for Rehabilitation Compliance Analysis* (SOI Compliance Analysis) to the City of Palo Alto, which found that the proposed design prepared by Margaret Wimmer Residential Design did not meet SOI Rehabilitation Standards 2, 5, 6, 9, and 10.

Page & Turnbull provided recommendations in the SOI Compliance Analysis to enable the proposed project to comply with the Standards, which would avoid a significant adverse impact to the historic resource. In November 2021, Page & Turnbull received an Individual Review Response Letter and a revised set of project plans titled "A Remodel for the Sun-Pao Family 567 Hale Street [Page & Turnbull Second Review]," delivered on November 30, 2021, prepared by Margaret Wimmer Residential Design (referred to hereafter as the Revised Plan Set). Per the City's request, Page & Turnbull has reviewed the Revised Plan Set to determine if the revised project design meets the SOI Standards for Rehabilitation.

Please see the following table that lists each recommendation to achieve SOI Standards compliance and identifies the revisions to the project that have been made to address each recommendation.

Recommendation	Design Revision	Revision Meets SOI Standards (Yes/No)
<b>Recommendation #1 (addresses SOI Standards 2, 5, 6, 9)</b>		
<p>Revise the proposed design to retain more of the historic window openings (size, shape, and location) and avoid removal of historic windows that contribute to the character of the property. Prioritize retention of historic wood windows at the first story of each façade that have divided-lite glazing. Retention of a greater number of historic wood windows and a greater number of existing window locations would result in less substantial alteration of the building's historic fenestration and support its Classical Revival style character that dates to the 1904 period of significance.</p>	<p>As revised, the proposed project retains most existing window locations and the dimensions of such openings. Although all of the remaining original single-glazed wood windows will be replaced, plans note that such windows will be replaced with replica double-glazed windows with identical glazing patterns. These changes result in the continued use of divided-lite windows, and support the house's Classical Revival styling, which relies on a balanced and somewhat formal fenestration pattern.</p>	<p>Yes</p>
<b>Recommendation #2 (addresses SOI Standard 10):</b>		
<p>Consider locating some of the new single-lite windows at the second story in existing openings and using divided-lite windows, which would support future reversibility more than locating new windows in new openings and provide a more compatible glazing pattern to the house's historic windows with divided lites. Slightly different muntin profiles and lite dimensions are acceptable and aid in differentiating new windows from old.</p>	<p>The revised design follows this recommendation. as a greater number of original openings will be retained. The new windows replacing single-glazed windows will feature identical glazing patterns. Overall, the retention of original window openings supports reversibility and compatibility of historic and new construction. Therefore, the project follows this recommendation.</p>	<p>Yes</p>

Recommendation	Design Revision	Revision Meets SOI Standards (Yes/No)
<b>Recommendation #3 (addresses SOI Standards 2,5, and 9):</b>		
<p>Retain the French window at the center of the first story of the southwest façade in lieu of removing the window and replacing it with a relocated historic window that is located in the adjacent first story bay. Retention of at least one of these windows in their existing location would enable the southwest façade to retain a greater degree of its historic character and offset the proposed insertion of additional new window openings on the same façade.</p>	<p>The revised project will replace the center (door) section of the French window at the center of the first story of the southwest façade, but will not relocate an adjacent window to the French window location. This center section of the French window will be replaced with a new divided light window frame since the door at that location no longer serves as a side entrance. The proposed window appears to be compatible in scale and profile with the existing window arrangement. Overall, this revised approach results in less alteration of the façade and does so without potentially resulting in a conjectural falsely historic appearance. Therefore, the project follows this recommendation.</p>	Y
<b>Recommendation #4 (addresses SOI Standard 9):</b>		
<p>Consider using a divided-lite window to fill the front porch's previously infilled side walls. This recommendation is provided to support compatibility of new construction, but is focused on an area of previous alteration. Thus, this recommendation can be considered a lower priority than those above.</p>	<p>The revised project calls for wood windows with six lites beneath a two-lite transom to fill each opening in the porch. This specification follows the recommendation and provides a compatible window type for the porch.</p>	Y

## MEMORANDUM

DATE	December 14, 2021	PROJECT NUMBER	16252A.68
TO	Danielle Condit, Associate Planner Danielle.Condit@CityofPaloAlto.com	PROJECT	567 Hale Street SOI Compliance Analysis
OF	City of Palo Alto Planning & Development Services 250 Hamilton Avenue, 5 <sup>th</sup> Floor Palo Alto, CA 94301	FROM	Josh Bevan, AICP Cultural Resources Planner Page & Turnbull bevan@page-turnbull.com
CC	Amy French, Chief Planning Official Ruth Todd, Principal, Page & Turnbull Christina Dikas, Associate Principal	VIA	Email

REGARDING Update to Secretary of the Interior's Standards for Rehabilitation Analysis

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The City of Palo Alto has requested Page & Turnbull's review of revised plans for a proposed project at 567 Hale Street in Palo Alto's Crescent Park neighborhood. On November 2, 2021, Page & Turnbull delivered a *Secretary of the Interior's Standards for Rehabilitation Compliance Analysis* (SOI Compliance Analysis) to the City of Palo Alto, which found that the proposed design prepared by Margaret Wimmer Residential Design did not meet SOI Rehabilitation Standards 2, 5, 6, 9, and 10.

Page & Turnbull provided recommendations in the SOI Compliance Analysis to enable the proposed project to comply with the Standards, which would avoid a significant adverse impact to the historic resource. In November 2021, Page & Turnbull received an Individual Review Response Letter and a revised set of project plans titled "A Remodel for the Sun-Pao Family 567 Hale Street [Page & Turnbull Second Review]," delivered on November 30, 2021, prepared by Margaret Wimmer Residential Design (referred to hereafter as the Revised Plan Set). Per the City's request, Page & Turnbull has reviewed the Revised Plan Set to determine if the revised project design meets the SOI Standards for Rehabilitation.

Please see the following table that lists each recommendation to achieve SOI Standards compliance and identifies the revisions to the project that have been made to address each recommendation.

Recommendation	Design Revision	Revision Meets SOI Standards (Yes/No)
<b>Recommendation #1 (addresses SOI Standards 2, 5, 6, 9)</b>		
<p>Revise the proposed design to retain more of the historic window openings (size, shape, and location) and avoid removal of historic windows that contribute to the character of the property. Prioritize retention of historic wood windows at the first story of each façade that have divided-lite glazing. Retention of a greater number of historic wood windows and a greater number of existing window locations would result in less substantial alteration of the building's historic fenestration and support its Classical Revival style character that dates to the 1904 period of significance.</p>	<p>As revised, the proposed project retains most existing window locations and the dimensions of such openings. Although all of the remaining original single-glazed wood windows will be replaced, plans note that such windows will be replaced with replica double-glazed windows with identical glazing patterns. These changes result in the continued use of divided-lite windows, and support the house's Classical Revival styling, which relies on a balanced and somewhat formal fenestration pattern.</p>	<p>Yes</p>
<b>Recommendation #2 (addresses SOI Standard 10):</b>		
<p>Consider locating some of the new single-lite windows at the second story in existing openings and using divided-lite windows, which would support future reversibility more than locating new windows in new openings and provide a more compatible glazing pattern to the house's historic windows with divided lites. Slightly different muntin profiles and lite dimensions are acceptable and aid in differentiating new windows from old.</p>	<p>The revised design follows this recommendation. as a greater number of original openings will be retained. The new windows replacing single-glazed windows will feature identical glazing patterns. Overall, the retention of original window openings supports reversibility and compatibility of historic and new construction. Therefore, the project follows this recommendation.</p>	<p>Yes</p>

Recommendation	Design Revision	Revision Meets SOI Standards (Yes/No)
<b>Recommendation #3 (addresses SOI Standards 2,5, and 9):</b>		
<p>Retain the French window at the center of the first story of the southwest façade in lieu of removing the window and replacing it with a relocated historic window that is located in the adjacent first story bay. Retention of at least one of these windows in their existing location would enable the southwest façade to retain a greater degree of its historic character and offset the proposed insertion of additional new window openings on the same façade.</p>	<p>The revised project will replace the center (door) section of the French window at the center of the first story of the southwest façade, but will not relocate an adjacent window to the French window location. This center section of the French window will be replaced with a new divided light window frame since the door at that location no longer serves as a side entrance. The proposed window appears to be compatible in scale and profile with the existing window arrangement. Overall, this revised approach results in less alteration of the façade and does so without potentially resulting in a conjectural falsely historic appearance. Therefore, the project follows this recommendation.</p>	Y
<b>Recommendation #4 (addresses SOI Standard 9):</b>		
<p>Consider using a divided-lite window to fill the front porch's previously infilled side walls. This recommendation is provided to support compatibility of new construction, but is focused on an area of previous alteration. Thus, this recommendation can be considered a lower priority than those above.</p>	<p>The revised project calls for wood windows with six lites beneath a two-lite transom to fill each opening in the porch. This specification follows the recommendation and provides a compatible window type for the porch.</p>	Y

Page & Turnbull finds that the revised proposed design enables the project to meet each of the 10 Standards for Rehabilitation. The four recommendations provided in the SOI Compliance Analysis of November 2, 2021 were concerned with lessening the degree of alteration of original window openings, limiting alteration of original windows, and avoiding a sense of false historicism. In addition to SOI Rehabilitation Standards 1, 3, 4, 7, and 8, the revised design meets SOI Rehabilitation Standards 2, 5, 6, 9, and 10. Therefore, the proposed project does not appear to cause a significant impact to an identified CEQA historic resource.

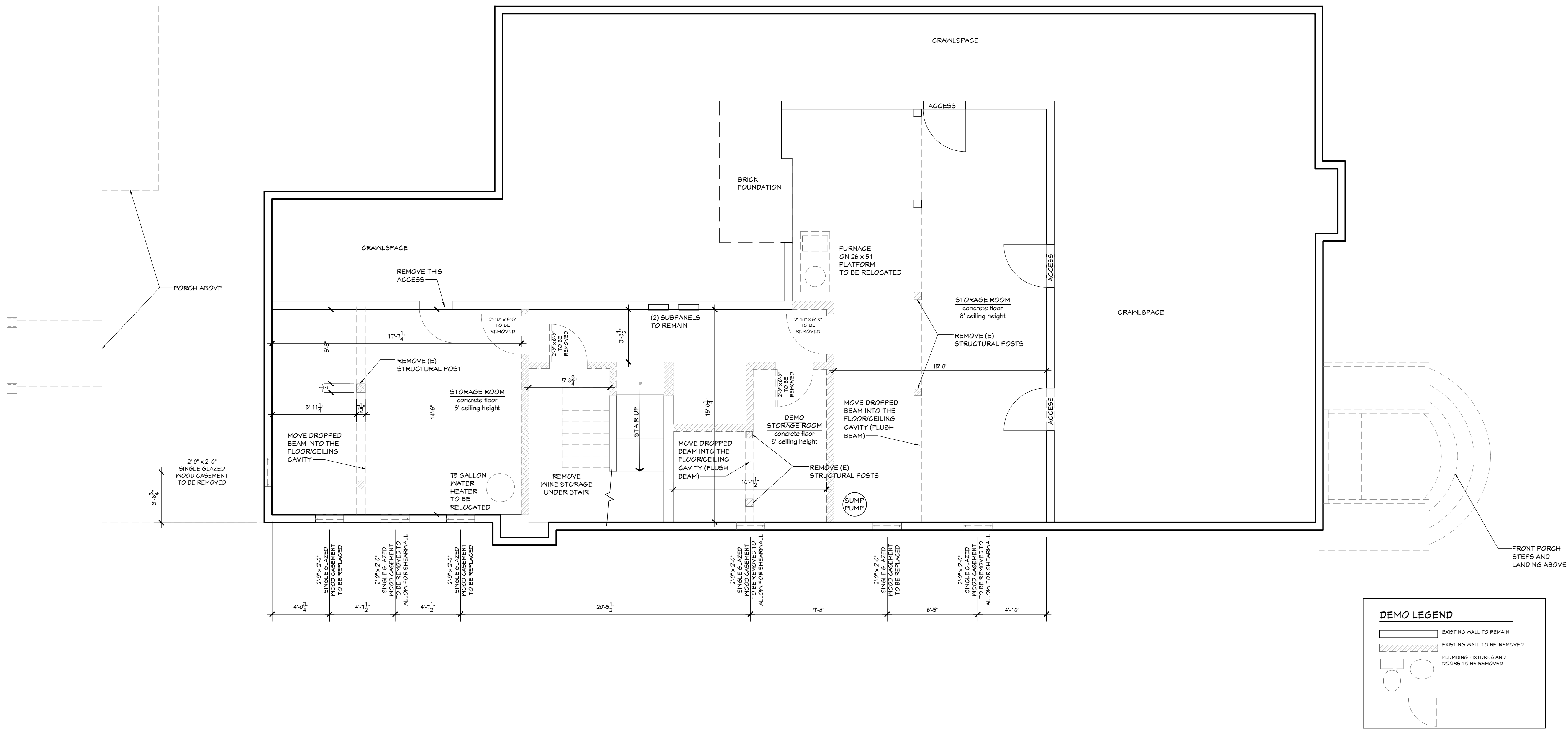


PAGE AND TURNBULL SECOND REVIEW

Summary of alterations per CDF Memo and  
11/2/2021 SOI Analysis Letter:

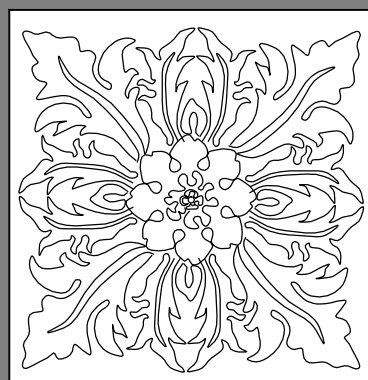
All existing double glazed windows (that were replaced during a previous remodel) are to remain as existing.  
Only the original single glazed wood windows are to be replaced with double glazed (or laminated glass) exact  
replica windows. This is for better insulation and sound protection.

Areas that client feels strongly about changing:  
Replace the existing non-historic french door that accesses the existing front entry porch with a new  
contemporary glass window with sidelights and transom.  
Remove window in the current dining room and replace with 2 new windows that accommodate the current  
kitchen design.  
Install new 16'-0" wide X 9'-0" high Retractable doors at rear family room.  
Raise the floor level of the rear patio to be flush with the interior floor.  
Enlarge the rear patio and install contemporary railings.  
Replace the sunroom windows with new replica windows and replace the center rear facing fixed window with  
a single french door to access the rear patio.



EXISTING BASEMENT PLAN ~ DEMO PLAN  
scale: 1/4"-1'-0"

REVISIONS	
NO.	DATE



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
(650) 646-1610

EXISTING  
BASEMENT PLAN  
~  
DEMO PLAN

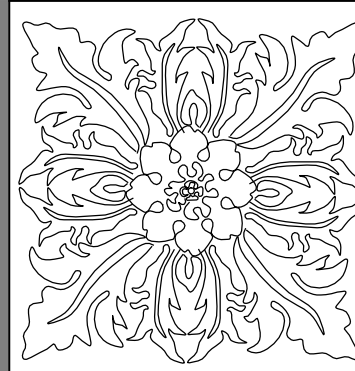


A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:  
M/M  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

A-3.0

REVISIONS	
NO.	DATE



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
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(650) 646-1610

Margaret Wimmer

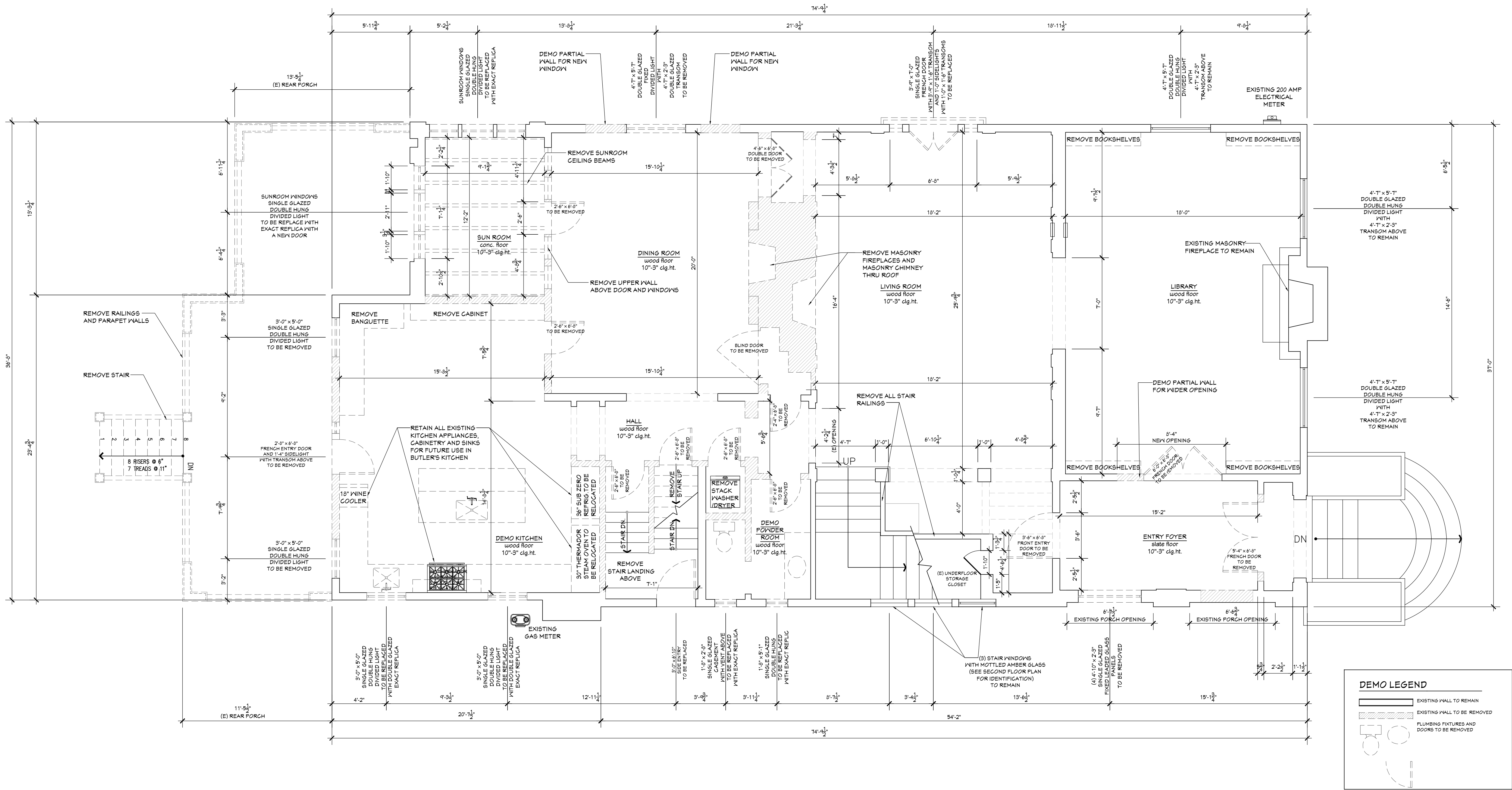
EXISTING FIRST FLOOR PLAN  
~  
DEMO PLAN



A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:  
MWN  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

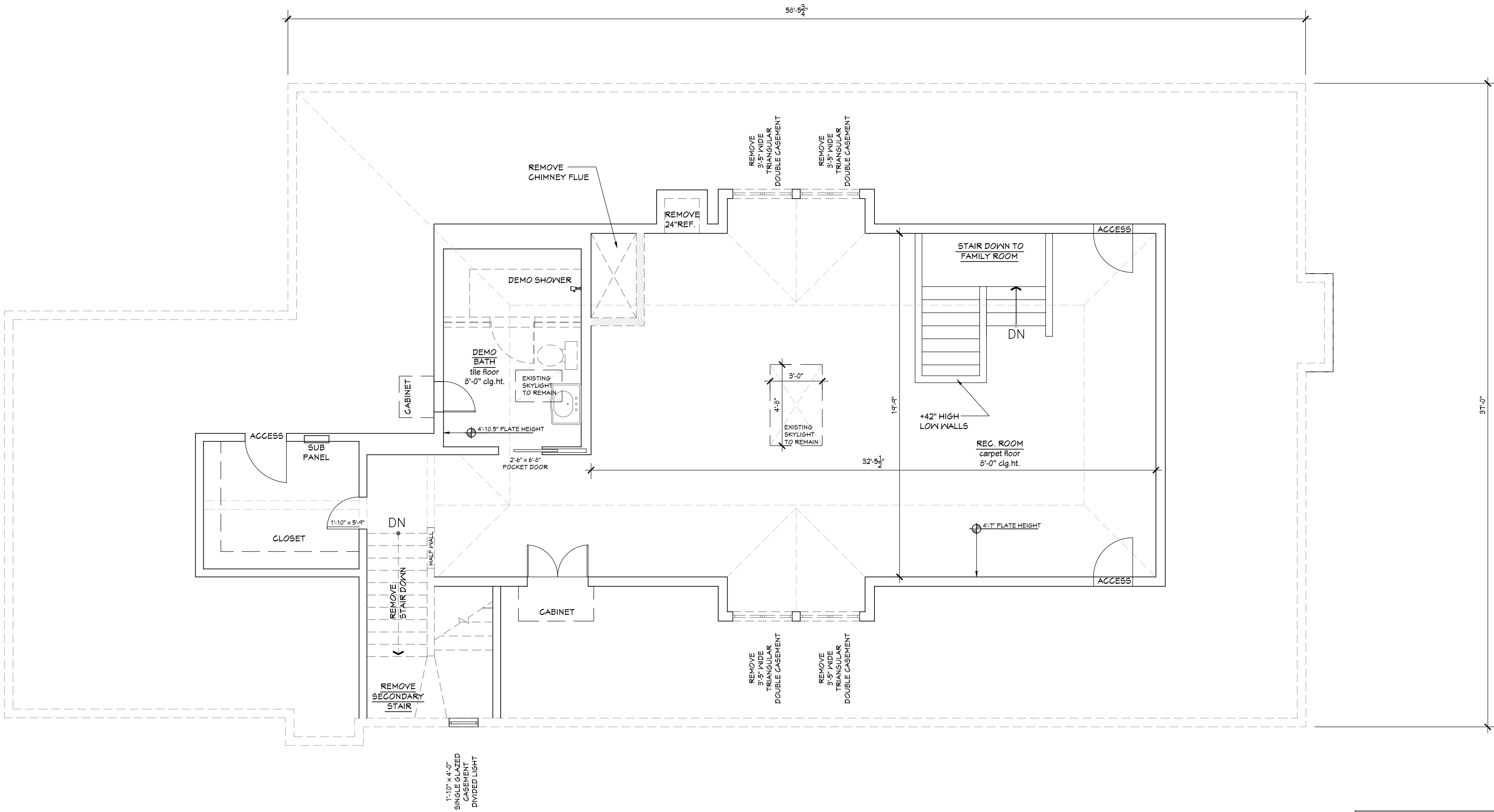
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EXISTING FIRST FLOOR PLAN ~ DEMO PLAN  
scale: 1/4"=1'-0"







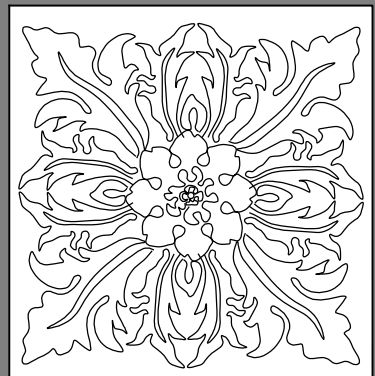
DEMO LEGEND

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

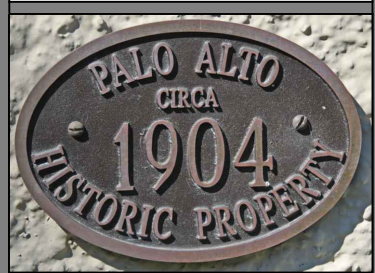
PLUMBING FIXTURES AND DOORS TO BE REMOVED

EXISTING THIRD FLOOR PLAN ~ DEMO PLAN  
scale: 1/4"-1'-0"



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P.O. BOX 60681  
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MMWIMMER@YAHOO.COM  
(650) 646-1610

EXISTING  
THIRD FLOOR PLAN  
~  
DEMO PLAN



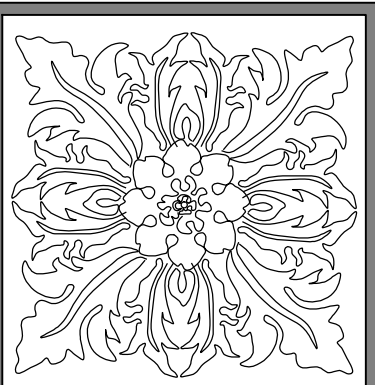
A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:  
M/W  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

A-3.3



REVISIONS	
NO.	DATE



MARGARET WINNER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWINNER@YAHOO.COM  
(650) 646-1610

PROPOSED  
BASEMENT PLAN



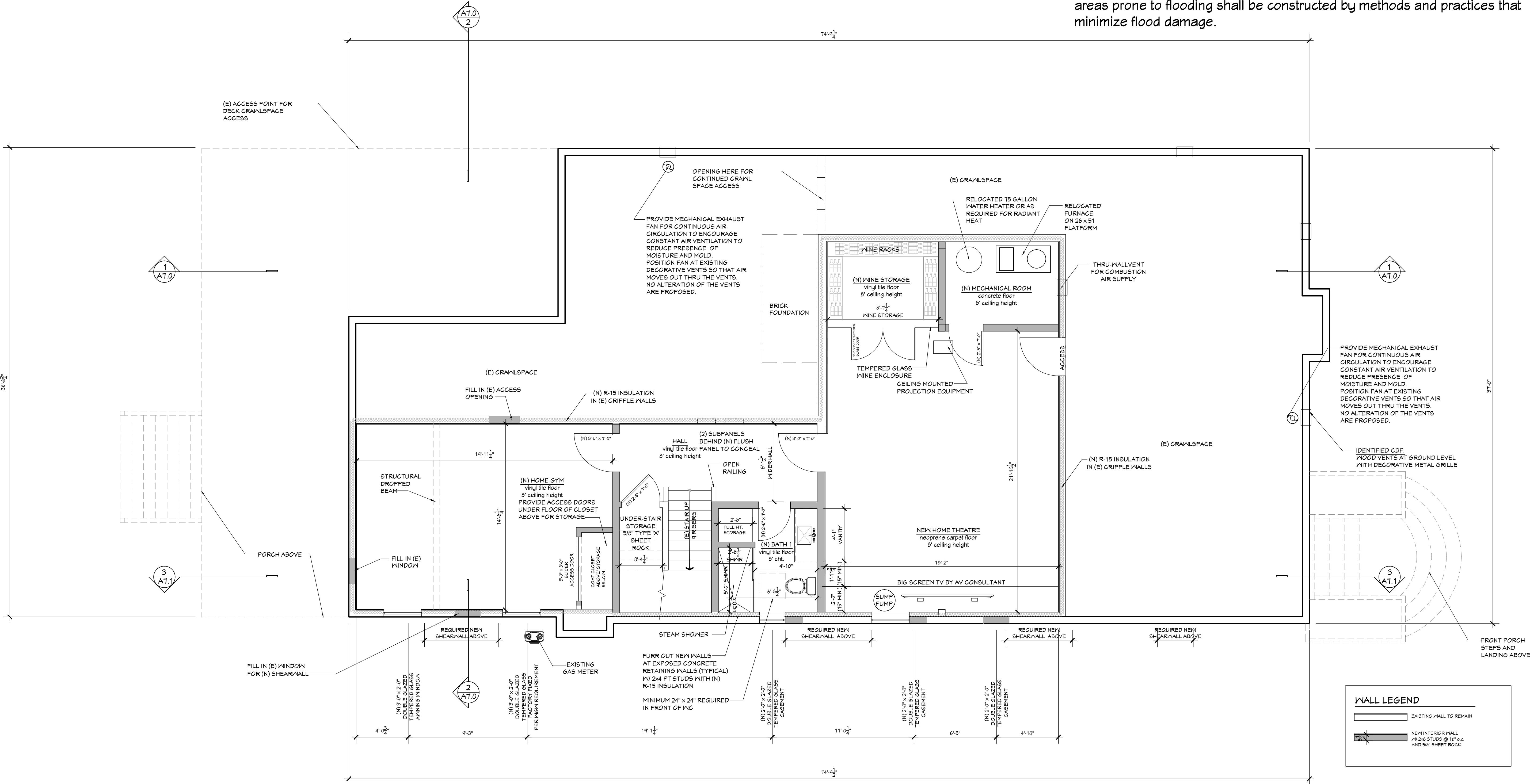
A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:  
M/W  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

A-4.0

**VOLUNTARY WATER RESISTIVE CONSTRUCTION NOTE:**  
THIS STRUCTURE IS IN A FLOOD ZONE, HOWEVER, DUE TO ITS HISTORIC STATUS, IT IS EXEMPT FROM ANY FEMA OR FLOOD ZONE REQUIREMENTS. WHEN POSSIBLE, ANY CONSTRUCTION OR FINISH MATERIALS BEING USED IN THE BASEMENT SHALL BE SELECTED WITH CONSIDERATION TO POSSIBLE WATER INTRUSION.  
ALL NEW STUDS SHALL BE PRESSURE TREATED.  
ALL FLOORING SHALL BE RESILIENT TO WATER DAMAGE.  
ALL TRIM MATERIAL SHALL BE PVC OR OTHER NON WATER ABSORBENT MATERIAL.  
ALL SHEET ROCK SHALL BE NOT WATER ABSORBENT  
AN ADDITIONAL EXHAUST FAN SHALL BE ADDED TO THE CRAWLSPACE TO ENCOURAGE CONSTANT AIR VENTILATION TO REDUCE PRESENCE OF MOISTURE AND MOLD.

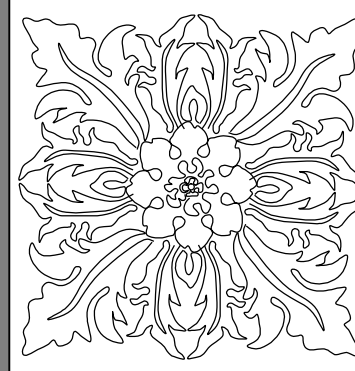
**CRC-R322.1.3** Flood-resistant construction. Buildings and structures erected in areas prone to flooding shall be constructed by methods and practices that minimize flood damage.



PROPOSED BASEMENT PLAN  
scale: 1/4"-1'-0"



REVISIONS	
NO.	DATE



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
(650) 646-1610

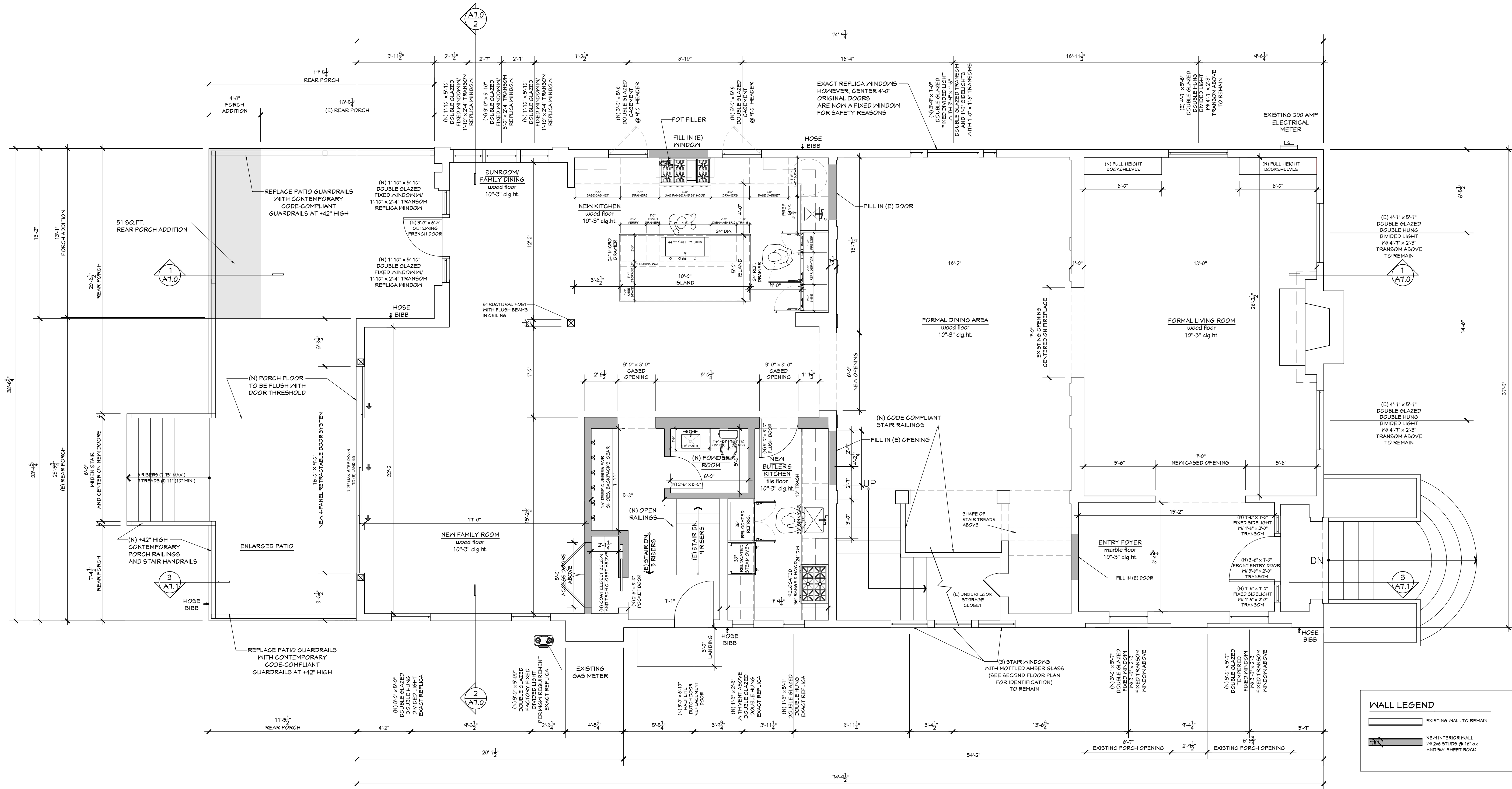
PROPOSED  
FIRST FLOOR PLAN



A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

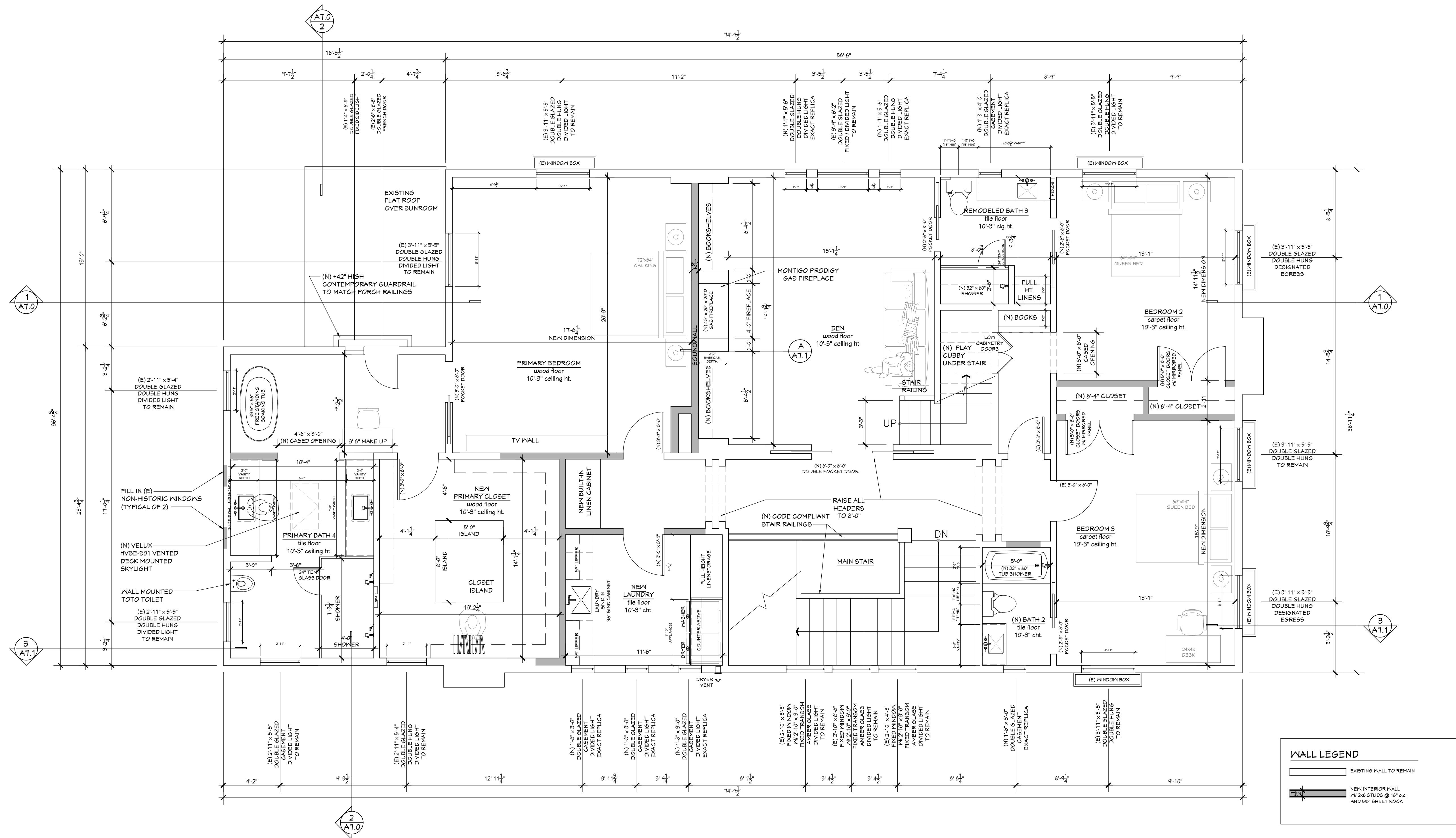
DRAWN BY:  
M/W  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

A-4.1



PROPOSED FIRST FLOOR PLAN  
scale: 1/4"=1'-0"





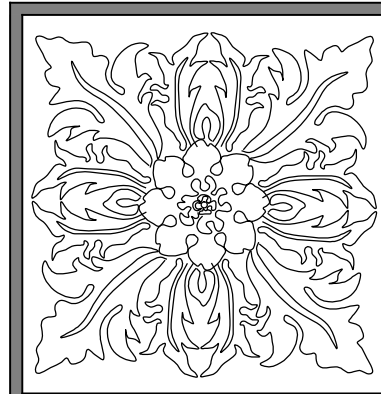
**WALL LEGEND**

EXISTING WALL TO REMAIN

NEW INTERIOR WALL  
IN 2x6 STUDS @ 16" o.c.  
AND 5/8" SHEET ROCK

PROPOSED SECOND FLOOR PLAN  
scale: 1/4"-1'-0"

REVISIONS	
NO.	DATE



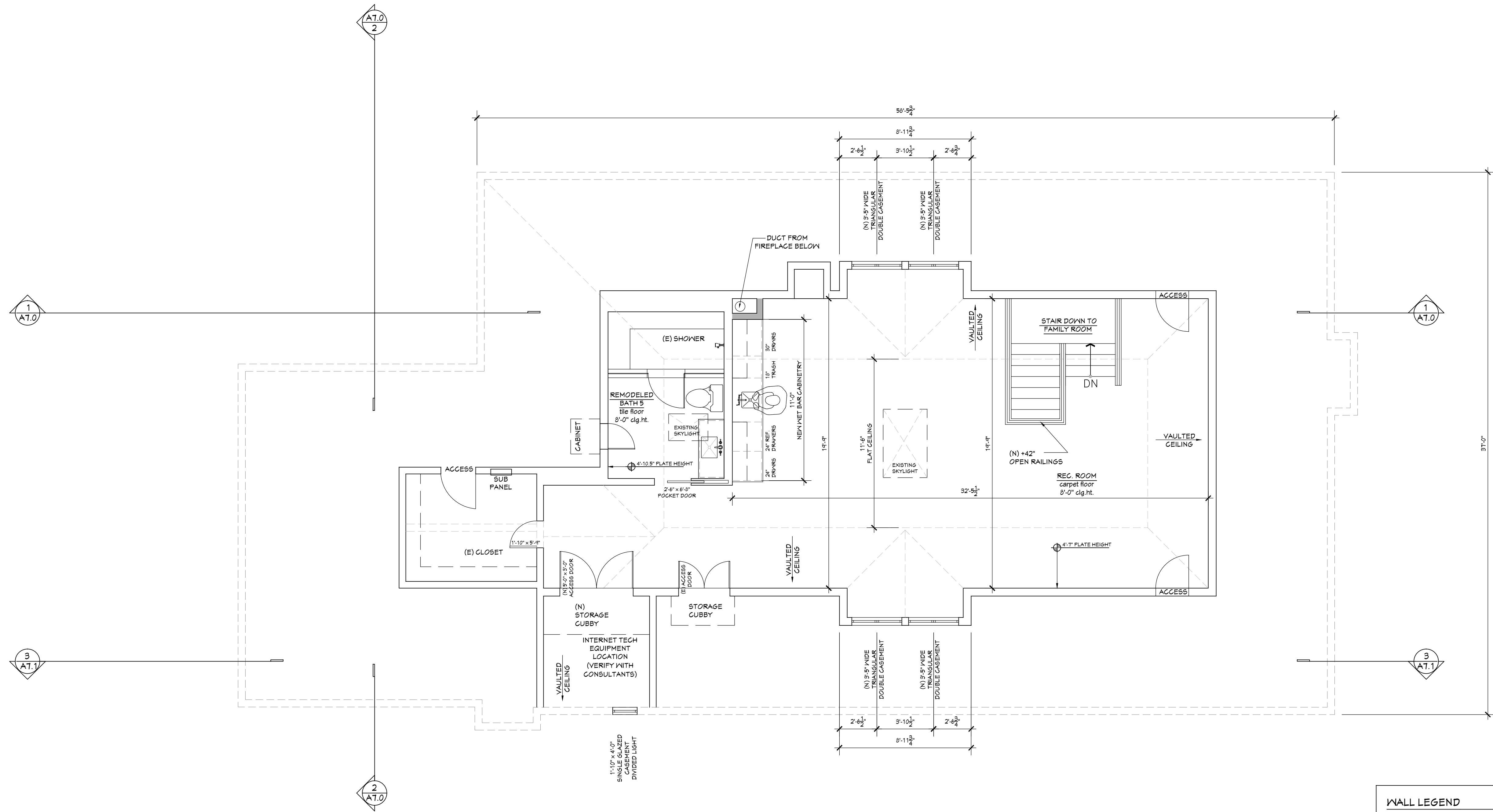
MARGARET WIMMER  
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P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
(650) 646-1610

PROPOSED  
SECOND FLOOR PLAN

PALO ALTO  
C. 1904  
HISTORIC PROPERTY

A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY: <b>MW</b>
DATE: <b>9/30/2021</b>
SCALE: <b>AS SHOWN</b>
SHEET NO.

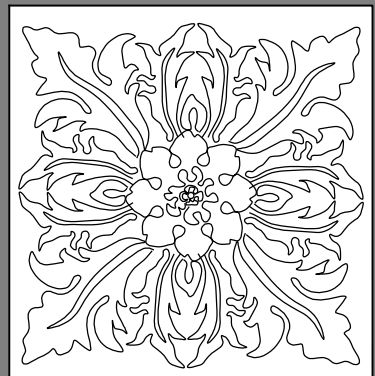


**WALL LEGEND**

EXISTING WALL TO REMAIN

NEW INTERIOR WALL  
4" x 24" STUDS @ 16" o.c.  
AND 5/8" SHEET ROCK

PROPOSED THIRD FLOOR PLAN  
scale: 1/4"-1'-0"



MARGARET WIMMER  
RESIDENTIAL DESIGN  
P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
(650) 646-1610

PROPOSED  
THIRD FLOOR PLAN



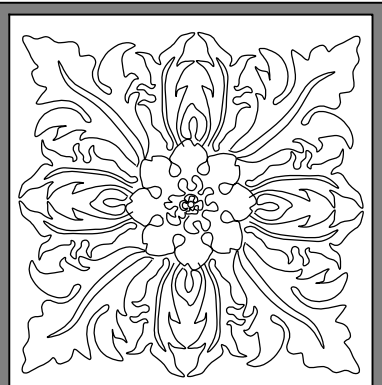
A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:  
MWN  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

A-4.3

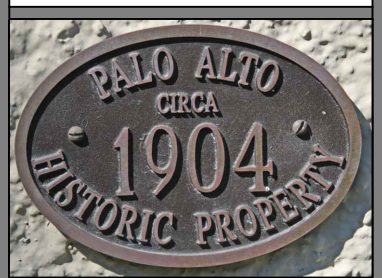


REVISIONS	
NO.	DATE



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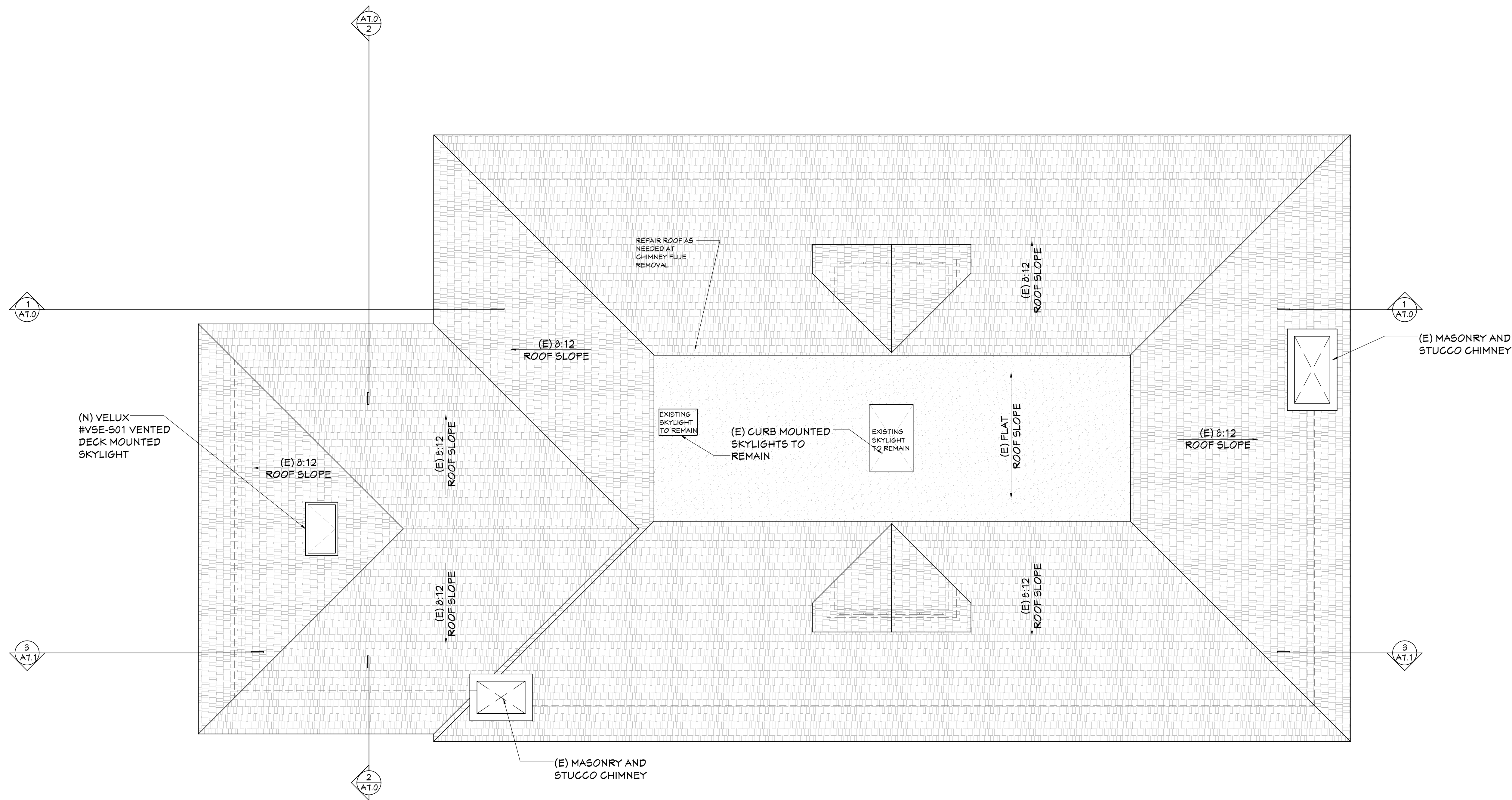
PROPOSED  
ROOF PLAN



A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:
MM
DATE:
9/30/2021
SCALE:
AS SHOWN
SHEET NO.

A-5.0



PROPOSED ROOF PLAN  
scale: 1/4"-1'-0"

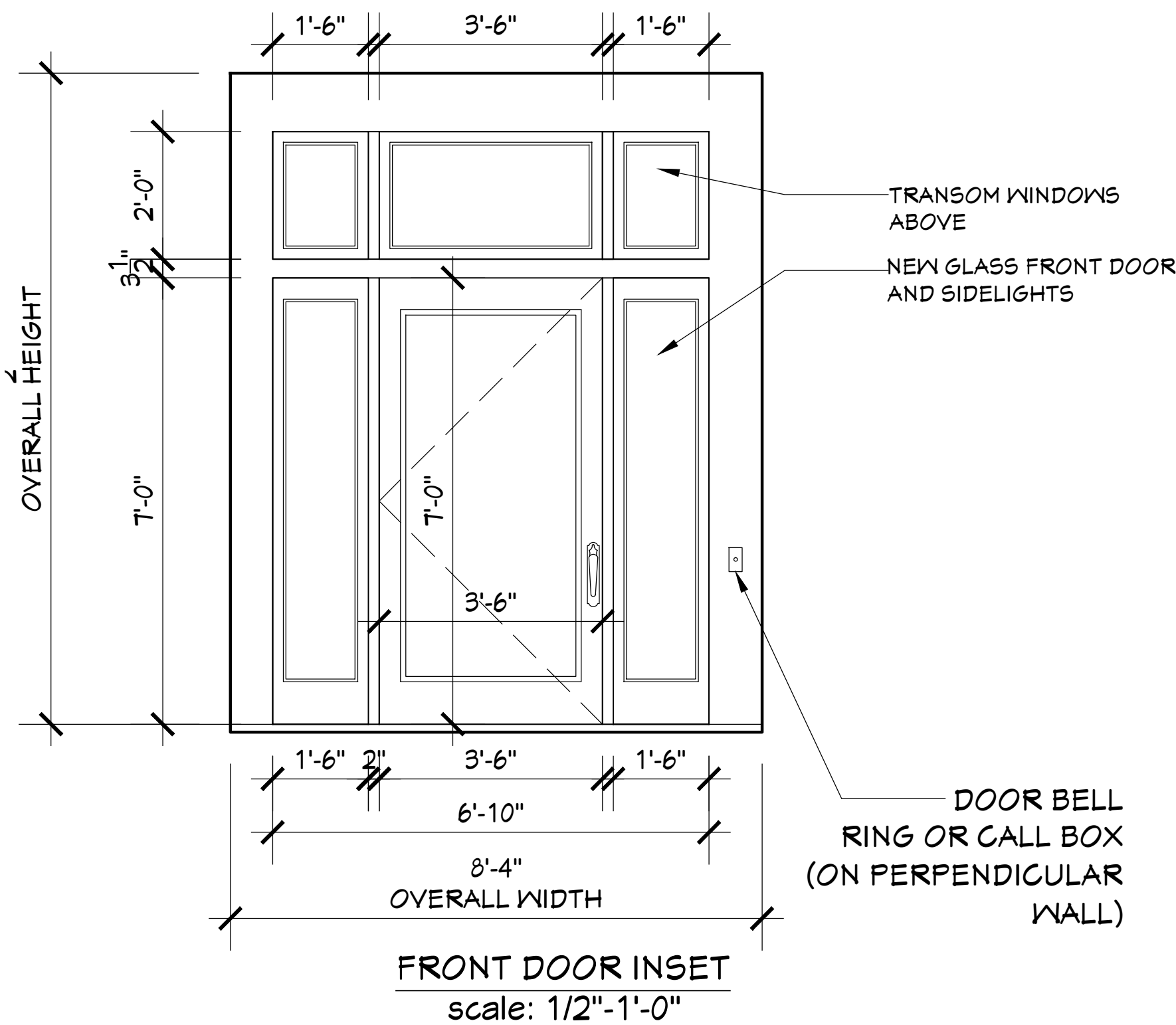


CHARACTER DEFINING FEATURES:

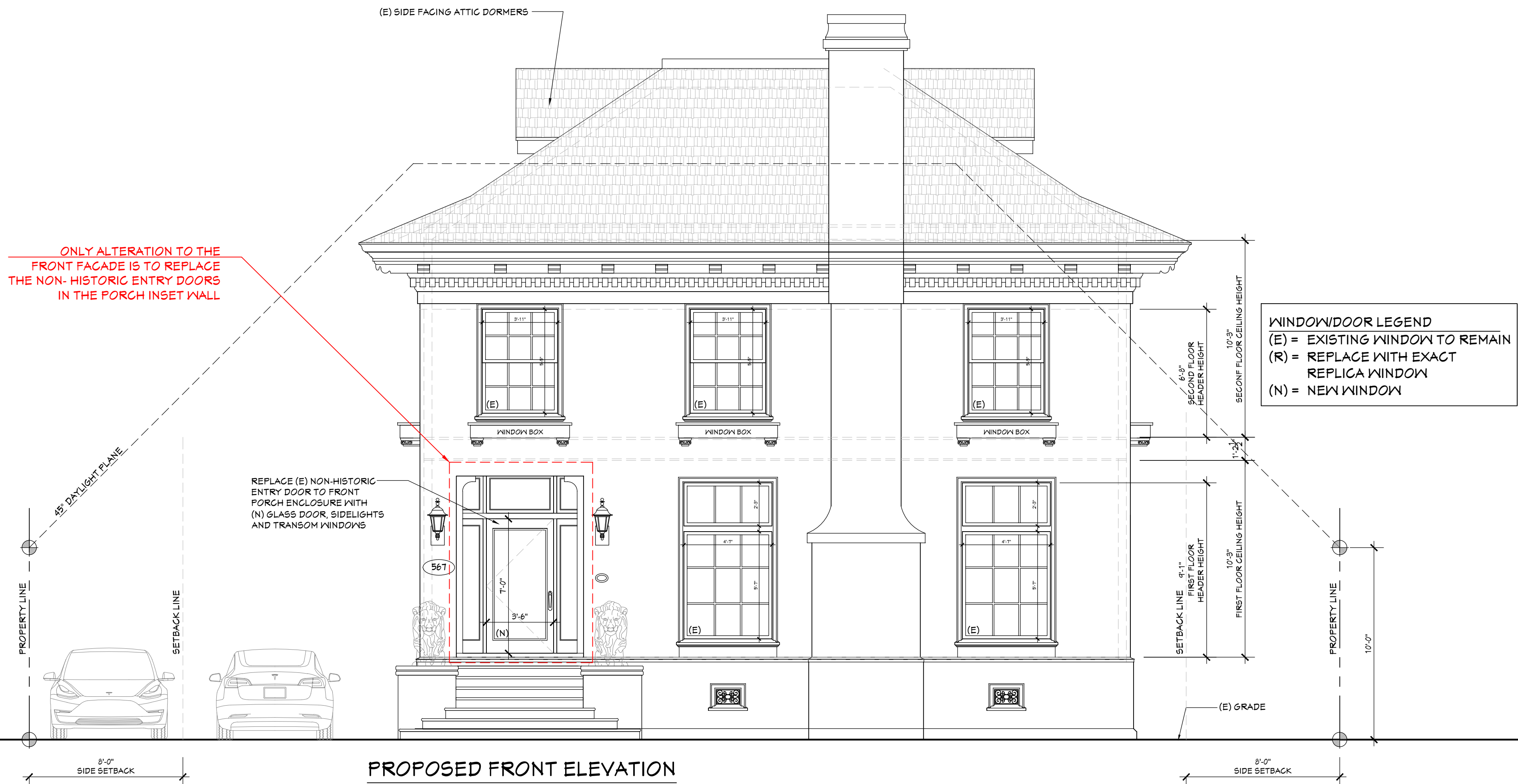
- Two-Story, Generally rectangular Massing
- Colonial Revival Style
- Stucco Cladding
- Flat-Top Hipped Roof
- Two Brick Chimneys
- Decorative Cornice with Dentils and Modillions at the Eaves
- Exposed Decorative Joists and Roof Detailing at Enclosed East Corner Porch (Rear Left Sun porch)
- Original Fenestration, Including:
  - Multi-lite Wood Fixed and Double Hung Windows in Wood Frames
  - Window arrangements at enclosed East Corner Porch
  - Multi-Lite Casement Window Arrangement ad Center Southeast Facade
  - Amber Glass Stair Windows at Northwest Facade
- Window Box Planters with Decorative Corbels
- Wood Vents at Ground Level around the House
- Entry Portico Framed by Shaped Jam-Shaft Pilasters with Molded Bases



FRONT ELEVATION REFERENCE PHOTOGRAPH

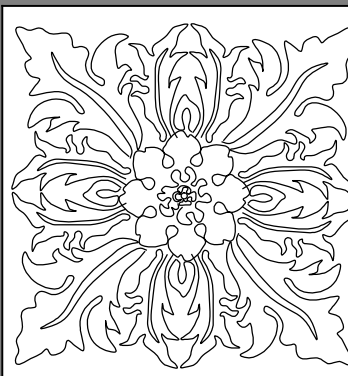


EXISTING FRONT ELEVATION  
scale: 1/4"-1'-0"



PROPOSED FRONT ELEVATION  
scale: 1/4"-1'-0"

REVISIONS	
NO.	DATE



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FRONT  
EXTERIOR ELEVATIONS



A Remodel For the:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

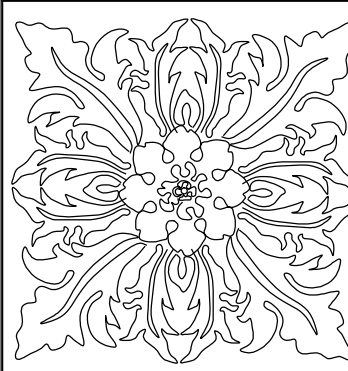
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MMW  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

A-6.0



## REVISIONS

NO.	DATE



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Margaret Wimmer

DRIVEWAY SIDE  
NORTH WEST  
EXTERIOR ELEVATIONS



A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:

MW

DATE:

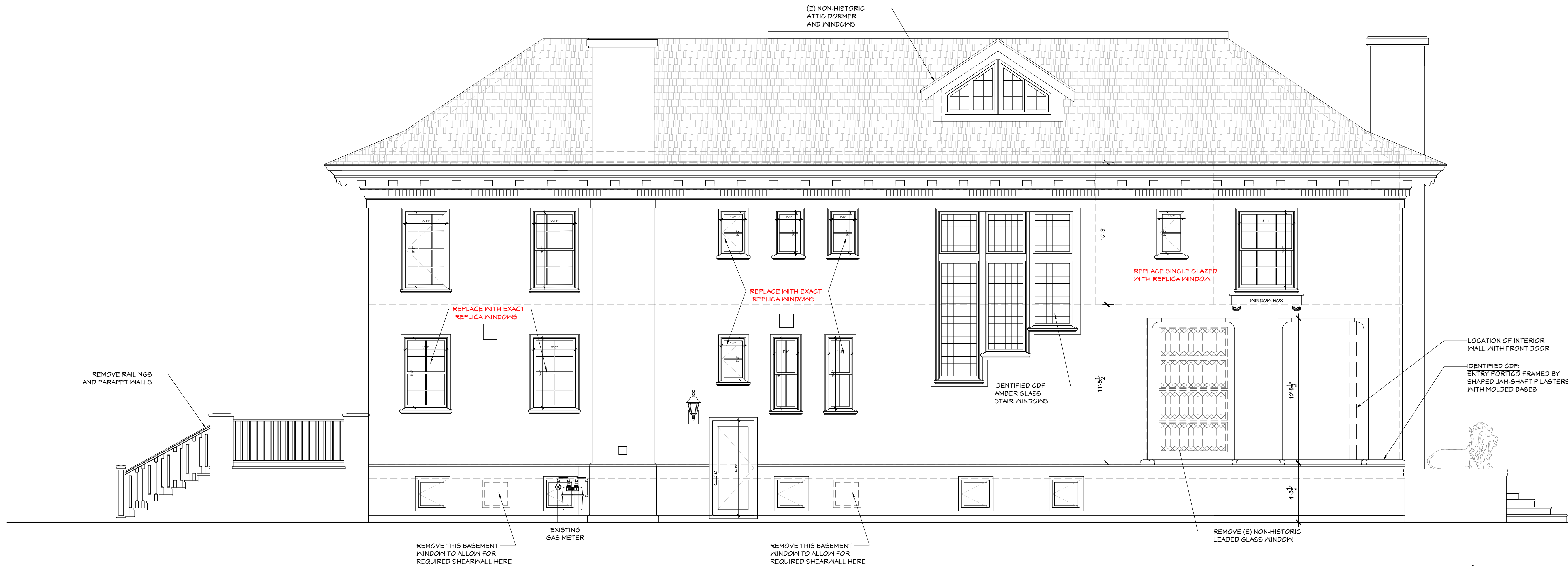
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SCALE:

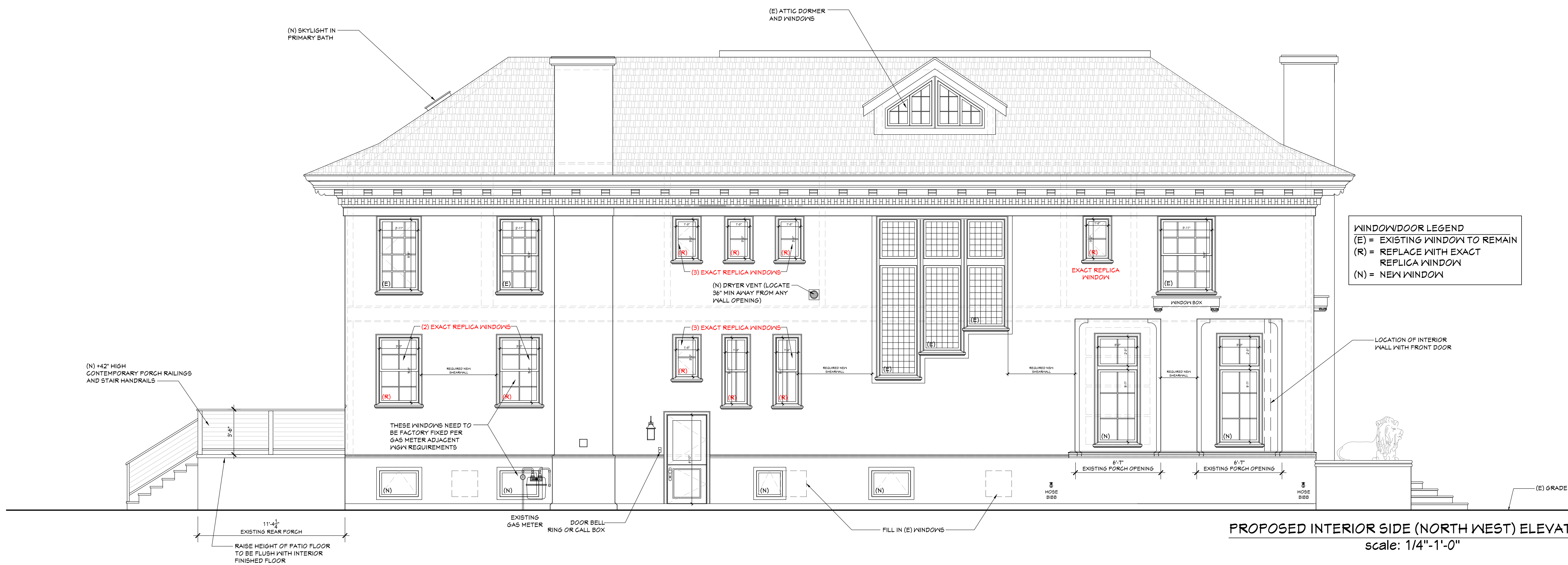
AS SHOWN

SHEET NO.

A-6.1



EXISTING INTERIOR SIDE (NORTH WEST) ELEVATION  
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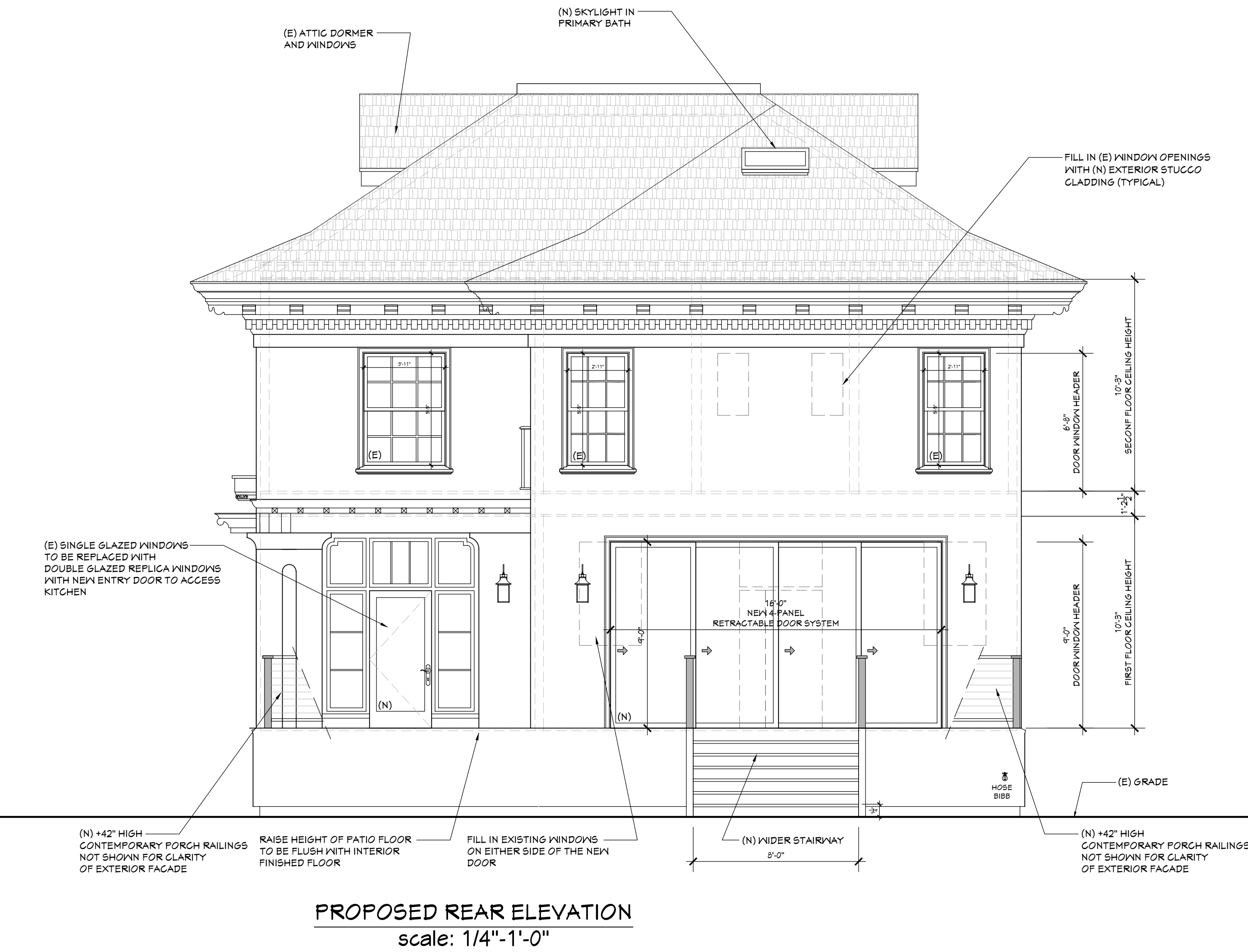
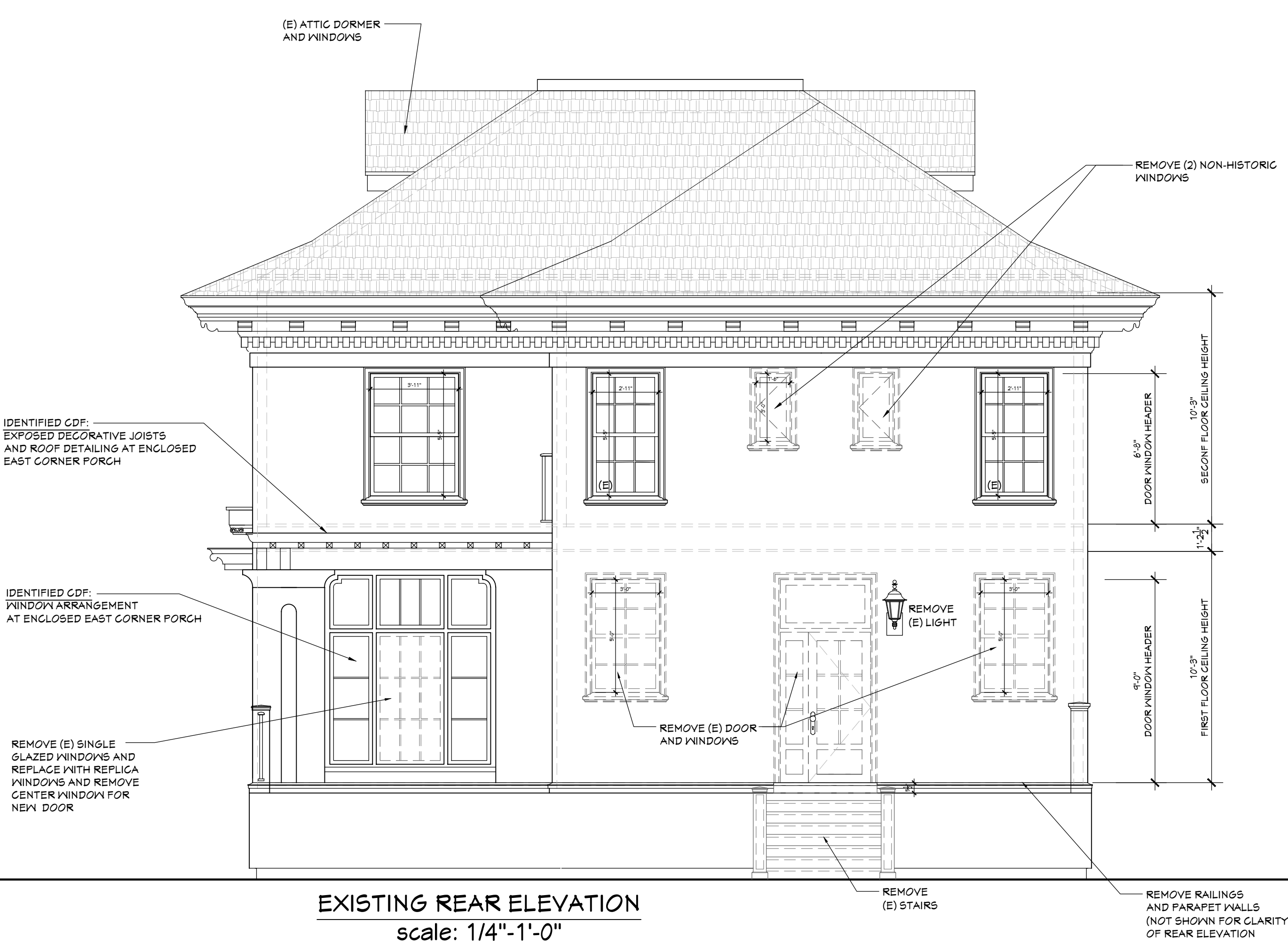


PROPOSED INTERIOR SIDE (NORTH WEST) ELEVATION  
scale: 1/4"=1'-0"

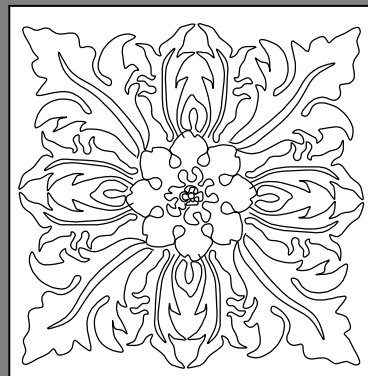




REAR ELEVATION REFERENCE PHOTOGRAPH

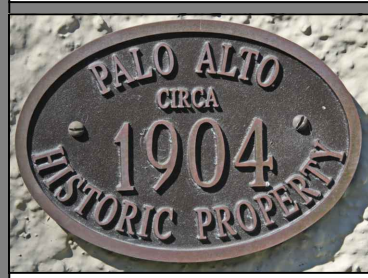


REVISIONS	
NO.	DATE



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PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
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REAR  
EXTERIOR ELEVATIONS

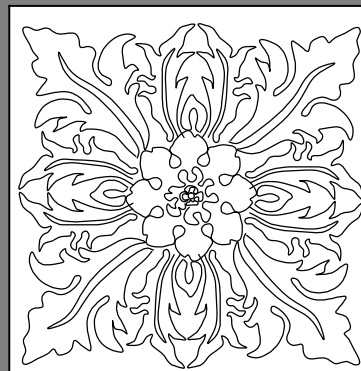


A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:  
M/W  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

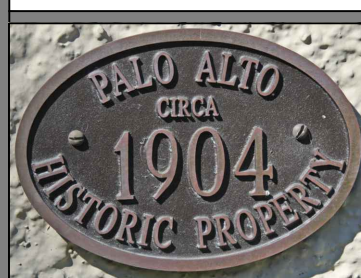
A-6.2





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(650) 646-1610

SOUTH EAST SIDE  
EXTERIOR ELEVATIONS



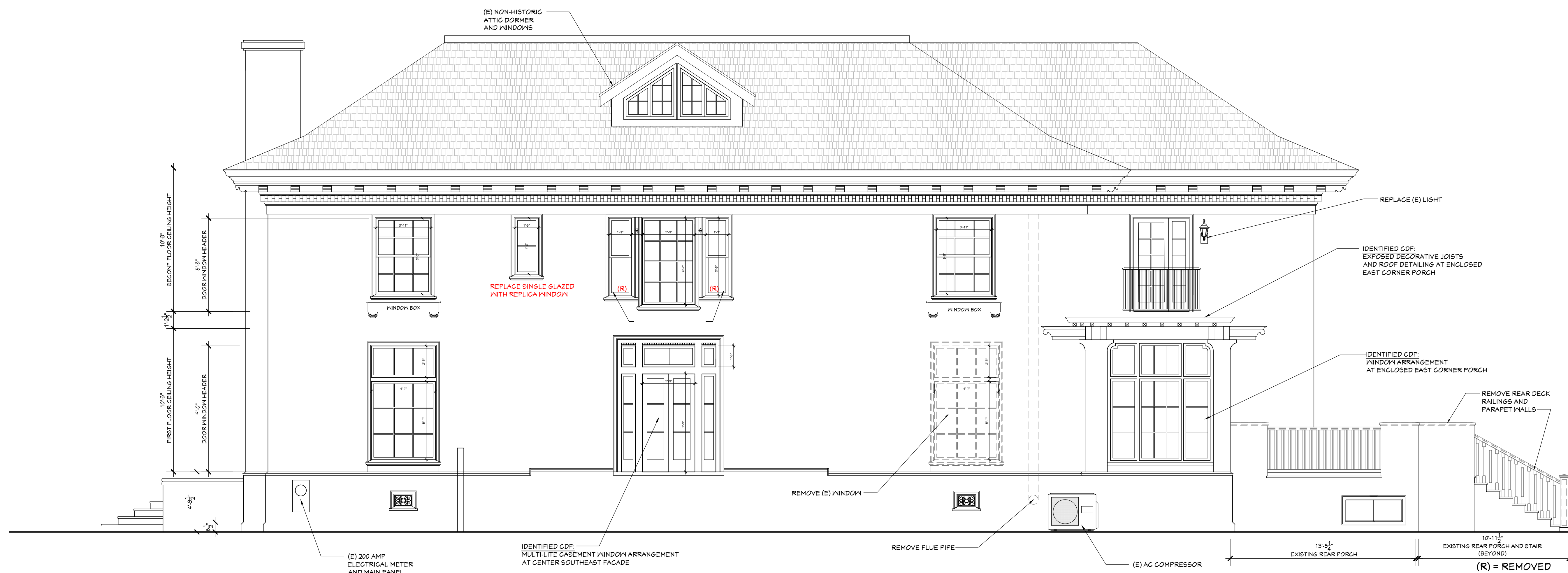
A Remodel For The:  
**SUN~PAO FAMILY**

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567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:  
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DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

## A-6.3



EXISTING INTERIOR SIDE (SOUTH EAST) ELEVATION  
scale: 1/4"-1'-0"



PROPOSED INTERIOR SIDE (SOUTH EAST) ELEVATION  
scale: 1/4"=1'-0"

**MEMORANDUM**

<p>DATE February 4, 2022</p> <p>TO Danielle Condit, Associate Planner Danielle.Condit@CityofPaloAlto.com</p> <p>OF City of Palo Alto Planning &amp; Development Services 250 Hamilton Avenue, 5<sup>th</sup> Floor Palo Alto, CA 94301</p> <p>CC Amy French, Chief Planning Official Ruth Todd, Principal, Page &amp; Turnbull Christina Dikas, Associate Principal</p>	<p>PROJECT 16252A.68 NUMBER</p> <p>PROJECT 567 Hale Street SOI Compliance Analysis (Voluntary Structural Upgrade)</p> <p>FROM Josh Bevan, AICP Cultural Resources Planner Page &amp; Turnbull bevan@page-turnbull.com</p> <p>VIA Email</p>
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REGARDING Update to Secretary of the Interior's Standards for Rehabilitation Analysis

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The City of Palo Alto has requested Page & Turnbull's review of revised plans relating to a voluntary seismic upgrade of the residence at 567 Hale Street in Palo Alto's Crescent Park neighborhood. On November 2, 2021, Page & Turnbull delivered a *Secretary of the Interior's Standards for Rehabilitation Compliance Analysis* (SOI Compliance Analysis) to the City of Palo Alto, which found that the proposed design prepared by Margaret Wimmer Residential Design did not meet SOI Rehabilitation Standards 2, 5, 6, 9, and 10. Page & Turnbull provided recommendations in the SOI Compliance Analysis to enable the proposed project to comply with the Standards, which would avoid a significant adverse impact to the historic resource. Page & Turnbull received an Individual Review Response Letter and a revised set of project plans titled "A Remodel for the Sun-Pao Family 567 Hale Street [Page & Turnbull Second Review]," delivered on November 30, 2021, prepared by Margaret Wimmer Residential Design (referred to hereafter as the Revised Plan Set). Per the City's request, Page & Turnbull reviewed the Revised Plan Set to determine if the revised project design meets the SOI Standards for Rehabilitation. On December 14, 2021, Page & Turnbull delivered a memorandum that confirmed that the project, as revised, complied with all 10 of the Rehabilitation Standards.

This memorandum has been prepared to provide an analysis of proposed alterations that were not included in previously submitted and reviewed plans that relate to installation of shear walls, which as proposed, would require removal and replacement of exterior stucco, which is a character-defining feature of the residence.

The proposed method of installation of shear walls for structural upgrade will be to “replace stucco to match (as needed), 3 coats minimum, over metal lath, over building paper, over structural sheathing, over existing stud framing, with new R-15 insulation,” which is noted on elevation drawing sheets.

Stucco would be removed from each façade in contiguous and non-contiguous sections. Regarding installation of new stucco, the *Secretary of the Interior’s Standards for the Treatment of Historic Properties* recommends “repairing stucco by removing the damaged material and patching with new stucco that duplicates the old in strength, composition, color, and texture.”<sup>1</sup> Page & Turnbull recommends that installation of the shear walls from the interior, rather than the exterior be considered for reasons that are outlined below.

#### Stucco Cracking and Filling

In general, stucco can be patched, but matching the new type to the historic will be important. Small cracks between the historic stucco and the new stucco are likely as the new stucco cures. Cracks would need to be filled once the stucco has cured. The existing historic stucco has a discernable texture, and a contractor in charge of construction should prepare mockups for matching the texture. Stucco matching would be based on testing of the material and the stucco’s aggregate gradation.

#### Depth of Stucco and Façade Plane Following Shear Wall Installation

The proposed plans call for at least three coats of stucco on top of the shear wall. Working from the exterior inward may result in an increased depth of the stucco that is not consistent with the historic exterior depth and appearance, which would be particularly visible at window openings and cause new and old stucco to be out of plane. Installation of shear walls from the interior would likely reduce the potential for increased stucco depth at the exterior. In some cases, installation from the exterior also manifests the deepening of door and window jambs, which would require modifications to the trim to preserve the historic relationship between the finish face of the stucco and the finish face of the exterior trim.

---

<sup>1</sup> *Secretary of the Interior’s Standards for the Treatment of Historic Properties* with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, (Washington, D.C.: U.S. Department of the Interior, National Park Service Technical Preservation Services, 2017), 34.

If the exterior installation method is the only feasible approach, Page & Turnbull recommends carefully blending and matching the new stucco with the old; however, the nature of installation may result in a greater degree of stucco replacement – potentially full replacement – which should be considered in finalizing the project scope.

### SOI Standards Compliance

The proposed project was previously determined to comply with all 10 of the Rehabilitation Standards prior to the review of the proposed shear wall installation and stucco replacement. In order to maintain full compliance and to avoid an impact to the building's integrity, the following conditions should be met:

- New stucco should match the old in color, texture, and depth along the façade plane
- Any cracks in the stucco discovered after the new stucco cures should be repaired
- Any exterior trim and detailing impacted by the installation of new stucco should be modified to accommodate the increased depth, repaired, and installed in accordance with recommendations provided in the Rehabilitation Standards

Details regarding the above conditions should be provided to the Palo Alto Planning and Community Development Department for review by Page & Turnbull, in order to confirm that the approach and final outcome will comply with the SOI Standards.



EXTERIOR SIDING NOTES

[CBC 1403.2] Exterior walls shall provide the building with a WEATHER -RESISTANT exterior wall envelope.  
[CBC 1404.2] [CRC-R703.2] WATER RESISTIVE BARRIER (FOR SIDING)- A minimum of One layer of No. 15 Asphalt Felt, Free from holes and breaks, complying with ASTM D226 for Type 1 Felt shall be applied over studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2" inches. Where joints occur, felt shall be lapped not less than 6" inches. The felt or other approved material shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to meet the requirements of the exterior wall envelope.  
[CBC 1405.4] FLASHING shall be installed to prevent moisture from entering the wall or to redirect that moisture to the exterior. Flashing shall be installed at the perimeters of exterior door and window assemblies, penetration and terminations of wall assemblies, intersections with roofs, chimneys, porches, decks, balconies et.

EXTERIOR STUCCO NOTES

[CRC-R703.7.1] ALL LATH and Lath attachments shall be of corrosion-resistant materials. Expanded metal or woven wire lath shall be attached with 1-1/2" inch-long nails, spaced at no more than 6 inches.  
[CBC 2512.1] [CRC-R703.7.2] EXTERIOR STUCCO - Plastering with portland cement plaster shall be not less than three coats where applied over metal lath or wire lath and shall be not less than two coats where applied over masonry, concrete, pressure-preservative treated wood or decay-resistant wood as specified in Section R317.1 or gypsum backing. If the plaster surface is completely covered by veneer or other facing material or is completely concealed, plaster application need be only two coats, provided the total thickness is as set forth in Table R702.1(1). On wood-frame construction with an on-grade floor slab system, exterior plaster shall be applied to cover, but not extend below, lath, paper and screed.  
[CBC 2512.1.2] [CRC-R703.7.2.1] WEEP SCREEDS - A minimum 26 gage corrosion-resistant weep screed or plastic weep screed, with a minimum vertical attachment flange of 3-1/2" inches shall be provided at or below the foundation plate line on exterior stud walls. The weep screed shall be placed a minimum of 4" inches above the earth or 2" inches above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. On wood-frame construction with an on-grade floor slab system, exterior plaster shall be applied to cover, but not extend below, lath, paper and screed. The weather-resistant barrier shall lap the attachment flange. The exterior lath shall cover and terminate on the attachment flange of the weep screed.  
[CRC-R703.2] WATER RESISTIVE BARRIER - One layer of No. 15 asphalt felt, free from holes and breaks, complying with ASTM D226 for Type 1 felt or other approved water-resistive barrier shall be applied over studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2" inches. Where joints occur, felt shall be lapped not less than 6" inches. The felt or other approved material shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to meet the requirements of the exterior wall envelope as described in Section R703.1. The water-resistive barrier is not required for detached accessory buildings.

[CRC-R703.4] FLASHING - Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA T11. Fluid-applied membranes used as flashing in exterior walls shall comply with AAMA T14. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashings shall be installed at the following locations:

- Exterior window and door openings.
- At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
- Under and at the ends of masonry, wood or metal copings and sills.
- Continuously above all projecting wood trim.
- Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
- At wall and roof intersections.
- At built-in gutters.



REMOVE EXISTING STUCCO SIDING AND INSTALL STRUCTURAL SHEAR WALLS AS REQUIRED FOR STRUCTURAL UPGRADE  
REPLACE STUCCO TO MATCH (AS NEEDED)  
3 COATS MINIMUM,  
OVER METAL LATH OVER BUILDING PAPER  
OVER STRUCTURAL SHEATHING OVER  
EXISTING STUD FRAMING, WITH NEW R-15 INSULATION

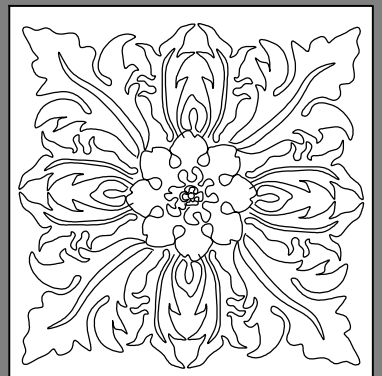
SHEAR WALL LOCATIONS REAR ELEVATION  
scale: 1/4"-1'-0"



REMOVE EXISTING STUCCO SIDING AND INSTALL STRUCTURAL SHEAR WALLS AS REQUIRED FOR STRUCTURAL UPGRADE  
REPLACE STUCCO TO MATCH (AS NEEDED)  
3 COATS MINIMUM,  
OVER METAL LATH OVER BUILDING PAPER  
OVER STRUCTURAL SHEATHING OVER  
EXISTING STUD FRAMING, WITH NEW R-15 INSULATION

SHEAR WALL LOCATIONS FRONT ELEVATION  
scale: 1/4"-1'-0"

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NO.	DATE:



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SHEARWALL LOCATIONS  
EXTERIOR ELEVATIONS



A Remodel For The:  
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PALO ALTO, CA 94301

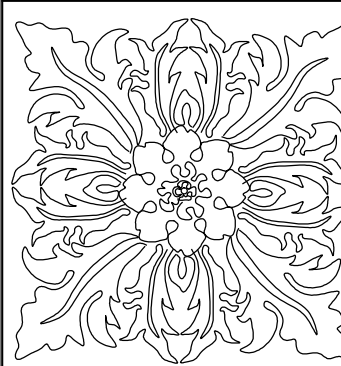
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MW
DATE:
9/30/2021
SCALE:
AS SHOWN
SHEET NO.

STSW



## REVISIONS

NO.	DATE



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P.O. BOX 60681  
PALO ALTO, CA 94306  
MMWIMMER@YAHOO.COM  
(650) 646-1610

SHEARWALL LOCATIONS  
EXTERIOR ELEVATIONS



A Remodel For The:  
**SUN~PAO FAMILY**  
567 HALE STREET  
PALO ALTO, CA 94301

DRAWN BY:  
MMW  
DATE:  
9/30/2021  
SCALE:  
AS SHOWN  
SHEET NO.

**STSW**

REMOVE EXISTING STUCCO SIDING AND INSTALL  
STRUCTURAL SHEAR WALLS AS REQUIRED FOR  
STRUCTURAL UPGRADE  
REPLACE STUCCO TO MATCH (AS NEEDED)  
3 COATS MINIMUM,  
OVER METAL LATH OVER BUILDING PAPER  
OVER STRUCTURAL SHEATHING OVER  
EXISTING STUD FRAMING, WITH NEW R-15 INSULATION



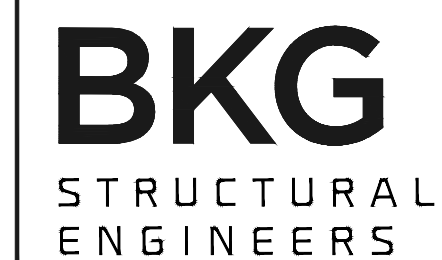
**SHEARWALL LOCATIONS DRIVEA SIDE (NORTHWEST) ELEVATION**  
scale: 1/4"-1'-0"

REMOVE EXISTING STUCCO SIDING AND INSTALL  
STRUCTURAL SHEAR WALLS AS REQUIRED FOR  
STRUCTURAL UPGRADE  
REPLACE STUCCO TO MATCH (AS NEEDED)  
3 COATS MINIMUM,  
OVER METAL LATH OVER BUILDING PAPER  
OVER STRUCTURAL SHEATHING OVER  
EXISTING STUD FRAMING, WITH NEW R-15 INSULATION



**SHEARWALL LOCATIONS INTERIOR SIDE (SOUTH EAST) ELEVATION**  
scale: 1/4"-1'-0"



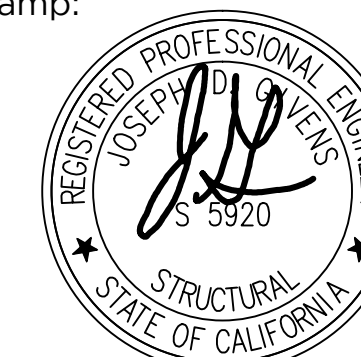


a California corporation  
1600 El Camino Real, Unit C  
San Carlos, CA 94070 650.489.9224

Project Title:  
A Remodel For The:  
Sun~Pao Family

Project Address:  
567 Hale Street  
Palo Alto, CA 94301

Stamp:



Date Signed: 09.29.21

Revisions:

[illegible]

Issue Date:

09/30/21

BKG Project No.:

21136

Scale:

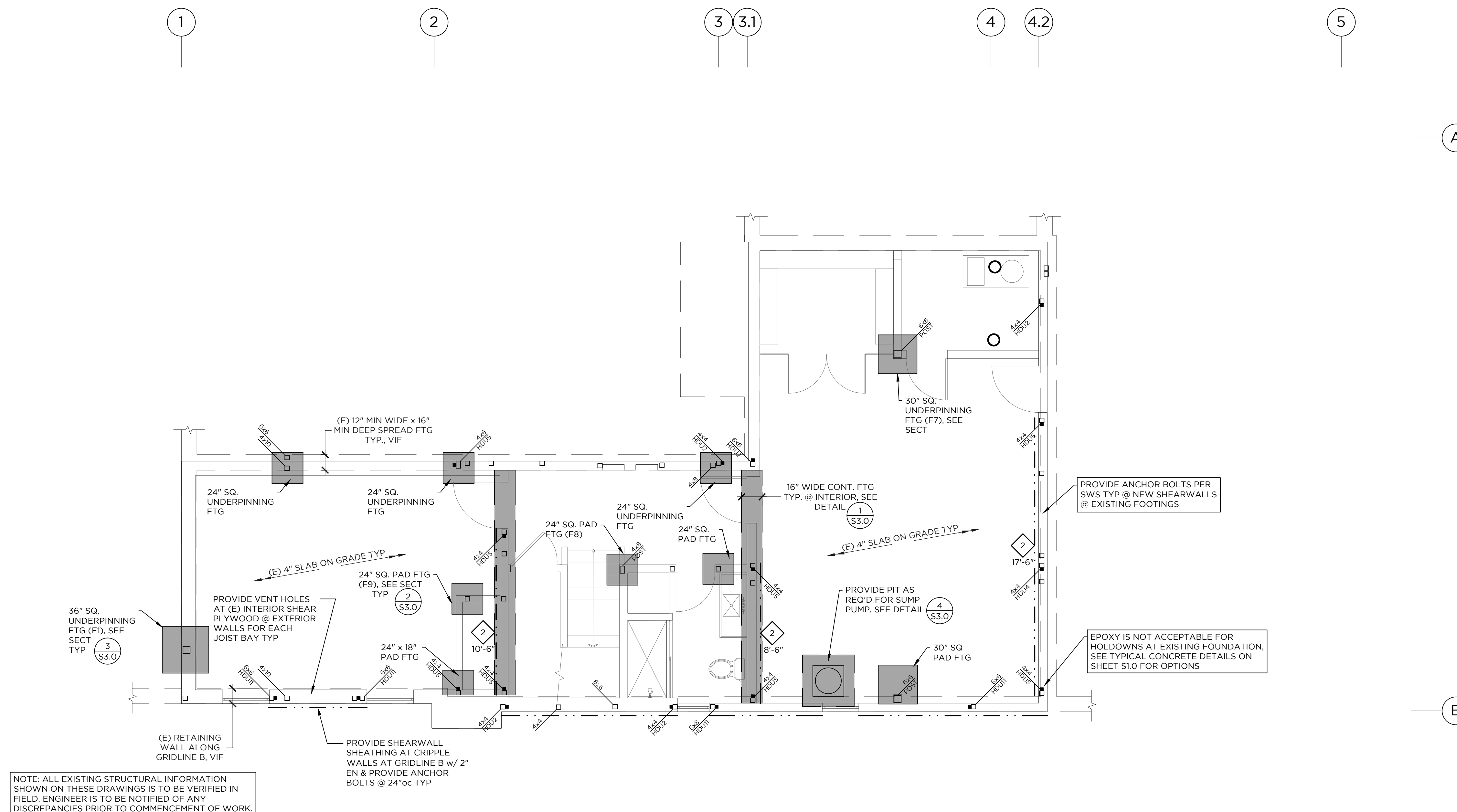
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Drawn By:

Drawn By:  
ECE / TG

Sheet Title:

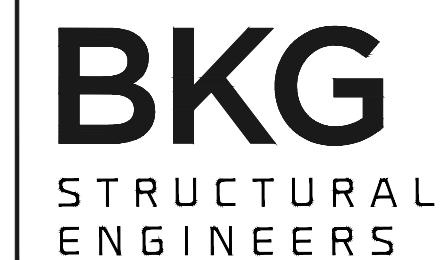
## Basement Plan



## BASEMENT PLAN

SCALE: 1/4" = 1'-0"

S2.0

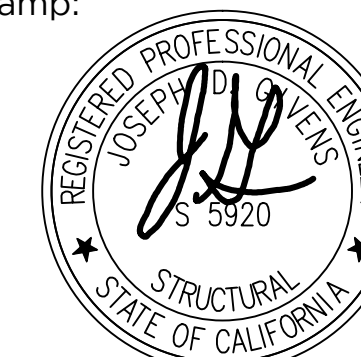


a California corporation  
1600 El Camino Real, Unit C  
San Carlos, CA 94070 650.489.9224

Project Title:  
A Remodel For The:  
Sun~Pao Family

Project Address:  
567 Hale Street  
Palo Alto, CA 94301

Stamp:



Date Signed: 09.29.21

Revisions:

[illegible]

Issue Date:

09/30/21

BKG Project No.:

21136

Scale:

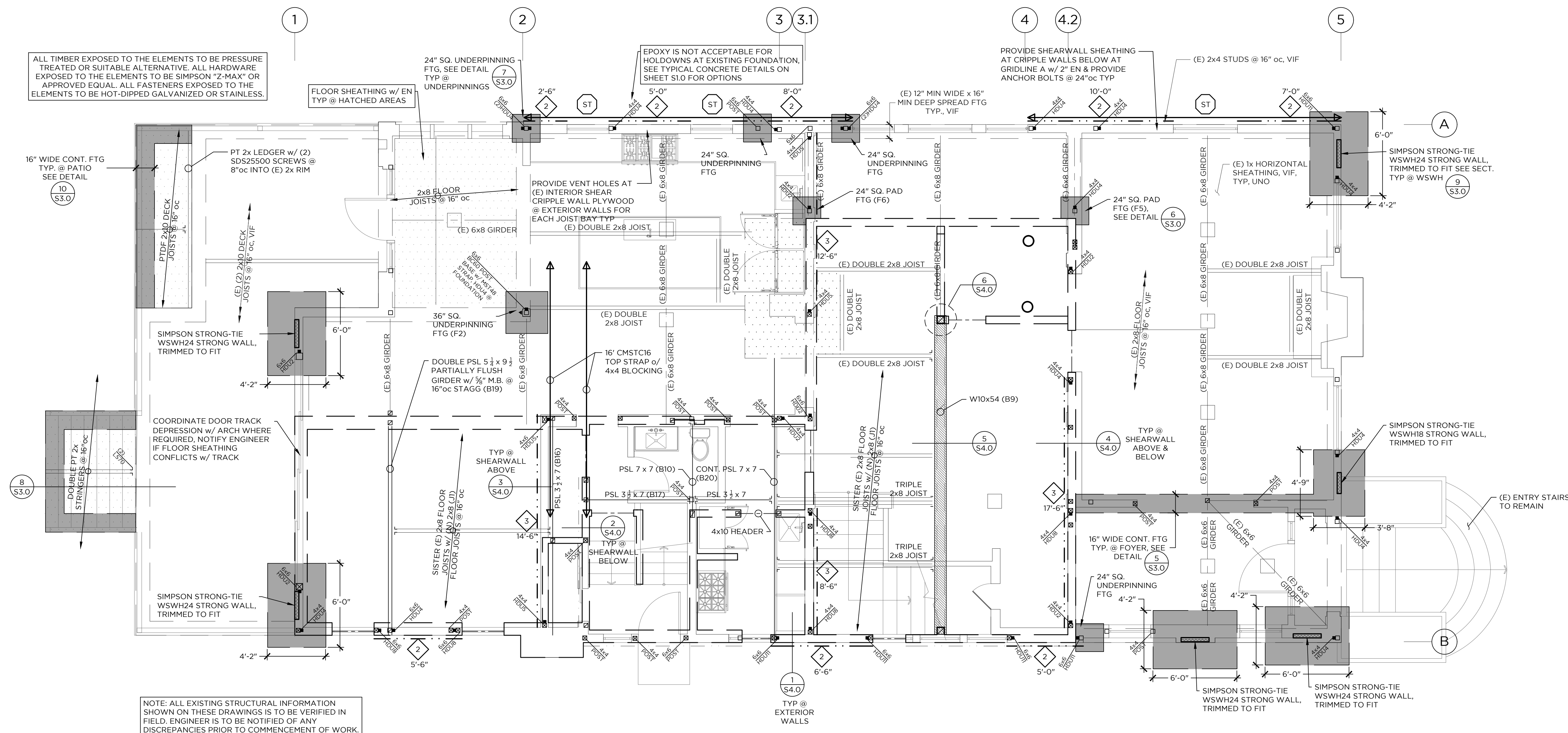
AS NOTED

Drawn By:

ECE / T

Sheet Title:

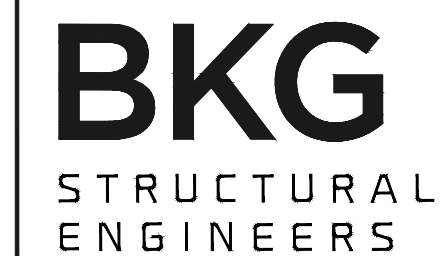
Foundation /  
First Floor  
Framing Plan



## FOUNDATION / FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

## S2.1

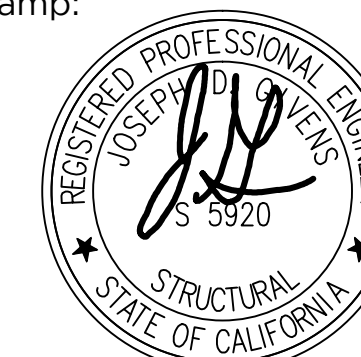


a California corporation  
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San Carlos, CA 94070 650.489.9224

Project Title:  
A Remodel For The:  
Sun~Pao Family

Project Address:  
567 Hale Street  
Palo Alto, CA 94301

Stamp:



Date Signed: 09.29.21

Revisions:

[illegible]

Issue Date:

09/30/21

BKG Project No.:

21136

Scale:

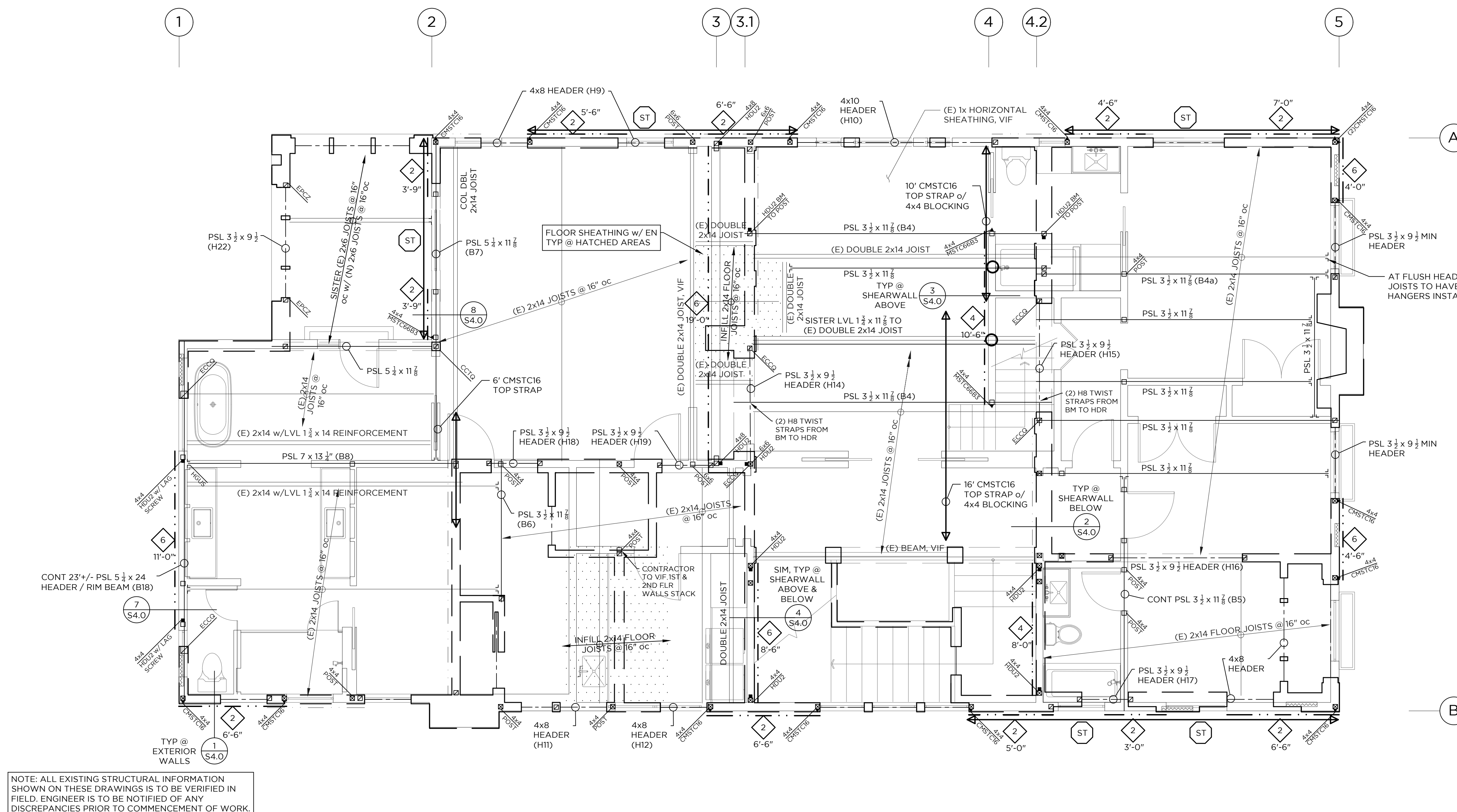
AS NOTED

Drawn By:

Drawn By:  
ECE / TG

Sheet Title:

Second Floor /  
Low Roof  
Framing Plan



## SECOND FLOOR / LOW ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

## S2.2

FOR PLAN NOTES AND  
LEGEND, SEE SHEET S1.3



a California corporation  
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San Carlos, CA 94070 650.489.9224

Project Title:  
A Remodel For The:  
Sun-Pao Family

Project Address:  
567 Hale Street  
Palo Alto, CA 94301

Stamp:



Date Signed: 09.29.21

Revisions:

No.	Date	Description

Issue Date:

09/30/21

BKG Project No.:

21136

Scale:

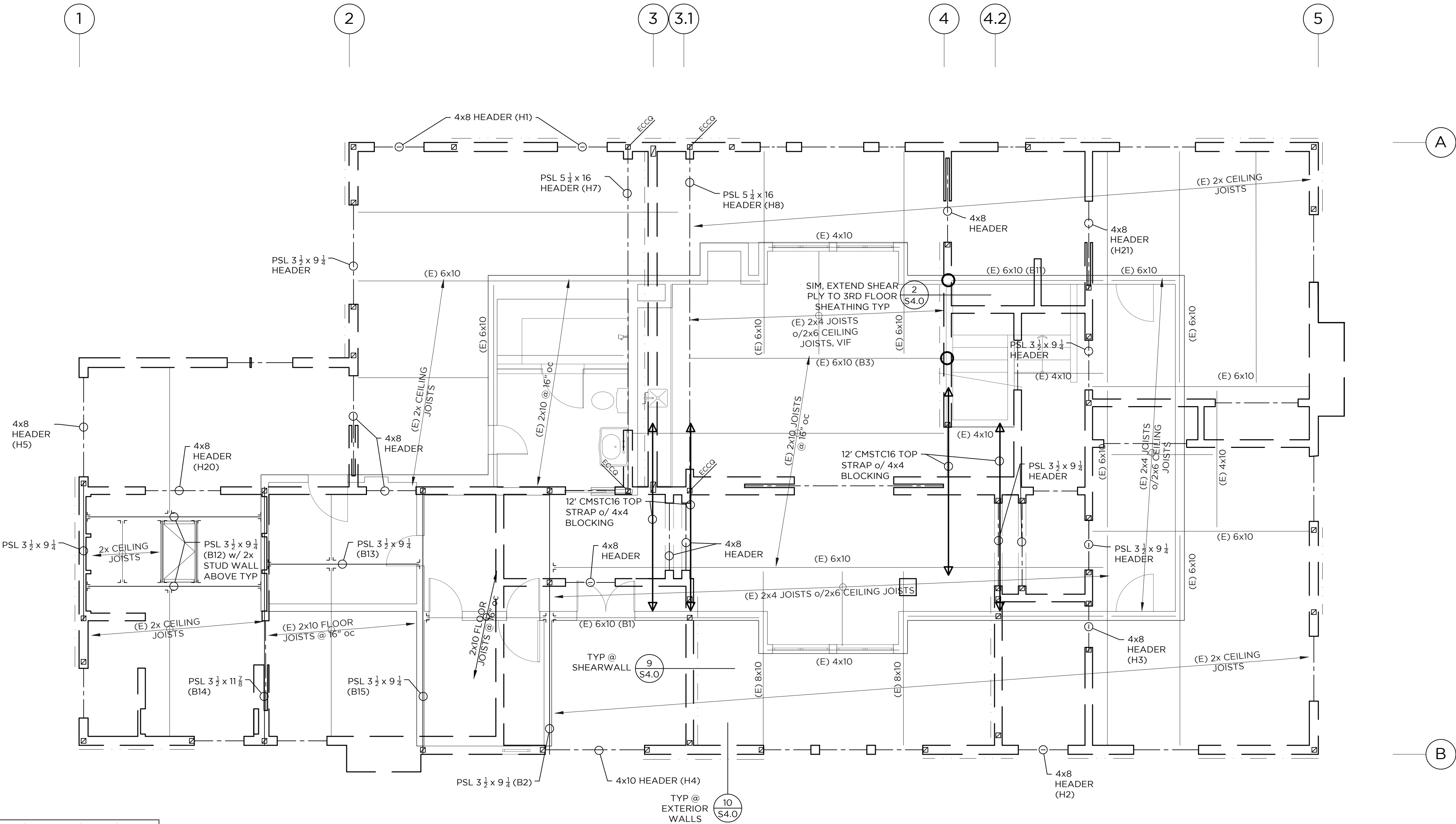
AS NOTED

Drawn By:

ECE / TG

Sheet Title:

Third Floor /  
Low Roof  
Framing Plan



NOTE: ALL EXISTING STRUCTURAL INFORMATION  
SHOWN ON THESE DRAWINGS IS TO BE VERIFIED IN  
FIELD. ENGINEER IS TO BE NOTIFIED OF ANY  
DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.

THIRD FLOOR / LOW ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

S2.3

**MEMORANDUM**

DATE	August 27, 2021	PROJECT	16252A.68
		NUMBER	
TO	Danielle Condit, Associate Planner	PROJECT	567 Hale Street, Palo Alto
OF	City of Palo Alto	FROM	Barrett Reiter, Architectural
	Planning & Development Services		Historian, Page & Turnbull
CC	Christina Dikas, Associate Principal,	VIA	Email
	Page & Turnbull		

REGARDING 567 Hale Street – Character-Defining Features Memorandum

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**INTRODUCTION**

The City of Palo Alto has requested a Character-Defining Features Memorandum for the two-story residence at 567 Hale Street (formerly, 1001 Hamilton Street) in Palo Alto's Crescent Park neighborhood. The residence and a detached garage were designed by the prominent San Francisco architecture firm Bliss and Faville and built by C.H. Lewis and H. Bruecker for Walter D. Tobey. The residence was completed in 1904 and was designed in the Classical Revival style.<sup>1</sup>

**METHODOLOGY**

On August 13, 2021, Page & Turnbull staff conducted a site visit to document the property's existing design and features. Limited historical research at the archives of the Palo Alto Historical Association was performed to supplement previous findings. City of Palo Alto staff provided Page & Turnbull with additional information, including:

- State of California Department of Parks and Recreation Historic Resources Inventory form for 567 Hale Street (1978, Updated in 1984)
- Building permits for 567 Hale Street (1965-2016)
- Planning application materials for 567 Hale Street (1990-1995)

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<sup>1</sup> "Palo Alto Historic Buildings Inventory: 567 Hale Street," Palo Alto Stanford Heritage, Accessed August 9, 2021. <https://www.pastheritage.org/inv/invH/567Hale.html>



## HISTORIC STATUS

567 Hale Street was listed in Palo Alto's Historic Inventory in 1979 as a Category 2 "Major Building."<sup>2</sup> A Category 2 building is defined within the City of Palo Alto's Historic Preservation Ordinance as "any building or group of buildings of major regional importance, meritorious works of the best architects or an outstanding example of an architectural style or the stylistic development of architecture in the state or region. A major building may have some exterior modifications, but the original character is retained."<sup>3</sup>

The period of significance for 567 Hale Street has not been previously established. As the building has been identified as significant for its architecture, its period of significance is 1904, which corresponds to the period of the building's construction. Alterations that have taken place since the building's construction are not considered significant to the building.

## ARCHITECTURAL DESCRIPTION

The L-shaped property at 567 Hale Street contains a two-story residence and a freestanding, two-story garage, both designed in the Classical Revival style (**Figure 1**). A paved driveway connects the garage to Hale Street.



Figure 1: Aerial photograph of 567 Hale Street, with the approximate parcel boundary shown in dashed red line. Source: Google Maps, 2021. Edited by Page & Turnbull.

<sup>2</sup> Paula Boghosian and John Beach, "Historical and Architectural Resources of the City of Palo Alto," Historic Environment Consultants, February 1979.

<sup>3</sup> Palo Alto Municipal Code 16.49.020.



## MAIN RESIDENCE

The residence is set back from the street with a front lawn and landscaping, including a large hedge along Hale Street. A stone-paved driveway runs along the northwest property line, and a poured concrete pathway leads to the front entrance of the residence. The building is generally rectangular, with a one-story enclosed porch at the east corner set back from the northeast façade. The primary volume is capped with a flat top hipped roof. Windows consist of non-original fixed and operable divided-lite windows in wood frames with molded wood sills. Typical wood windows, doors, and vents are surrounded by molded wood frames. Windows are equally spaced across the southwest (front), southeast, and northeast façades. Each façade is capped with a decorative cornice with a plain wood frieze board with dentils, molded banding, circular vents at the soffit, and modillions at the eaves. At the perimeter of the roof is an ogee gutter that creates the outermost molded edge of the cornice.

### PRIMARY (SOUTHWEST) FAÇADE

The primary façade of 567 Hale Street is asymmetrically designed with an entry portico at the left (west) corner of the first story and a chimney shaft to the right (south) of the center. On the first floor, two full height fixed wood, nine-pane windows flank the chimney shaft (**Figure 2**). These windows are set in molded frames with molded sills and include three-pane, divided-lite transoms above. Below each of these windows is a wooden vent with typically molded wood frames. The second story features three typical double-hung six-over-six windows set in decorative molded frames with molded sills. Below each of these windows is a wood window box planter with decorative corbels.

The primary entrance sits within the portico at the west end of the primary façade; two shaped jam-shaft pilasters with molded bases frame the opening (**Figure 3**). The entry is accessed by a straight stair with curved treads, bullnose treads, electric riser-mounted step lights, and two metal lion sculptures on stuccoed bases. Two wall-mounted lanterns flank the portico, which contains a pair of wood French doors.



Figure 2: Primary (southwest) façade of 567 Hale Street. Looking northeast.



Figure 3: Detail of entry. Looking northeast.

## SOUTHEAST FAÇADE

The southeast façade faces a small river stone walkway along the southeast property line and is separated from the rear garden of the residence by a small metal gate (**Figure 4**). At the first story, there are three windows. At the south (left) and east (right) sides are two fixed wood nine-pane windows with three-pane transoms above. Below each of these windows is a typical wood vent, like those described on the primary façade. At the center of the façade, there is a large window arrangement set in a typical wood sash with wood sills and mullions. This arrangement features a pair of multi-lite wood casement windows with pair of hinged screens and a two-lite transom above. Two divided-lite, three-pane sidelights flank this central window with a single pane transom above each sidelight. The window frame includes dentil detailing at the head (**Figure 5**).

At the second story, on the south (left) and east (right), sides of the façade are two typical double-hung divided-lite six-over-six windows set in decorative molded frames with decorated molded sills. Below each of these windows is a wooden window box planter with decorative corbels. At the center of the second story of the southeast façade, there is a 12-pane fixed wood divided-lite window with typical molded wood sills and frames. Flanking this window are two double-hung two-over-two wood windows with wood screens. Two small two-lite operable windows with screens are to the left and right of this central window arrangement.

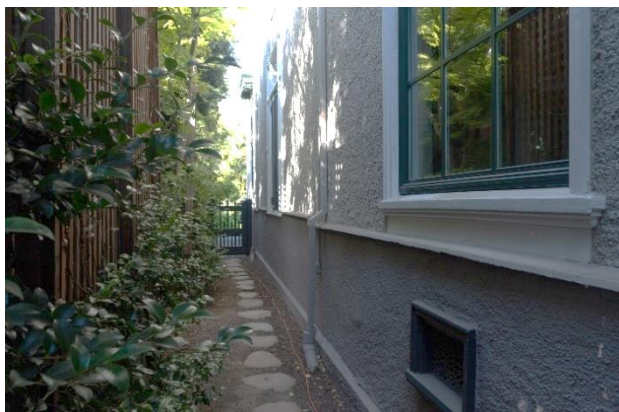


Figure 4: View down the first story of the southeast façade, showing path. Looking southwest.

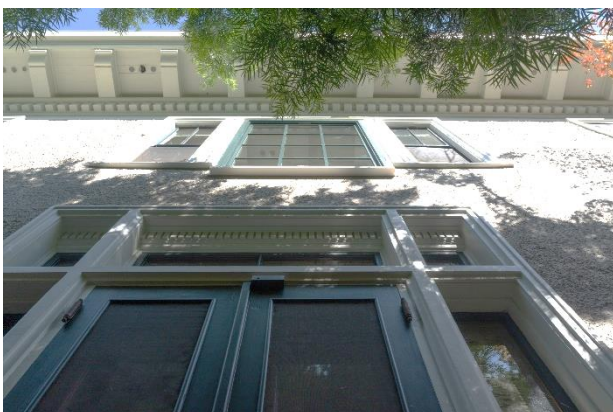


Figure 5: Windows at the center of southeast façade. Looking northwest.

## EAST CORNER OF HOUSE

The southeast façade features a one-story enclosed porch at the east corner (**Figure 6 & Figure 7**). A flat roof covers this porch with pergola-style exposed joists that have been decoratively cut at the ends. The roof includes an ogee gutter at the perimeter with decorative nailhead banding below, and is supported by a shaped cluster column at the freestanding corner and two engaged columns against the house at the southeast façade and at the southeast of the northeast façade.



Figure 6: Enclosed porch at the east corner of the house. Looking southwest.



Figure 7: Enclosed porch at the east corner of the house. Looking south.

The porch is enclosed on the southwest and northwest sides by full-height wood window arrangements divided by wood mullions. Each arrangement has six windows, one center six-pane wood window flanked to the left and right by two three-pane windows. Above these three windows are three transom windows; the center transom is a three-pane fixed wood window, with two single-pane casement transoms to the left and right.



Above the enclosed porch are a window and door. On the northeast façade of the primary volume of the house, there is a six-over-six double-hung wood window. On the southeast façade of the rear (northeast) side of the house, there is a 12-pane divided-lite wood French door. The door opens to a balconette with a molded woodrailing and densely spaced wood posts. To the upper right (northeast) of the French door is a small wall-mounted lamp. There is a gable-roof dormer at the roof level.

### REAR (NORTHEAST) FAÇADE

The northeast façade, to the right (north) of the enclosed porch, is symmetrically designed (**Figure 8**). At the center of the first story, there is an eight-lite glazed wood door and screen door. This door features an eight-pane sidelight to the left (east) of the door and a single-pane transom above. This rear entryway opens onto a deck and is illuminated by a single wall-mounted lantern to the upper right (north) (**Figure 9**). At the first story, there are two typical four-over-four wood windows. At the center of the second story, there is a pair of operable single-pane casement windows. There are also two typical six-over-six double-hung wood windows at the left (east) and right (north) sides of the façade (**Figure 10**).



Figure 8: View of northeast façade. Looking south.



Figure 9: View of the secondary entrance at northeast façade. Looking east.

The rear deck spans the entire width of the rear (northeast) façade of the house. The deck features a molded handrail and densely spaced posts between stuccoed pony walls at the corners. On-axis with the rear entrance to the house, there is a small stair into the back yard and driveway (**Figure 11**).



Figure 10: Second story of north corner or northeast façade. Looking south.



Figure 11: Oblique view of northeast façade showing northwest façade and driveway. Looking south.

## NORTHWEST FAÇADE

The northwest façade of 567 Hale Street has a variety of fenestration. A chimney is located approximately one-quarter from the left (north) side of the façade. To the left (north) of the chimney, on the first story, there are two typical four-over-four double-hung wood windows (**Figure 12**). To the right (west) of the chimney is a partially glazed typical wood entry door onto the driveway. Above this door is a two-pane fixed wood window. To the right (west) area fixed two-pane window with a ventilation grille above and a two-over-two double-hung wood window (**Figure 13**). Further to the right (west) is a group of three large stair windows with transoms above. These windows are set in typical frames and feature wood mullions and leaded amber glass panes in a grid arrangement (**Figure 14**). On the right (west) side of the façade, there are two recesses framed by shaped jam-shaft pilasters with molded bases that used to be openings on the side of the primary entrance portico but have since been infilled. The left (north) recess contains a full-height leaded glass window, and the right (west) recess is blind (**Figure 15**). Below the first story are seven typical wood vents, three to the left (north) of the chimney, two to the right (west) of the side entry door, and two below the large stair window.





Figure 12: View of northwest façade, showing the windows at the north corner. Looking south.



Figure 13: View of northwest façade, showing the windows at the center of the facade. Looking south.

At the second story, from left (north) to the right (west), is a nine-pane fixed wood window, a six-over-six double-hung wood window, followed by the chimney. To the right of the chimney are three two-lite casement wood windows, followed by the large stair windows described previously. To the right (west) of the stair are a small two-pane typical casement window and a six-over-six double-hung window with a wood window box planter with decorative corbels. There is a gable-roof dormer at the roof level.



Figure 14: Detail of amber windows at the center of the façade. Looking southeast.



Figure 15: View of windows at the west corner of the house. Looking southeast.

## Garage

The detached garage is located in the northernmost area of the property. It is a two-story wood-framed building clad in rounded double ogee wood siding with small, rounded wood profiles at the corners. The roof is hipped with open eaves, an ogee gutter at the perimeter, and gabled dormers at

the southeast side and west corners. Typical windows are wood divided-lite set in a wood sash, wood sill, and surrounded by a molded wood frame.

### PRIMARY (SOUTHEAST) FAÇADE

The primary façade of the garage is distinguished by a wood bifold door with exposed hardware at the first story, and a French door with a small wood handrail centered on a dormer at the second story. This gable-roof dormer features an exposed ridge beam at its center and anchors the returning eaves of the primary garage roof (**Figure 16**).

### NORTHEAST FAÇADE

The northeast façade has a large portion at the left (east) side of the first story façade where the siding has been replaced in-kind but does not line up with the older siding. The superior and left (east) sutures of this portion of siding have been covered with a wood plank (**Figure 17**). Above this area, a retractable awning is mounted to the wall. From the left (east) to the right (north), there is a partially glazed wood door and two four-over-one double-hung wood windows set in wood sashes and sills. There are two small single-pane typical fixed frame windows and a security light to the right (north) of this fenestration. At the north corner of the building, a metal gate controls access to the northwest area of the lot.



Figure 16: View of southeast façade of garage, with garage door and dormer. Looking northwest.



Figure 17: Oblique view of northeast façade of garage. Looking west.

### NORTHWEST FAÇADE

The first floor of the northwest façade has a doorway in the center which has been half-covered with plywood and half covered in plexiglass attached to the exterior. In front of the doorway, there is a wood-framed stair with a wood handrailing that ascends to a deck on the second floor (). This deck is supported by two wood columns and supports a small, gabled dormer that covers a portion of the



north corner of the garage (). This dormer covers the entrance to the second floor. This entrance is marked by a fully glazed wood door and includes a vinyl screen (). From the bottom of the deck at the second story to the roof, beneath the gabled dormer, the double ogee wood siding is smaller than the rest of the garage siding (**Figure 22**). At the left (north) side of the second story, there is a six-pane divided-lite steel window set in a typical wood sash and frame.

### SOUTHWEST FAÇADE

At the west corner of the garage, a metal gate controls access to the northwest area of the lot. From the left (west) to the right (south), the first level of the façade has a solid wood door surrounded by an flat wood frame and protected by a shed roof with wood brackets (). Beyond the door are three equally spaced six-pane fixed wood windows. At the second story, three windows align with the first story windows (**Figure 23**). The left (west) window is a single pane wood casement window. The two windows to the right (south) of the single pane window are six-pane wood casement windows.



Figure 18: View of northwest façade of garage .  
 Looking southeast.



Figure 19: Oblique view of northwest façade of garage, stair and gabled entry at second story.  
 Looking south.





Figure 20: Oblique view of entry at second story of garage. Looking east.



Figure 21: Oblique view of covered first floor entry at the west corner of the garage. Looking north.



Figure 22: Detail of gabled roof over entry at the second story of the garage. Looking southeast.



Figure 23: Secondary entrance at south end of west façade. Looking east.

## HISTORIC DEVELOPMENT

According to the Palo Alto Historic Buildings Inventory, the subject property at 567 Hale Street was constructed in 1904 and designed by Bliss & Faville Architects and built by C.H. Lewis and H. Bruecker. Bliss and Faville was among the most established architectural firms in San Francisco in the first quarter of the 20th Century, a period when the city largely rebuilt itself in the aftermath of

the 1906 Earthquake.<sup>4</sup> The house was built for Walter D. Tobey, a wealthy Palo Alto, who made a fortune in the Nevada lumber industry.<sup>5</sup> The Tobey family resided in the house until 1926. From 1930 to 1935, it was the home of George McKaig, a businessman whose son William was a very active supporter and fund-raiser for community and regional activities relating to outdoor life.<sup>6</sup>

The following is a brief overview of the development and major alterations that have taken place at the subject property since its construction.

- 1904 – Construction of 597 Hale Street<sup>9</sup>
- 1929 – Permit for change of use of barn to garage and shop<sup>10</sup>
- 1966 – Plot Plan for subdivision of lot<sup>11</sup>
- 1974 – Permit for roofing<sup>12</sup>
- 1990 – Permit for addition of attic dormers, new attic bathroom and stairs<sup>13</sup>
- 1993 – Permit for remodeling of kitchen<sup>14</sup>
- 1995 – Permit for new stairs and deck at rear of garage<sup>15</sup>
- 2012 – Permit for new composition shingle roof<sup>16</sup>
- 2016 – Remodel of kitchen and bathrooms<sup>17</sup>

When completed in 1904, the Tobey estate contained the residence and a barn with a stable and four servants' quarters. A pair of photographs show the barn, a grape arbor extending from the northwest side of the house, and a tankhouse which is mentioned in the text of Palo Alto Historic Resources Survey as having "details [that] were not neglected by the architects" (**Figure 24 and Figure 25**).<sup>18</sup> The tankhouse's location is also confirmed in a 1946 Sanborn Fire Insurance Map

<sup>4</sup> Information compiled from San Francisco City Directories and available at San Francisco Heritage Archives, 2007 Franklin Street, San Francisco, California 94109-2996.

<sup>5</sup> "Palo Alto Historic Buildings Inventory: Toney House, 567 Hale Street." Palo Alto Stanford Heritage.

<sup>6</sup> Ibid.

<sup>9</sup> Palo Alto Historic Resources Inventory, "567 Hale Street," DPR 523 A forms, 1978.

<sup>10</sup> "Planning Applications: 567 Hale Street," Permit 1859E, March 5, 1929, owner listed as Mary D. Buckley, on file at Palo Alto Development Services. Plans for this alteration were not available.

<sup>11</sup> "Plot Plan: 567 Hale Street," File# 65-LD-31, approved June 20, 1966, drawings by Paul Wilson Bosholm Architect and Planner, on file at Palo Alto Development Services

<sup>12</sup> "Building Permits: 567 Hale Street," Permit 6961, April 4, 1974, on file at Palo Alto Development Services. Plans for this alteration were not available.

<sup>13</sup> "Building Permits: 567 Hale Street," Permit 90-HIE-9, approved May 30, 1990, owner listed as Paul and Jan Anker, drawings by Thomas Whitford Design, on file at Palo Alto Development Services.

<sup>14</sup> "Building Permits: 567 Hale Street," Permit 93-1177, approved May 11, 1993, owner listed as Brad Anker, drawings by Nomad Construction Company, on file at Palo Alto Development Services.

<sup>15</sup> "Planning Applications: 567 Hale Street," Application 95-HRB-9, approved February 27, 1995, owner listed as Brad and Jan Anker, drawings by Elizabeth Doermann Architect, on file at Palo Alto Development Services.

<sup>16</sup> "Building Permits: 567 Hale Street," Permit 12-1356, June 18, 2012, C.J. Roofing Company, owner listed as Debbie Shepherd, on file at Palo Alto Development Services.

<sup>17</sup> "Building Permits: 567 Hale Street," Permit 15-3083, approved March 10, 2016, owner listed as Debbie Shepherd, drawings by Rocky Lowell Construction and Structural Design Associates, on file at Palo Alto Development Services.

**(Figure 26).** In 1929, the barn was repurposed as an automobile garage. Between 1935 and 1966, the tankhouse and grape arbor were demolished, the entry porch was enclosed, entry steps were modified, and the lot was subdivided in a manner that created an L-shaped lot at the corner of Hale Street and Hamilton Avenue. The lot was subdivided again in 1966, eliminating access to Hamilton Avenue, further increasing the density of the infill development of the block.



Figure 24: A 1905 photograph of a neighbor behind her home on University Avenue with the Tobey House at 567 Hale Street visible in the background. The auxiliary building which today is the garage is clearly visible. A red arrow highlights the tank house. Source: Palo Alto Historical Association. Edited by Page & Turnbull.



Figure 25: Undated Photograph of 567 Hale Street. The auxiliary building which today is the garage is clearly visible. A red arrow highlights the tankhouse. Source: Palo Alto Historical Association. Edited by Page & Turnbull.

In 1990, a new series of modifications were made to the property. Owners Mr. and Mrs. Anker remodeled the attic of the primary residence by adding three dormers to the roof, two on the northwest and southeast eaves and one on the primary (southwest) eave (**Figure 27 and Figure 28**) (The dormer over the primary façade has since been removed). In 1995, the Ankers added the steps, gabled dormer roof and deck to the rear (northwest) façade of the garage (**Figure 29**).

A site visit, in combination with a review of older photographs (**Figure 24, Figure 25, and Figure 30**), determined that many of the original windows on the first floor have been retained along the primary (southwest), northwest, and rear (northeast) façades. The amber-glass stair window also appears to be original. The multi-lite casement windows at the center of the southeast façade appear to be original. The glazed façades of the enclosed porch at the east corner of the house have been retained from the original designs. The garage also has original windows on the first floor, with the exception of the northeast façade, where a section of the exterior wall was replaced, and new windows were added.



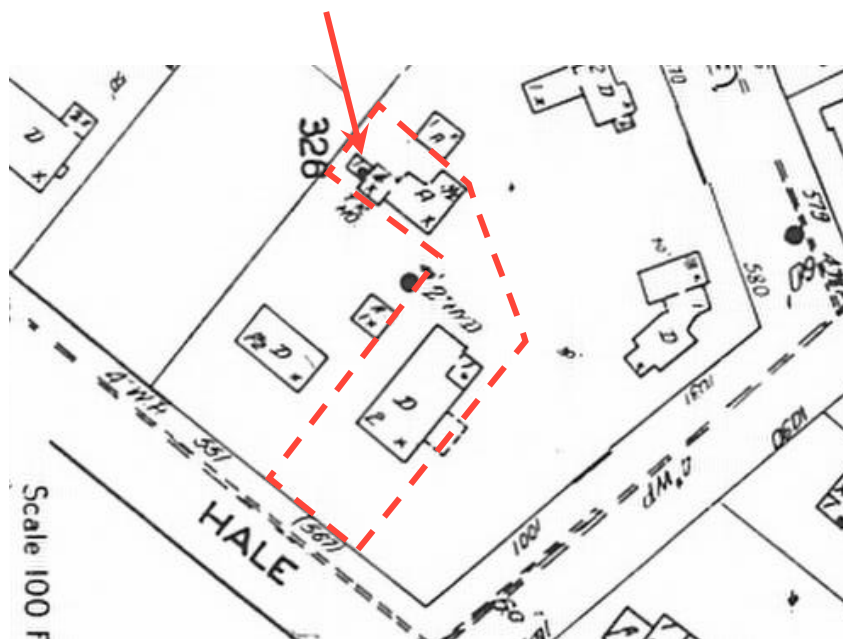


Figure 26: A 1947 Sanborn Map of 567 Hale Street. Current property line is shown in dashed red line. A red arrow shows the location of the tankhouse. Source: Fire Insurance Maps Online. Edited by Page & Turnbull.

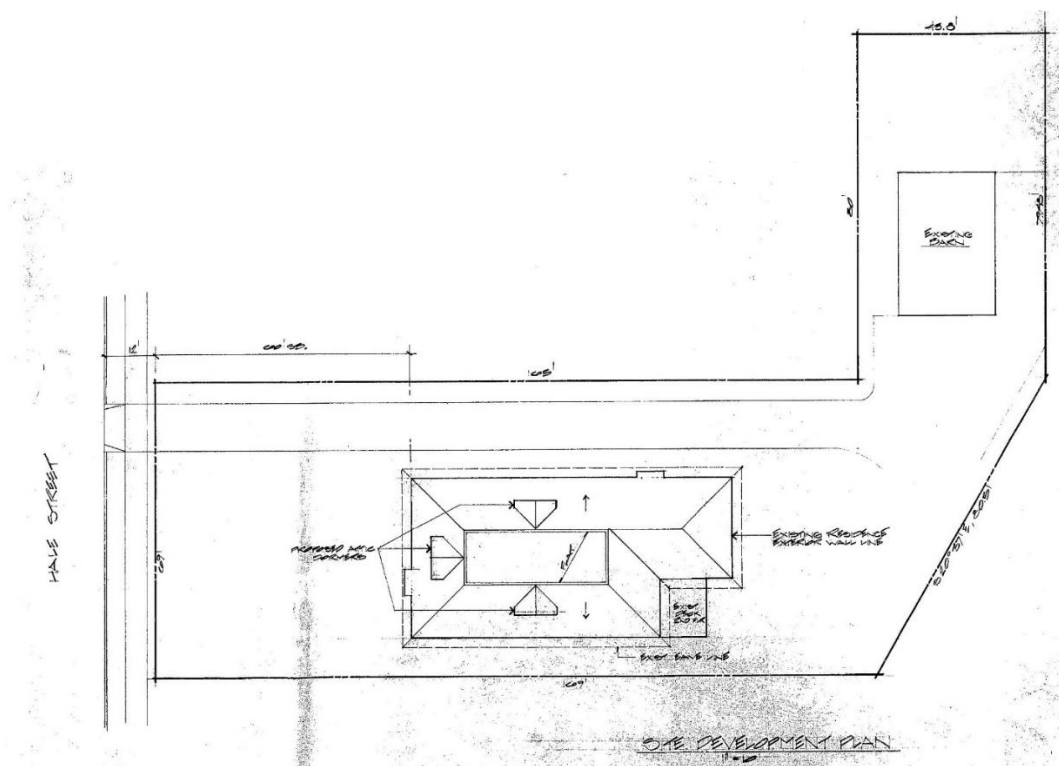


Figure 27: 1990 Site plan for 597 Hale Street. Primary façade (facing Hale Street) at left. Source: Source: drawings by Thomas Whitford Design, on file at Palo Alto Development Services.

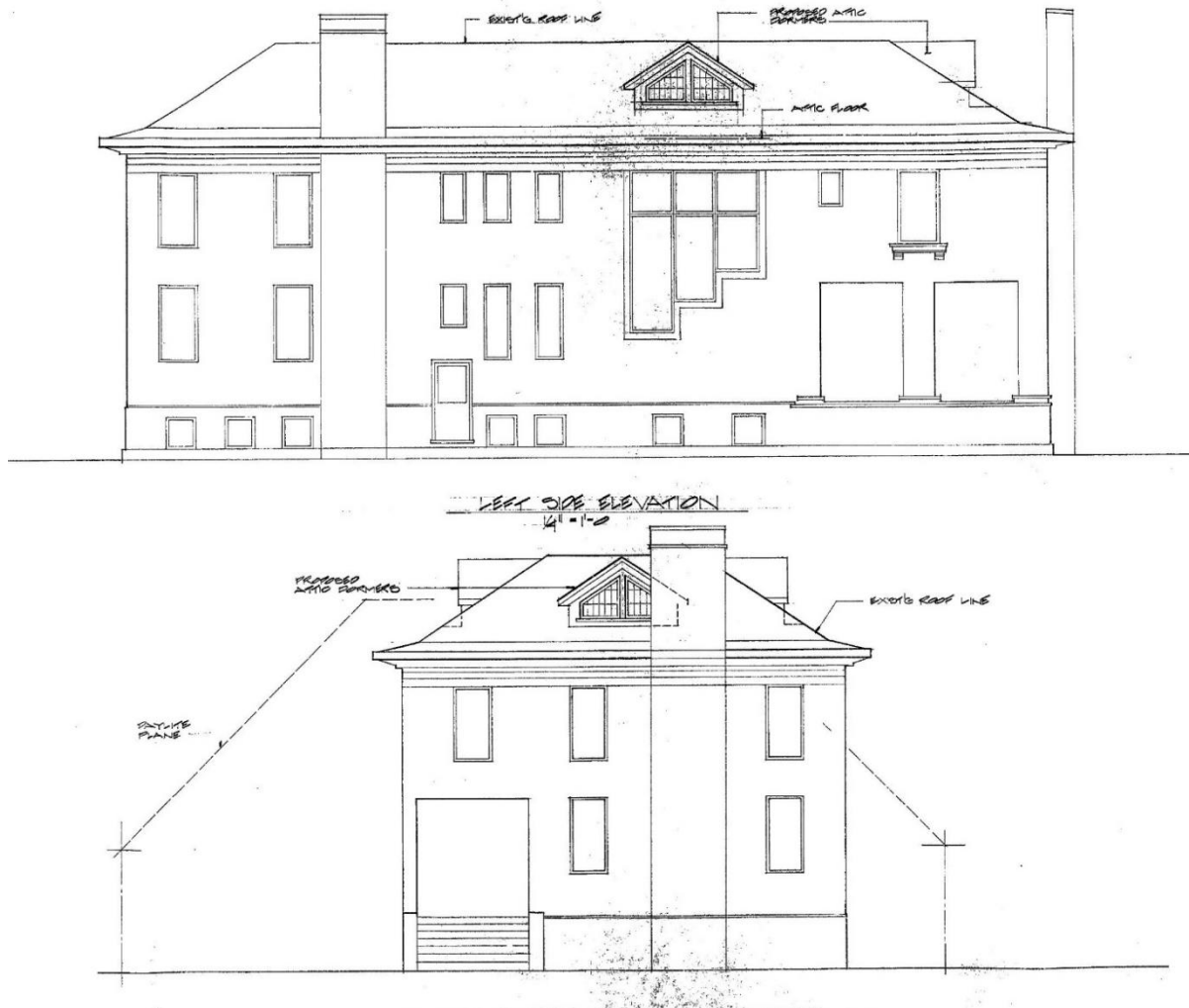


Figure 28: Southwest façade of 567 Hale Street, 1990. Source: Drawings by Thomas Whitford Design, on file at Palo Alto Development Services.

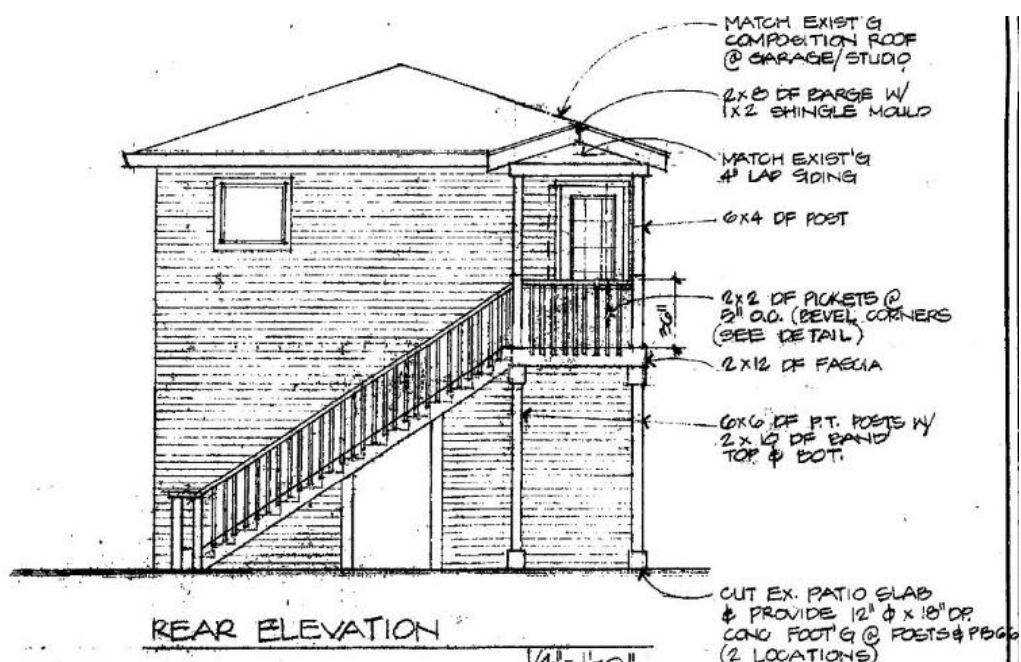


Figure 29: Northwest façade of garage for construction of rear stairs, 1995. Source: Drawings by Nomad Design, on file at Palo Alto Development Services.



Figure 30: Undated photo of 567 Hale Street. Source: Palo Alto Historical Association.



## CHARACTER-DEFINING FEATURES

For a property to be eligible for national or state designation under criteria related to type, period, or method of construction, the essential physical features (or character-defining features) that enable the property to convey its historic identity must be evident. These distinctive character-defining features are the physical traits that commonly recur in property types and/or architectural styles. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction, and these features must also retain a sufficient degree of integrity. Characteristics can be expressed in terms such as form, proportion, structure, plan, style, or materials.

The character-defining features of 567 Hale Street date to its period of significance of 1904 and contribute to the Colonial Revival style of the residence and garage. The lists includes, but is not be limited to:

### General:

- Spatial relationship of main residence to garage (former barn)

### Residence:

- Two-story, generally rectangular massing
- Colonial Revival style
- Stucco cladding
- Flat-top hipped roof
- Two brick chimneys
- Decorative cornice with dentils and modillions at the eaves
- Exposed decorative joists and roof detailing at enclosed east corner porch
- Original fenestration, including:
  - Multi-lite wood fixed and double-hung windows in wood frames
  - Window arrangements at enclosed east corner porch
  - Multi-lite casement window arrangement at center southeast facade
  - Amber glass stair windows at northwest façade
- Window box planters with decorative corbels
- Wood vents at ground level around the house
- Entry portico framed by shaped jam-shaft pilasters with molded bases

### Garage:

- Two-story, rectangular massing
- Rounded double ogee wood siding
- Hipped roof

- Original fenestration, including fixed and double-hung multi-lite wood windows set in wood sashes and sills

Features that are not original to the buildings, do not date to the period of significance, and therefore are not character-defining features, include, but are not limited to:

Residence:

- Landscaping and driveway
- Lion sculptures at entry stairs
- Shaped entry stairs
- Leaded glass window and blind recess at enclosed side openings to entry porch on the northwest facade
- Replacement windows at second story
- Dormer windows
- Composition roof

Garage:

- Replacement windows at second story
- Composition shingle roof
- Stairs, deck, entry door and gabled dormer roof over west corner
- Door and two windows on the northeast façade

## QUALIFICATIONS

Page & Turnbull was established in 1973 as Charles Hall Page & Associates to provide architectural and conservation services for historic buildings, resources, and civic areas. The company was one of the first architecture firms in California to dedicate its practice to historic preservation and is among the longest practicing such firms in the country. Offices are located in San Francisco, Los Angeles, and Sacramento, and staff includes planners, architectural historians, licensed architects, designers, and conservators. All of Page & Turnbull's professional staff members meet or exceed the Secretary of the Interior's Professional Qualifications Standards as published in the Code of Federal Regulations, 36 CFR Part 61.

As architectural historians and cultural resources planners within Page & Turnbull's Cultural Resources Studio, Barrett Reiter and Christina Dikas meet the Secretary of the Interior's Professional Qualifications Standards for Architectural History. They have extensive experience researching and evaluating historic properties, as well as analyzing proposed projects that impact historic resources using the *Secretary of the Interior's Standards for Rehabilitation*.

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

# HISTORIC RESOURCES INVENTORY

IDENTIFICATION Cat. II

(State use only)

Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
UTM \_\_\_\_\_ Q \_\_\_\_\_ NR \_\_\_\_\_ SHL \_\_\_\_\_  
Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

*Category change from 3 to 2 (EC 3-4-85)*

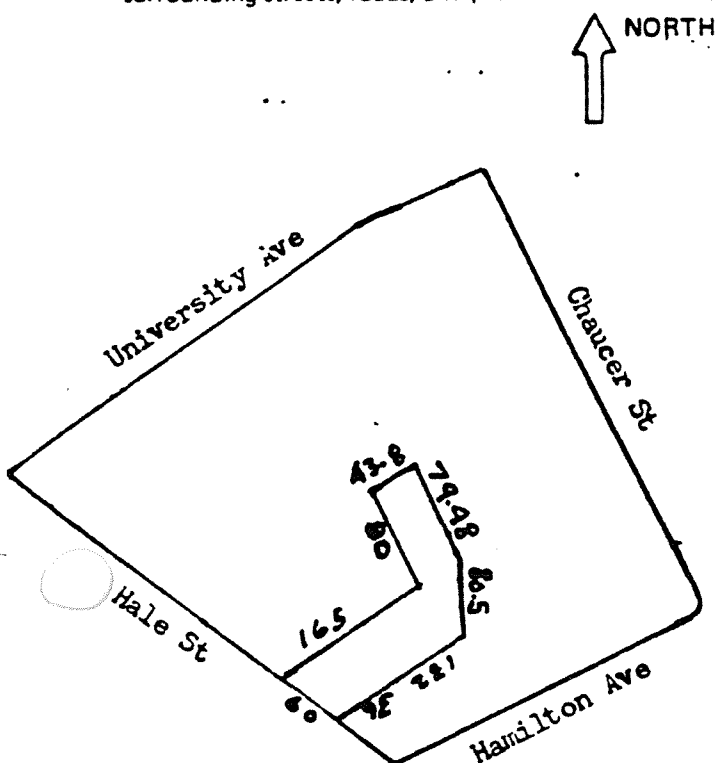
- Common name: \_\_\_\_\_
- Historic name, if known: Tobey House
- Street or rural address 567 Hale St. (1001 Hamilton, ca. 1935-1960)  
City: Palo Alto ZIP: \_\_\_\_\_ County: Santa Clara
- Present owner, if known: Charles and Adriana Wynn Address: Same  
City: \_\_\_\_\_ ZIP: \_\_\_\_\_ Ownership is: Public ☐ Private ☒
- Present Use: Residential Original Use: Residential  
Other past uses: \_\_\_\_\_

## DESCRIPTION

- Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This restrained two-story Classical Revival house represents an early use for Palo Alto of concrete for residential purposes. The house is unadorned except for a few touches of careful, classically-derived ornament. The entry porch has been partially enclosed.

- Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



- Approximate property size:

Lot size (in feet) Frontage See sketch  
Depth W 11.  
or approx. acreage \_\_\_\_\_

- Condition: (check one)

a. Excellent ☒ b. Good ☐ c. Fair ☐  
d. Deteriorated ☐ e. No longer in existence ☐

- Is the feature a. Altered? ☒ b. Unaltered? ☐

- Surroundings: (Check more than one if necessary)

a. Open land ☐ b. Scattered buildings ☐  
c. Densely built-up ☐ d. Residential ☒  
e. Commercial ☐ f. Industrial ☐  
g. Other ☐

- Threats to site:

a. None known ☒ b. Private development ☐  
c. Zoning ☐ d. Public Works project ☐  
e. Vandalism ☐ f. Other ☐

- Date(s) of enclosed photograph(s):

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone ☐ b. Brick ☐ c. Stucco ☐ d. Adobe ☐ e. Wood ☐  
f. Other ☒ Concrete and wood
15. Is the structure: a. On its original site? ☒ b. Moved? ☐ c. Unknown? ☐
16. Year of initial construction 1904 This date is: a. Factual ☒ b. Estimated ☐
17. Architect (if known): Bliss and Faville
18. Builder (if known): C.H. Lewis and H. Bruecker (Oakland)
19. Related features: a. Barn ☐ b. Carriage house ☐ c. Outhouse ☐ d. Shed(s) ☐ e. Formal garden(s) ☐  
f. Windmill ☐ g. Watertower/tankhouse ☐ h. Other ☐ i. None ☒

#### SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This is a technically advanced structure (concrete over outsized beams), which was the home of a locally important figure, Walter D. Tobey. Built at a cost of \$18,000, even by today's standards it is a mansion. The barn alone had four rooms for servants in addition to the loft and stable. Behind it was a tank house whose details were not neglected by the architect. A grape arbor used to extend from one side of the house and a large verandah for entertaining from the other. The dentil and brackets under the eaves are an appropriately strong statement for a house of such substantial character. As Mr. Tobey had accumulated a fortune in the Nevada lumber business, the interior displays a large amount of wood in unusual variety. The living room is trimmed in white cypress, the magnificent reception hall in redwood. Pilasters line the walls. Square columns frame the massive staircase, and the three leaded windows on the side of the house rise the steps. When the sun shines through the amber glass, the reception hall is radiant. The Tobeys owned the house until 1926. From 1930-1935, it was the

21. Main theme of the historic resource: (Check only one): a. Architecture ☐ b. Arts & Leisure ☐  
c. Economic/Industrial ☐ d. Exploration/Settlement ☐ e. Government ☐ f. Military ☐  
g. Religion ☐ h. Social/Education ☐
22. Sources: List books, documents, surveys, personal interviews, and their dates: P.A. City Directories; P.A. Times 12/30/04, 1/4/05, 5/24/13, 1/22/26, 5/11/36, 2/20/80; ...Gone Tomorrow?, p. 21 (the description above, item 20, is largely quoted from this source); interview 1984, Mrs. Charles Wynn.

23. Date form prepared: 1978, 1984 By (name): Historic Resources Board  
Address: 250 Hamilton Ave City Palo Alto, Ca 94301 ZIP: \_\_\_\_\_  
Phone: \_\_\_\_\_ Organization: \_\_\_\_\_

(State Use Only)

Home of George H. McKaig, a business man whose son, William, was a very active supporter and fund-raiser for community and regional activities relating to outdoor life: the Girl Scouts, purchase of parklands by the city and county, and the like. He served on Santa Clara County commissions for Parks and Recreation and Fish and Game. For nearly 30 years (1936-to early '60s) the house was owned by Mrs. Mary Buckley, whose husband David died in the year the family moved to it. The present owners acquired the house in 1971.