



City of Palo Alto

Architectural Review Board ARB Staff Report

ITEM #1

(ID # 6009)

Report Type: Study Session

Meeting Date: 7/30/2015

Summary Title: 450 Bryant Street - Avenidas

Title: 450 Bryant/Avenidas [14PLN-00342]: Study Session regarding the proposed interior renovation of an existing historic building (1927), the demolition of an existing 2,600 square foot addition (1978) and replacement with a new 10,100 square foot addition, and site improvements on adjacent public property. The property is owned by the City of Palo Alto. Zone District: Public Facilities (PF).

From: Jonathan Lait

Lead Department: Architectural Review Board

Recommendation

Staff recommends that the Architectural Review Board conduct a study session regarding the proposed Avenidas project at 450 Bryant Street in order to learn more about and provide preliminary feedback on the revised project design.

Project History

Avenidas filed an application for Preliminary Architectural Review and Preliminary Historic Review of their proposed project at 450 Bryant Street in September 2014. The 1.40-acre subject property contains Cogswell Plaza, the Ramona/Lytton Parking Lot C, and the former City Fire and Police Station, which is designated as a Category 2 Historic Structure/Site in the Palo Alto Historical and Architectural Resources Report and Inventory (Historic Inventory). The Historic Resources Board (HRB) and the Architectural Review Board (ARB) held Study Sessions on the project on November 5 and November 6, 2015, respectively. As a result of the early feedback from staff, the HRB, and the ARB, Avenidas decided to pursue a different project design. Avenidas submitted a revised design in May 2015. The revised program/project description and project plans are dated May 1, 2015 and May 27, 2015, respectively.

Study Session Format

The Study Session format allows for an applicant presentation of the proposed project, as well as a non-binding Architectural Review Board discussion of project opportunities and constraints. A similar discussion occurred with the Historic Resources Board on July 23, 2015. A Study Session will occur with the Parks and Recreation Commission on July 28, 2015. Staff will

present a summary of the HRB and PRC discussion, as well as comments received on the project by members of the public, at the ARB Study Session on 7/30.

Associated staff memorandums for the HRB and PRC are attached for early ARB consideration (**Attachment A** and **Attachment B**), as well as the revised program/project description (**Attachment C**), Draft Historic Resource Evaluation (**Attachment D**), and project plans (**Attachment E**).

The City documents mentioned in these memorandums can be found on the City's website in the following locations:

- **Downtown Urban Design Guide** -
<http://www.cityofpaloalto.org/civicax/filebank/documents/6514>.
- **Comprehensive Plan** -
<http://www.cityofpaloalto.org/gov/topics/projects/landuse/compplan.asp>.
 - Land Use Chapter Policies -
<http://www.cityofpaloalto.org/civicax/filebank/documents/8170>.
 - Community Services Chapter Policies -
<http://www.cityofpaloalto.org/civicax/filebank/documents/8178>

Attachments:

- Attachment A: Historic Resources Report dated July 23, 15 (PDF)
- Attachment B: PRC Staff Memorandum (PDF)
- Attachment C: Program Project Description 052715 (PDF)
- Attachment D: Draft Historic Resource Evaluation Report (PDF)
- Attachment E: Project Plans ARB Members Only (DOCX)



Historic Resources Board

Staff Report

Agenda Date: July 23, 2015

To: Chair Kohler and Members of the Historic Resources Board (HRB)

From: Matthew Weintraub, Planner

Subject: **450 Bryant Street [14PLN-00342]:** Request by Lisa Hendrickson, on behalf of Avenidas, for Preliminary Review by the HRB of modifications to a two-story, Category 2 Historic Structure/Site on a City-owned site zoned Public Facilities (PF). The proposed modifications include: (1) interior renovation of the building (the City's former Fire and Police Station, constructed 1927) and the existing, one-story detached addition (constructed 1950), (2) demolition of the existing one-story, 2,600 square foot attached addition (constructed 1978), and (3) construction of a new three-story, 10,100 square foot addition and related site improvements.

Recommendation

Staff requests the HRB conduct a preliminary review of the proposed project and provide comments on the conceptual project to staff, the applicant and the Architectural Review Board (ARB). No formal action may be taken at a preliminary review; comments made at a preliminary review are not binding on the City or the applicant.

Executive Summary

The applicant proposes to renovate the two-story and one-story historic buildings on the site, including the 1950 addition; to remove the 1978 one-story addition; and to construct a new three-story addition. (See Attachment E, Project Plans.)

Staff recommends that the project appears to be consistent with some, but not all, of the Secretary of the Interior's Standards for Rehabilitation. Specifically, staff recommends that it does not appear to be entirely consistent with Standards 2, 3, 5, 8, and 9, as described below. In addition, staff recommends implementation of minor project revisions, also described below, which would appear to make the project entirely consistent with the Standards.

Review Procedure

The applicant requests Preliminary Review of the subject application, pursuant to Municipal Code Section 18.76.020 (c). In addition to ARB preliminary review, the applicant requests that the HRB conduct a preliminary review and provide comments on the proposed application involving a Category 2 Historic Structure/Site.

If a formal application is filed, it would be subject to HRB review pursuant to Section 16.49.050 (1) (A): "Architectural review approval pursuant to Chapter 18.76 (Permits and Approvals) is required for any historic structure/site in the downtown area and any significant structure/site elsewhere in the city, other than single-family and duplex residences. The architectural review board shall refer applications to

the historic resources board for a recommendation on the proposed alteration of the structure.”

The comments of board members during a preliminary review shall not be binding on their formal recommendation.

Description of Subject Property

The subject property at 450 Bryant Street is designated as a Category 2 Historic Structure/Site in the Palo Alto Historical and Architectural Resources Report and Inventory (“Historic Inventory”). The 1.40-acre property contains the former City Fire and Police Station, constructed in 1927, Cogswell Park and Parking Lot C. The main building is two stories tall with a compact rectangular plan, stucco walls, and a low-slung hipped roof clad in clay tiles. According to the Historic Inventory form (Attachment A), “This stucco Spanish Colonial Revival public building contains an arcade along the ground floor, balconies on the second floor and fine decorative iron work.” It was designed by local master architect, Birge Clark. A one-story, L-shaped wing wraps the west elevation and southwest corner of the primary building. An accompanying smaller secondary structure, a one-story detached building with a rectangular plan, stucco walls, and tile-clad gable roof is located on the property to the south of the primary building.

The applicant has submitted a Draft Historic Resource Evaluation (HRE) Report for the subject property (Attachment C). According to the Draft HRE, the main two-story building housed the City’s police and fire departments between 1927 and 1970. At the time of the building’s construction, the combination of police and fire stations, including a jail, was unusual, if not unique. The smaller one-story building, built at about the same time as the main building, served as a garage. In 1950, a one-story addition, designed by the firm of (Birge) Clark and Stromquist, was constructed at the north end of the station building for Fire Department offices and vehicle storage. In 1978, as part of the conversion of the property for senior housing, another one-story addition, designed by Clark, Stromquist, & Sandstrom, was constructed adjacent to the original structure and the earlier addition to house a cafeteria/dining room. The interior of the original building has been altered considerably, so that no original interior spaces and few to no original features remain.

Information found in the Draft HRE and in the City’s files clarifies the dates of construction as presented in the applicant’s project plans. The applicant’s project plans (Attachment E) label the detached one-story building located to the south of the primary building as “1950 Addition Building”. However, information in the City’s files indicates that it was constructed in 1927, and the Draft HRE identifies it as a garage building designed by Birge Clark and constructed about 1930. Furthermore, the applicant’s project plans label the attached one-story northwest wing as “1978 Addition”. However, information in the Draft HRE and in the City’s files indicates that the wing is comprised of two separate additions: a 1950 addition with large open bays for vehicle doors on Bryant Street (currently infilled) and square window openings at the side, and a 1977 rear addition characterized by three arcade picture windows at the northwest elevation.

Project Description

The applicant proposes the following alterations to the subject property:

- Renovation of the interior of the existing two-story police and fire station building (constructed 1927), the existing detached one-story garage building (constructed 1927), and the existing attached one-story addition (constructed 1950);
- Demolition of the existing one-story cafeteria/dining room addition (constructed 1977);
- Construction of a new three-story, 10,100 square foot addition; and
- Construction of site improvements at Cogswell Park, as well as other improvements related to Americans with Disability Act (ADA) accessibility requirements.

Downtown Urban Design Plan

The subject property is located within the Civic Cross Axis District of the Downtown Urban Design Plan (see Attachment D). The Civic Cross Axis District joins two major public open spaces, Civic Center Plaza and Cogswell Plaza (the subject property). This link is very important to the physical framework of downtown because it encourages the flow of people and activity across the downtown's primary activity spine. Important landmarks in the district include City Hall, Plaza Ramona and the former Palo Alto Fire and Police Station (the subject property).

The district contains several large scale buildings. Heights of buildings vary from single story to the eight-story City Hall. Most street frontage elevations retain the rhythm of the 25-50 foot wide structural bays and/or storefronts, which provides human scale and appealing pedestrian character. The Mediterranean architectural style of many existing buildings within the district (including the subject property) is a positive and unifying element for the district, which future development should support but not necessarily mimic. For new development, building heights at street corners can rise to three to four stories to help anchor street corners identified as nodes, and create visual activity centers. Upper levels of buildings away from street corners should be stepped back from the street, allowing light and air penetration to the street.

District goals include transforming Civic Center Plaza and Cogswell Plaza (the subject property) into appealing and active public spaces. This involves defining the edges of the plazas by encourage two to three story developments on Bryant and Ramona Streets facing the plazas, to help create the feeling of an outdoor room. The district calls for enhancing the design of Cogswell Plaza by creating a visible and physical link to the senior center, Parking Lot C, and University Avenue; nighttime lighting; and art and artist-designed amenities.

Review Standards

According to Municipal Code Section 16.49.050 (b), the HRB shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors in evaluating applications. The prime concern should be the exterior appearance of the building site.

The Standard of Review in Section 16.49.050 (b) (1) is applicable. It states that on buildings not located in a historic district, the proposed alterations should not adversely affect the exterior architectural characteristics or the historical or aesthetic value of the building and its site.

In 1987, the City Council adopted the Secretary of the Interior's Standards for Rehabilitation for use by the HRB. The Standards for Rehabilitation promote historic preservation best practices that help to protect our nation's irreplaceable cultural resources. In order to make findings based on the broader Standards of Review found in Section 16.49.050 (b), the HRB may evaluate proposals for consistency with the Standards for Rehabilitation.

Secretary of the Interior's Standards for Rehabilitation

The applicant's Draft HRE submittal includes a proposed assessment for conformance with the Secretary of the Interior's Standards for Rehabilitation. According to the Draft HRE, the proposed project is consistent with Standards 1, 3, and 4; it is generally consistent with Standards 2, 5, and 9; and it is not applicable to Standards 6 or 7. Standard 8 was not evaluated and Standard 10 was omitted. Regarding Standards 2, 5, and 9, the Draft HRE provides recommendations to improve the project's level of compatibility with the Standards.

Staff has conducted a preliminary review of the application for consistency with the Secretary of the Interior's Standards for Rehabilitation. Based on staff's preliminary review, there appear to be areas of inconsistency with the Secretary of the Interior's Standards for Rehabilitation, which are not addressed in the HRE. Specifically, it does not appear to be entirely consistent with Standards 2, 3, 5, 8, 9, and 10, for the reasons described below. In addition, staff recommends implementation of minor project revisions as a part of any future formal application, also described below, which would appear to make the project entirely consistent with the Standards.

Secretary of the Interior's Standards for Rehabilitation Analysis	
Standard for Rehabilitation	Staff Analysis
1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.	<p><input checked="" type="checkbox"/> Consistent</p> <p><input type="checkbox"/> Not consistent</p> <p><input type="checkbox"/> Not applicable</p> <p><u>Explanation:</u> The property would continue to be used for senior housing, which is an existing compatible reuse of the City facility that would require minimal change to the existing historic structures on the site.</p>
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.	<p><input type="checkbox"/> Consistent</p> <p><input checked="" type="checkbox"/> Not consistent</p> <p><input type="checkbox"/> Not applicable</p> <p><u>Explanation:</u> The proposed new building addition would require the removal of historic eaves and roof sections, which are features that characterize the property, in order to accommodate abutting new construction.</p> <p>Also, the proposal would alter a historic space and the spatial relationship between the historic buildings, which characterize the property. It would result in a new three-story building addition partially occupying the existing open space that historically served as a courtyard between the two-story station building and the one-story garage. It would create an obvious new physical and visual connection between the historic buildings as seen from the public alley, which appear to have been constructed in tandem in 1927 as separate companion structures.</p> <p><u>Recommendation:</u> Staff recommends avoiding impacts to the existing eaves and roofs by setting back the upper portion of the proposed new addition 3-5 feet from the existing eaves, and by</p>

Secretary of the Interior's Standards for Rehabilitation Analysis	
Standard for Rehabilitation	Staff Analysis
	<p>limiting physical connections between the new addition and the historic buildings to points below the historic eaves.</p> <p>Also, staff recommends setting back the new multi-story building addition behind the back (northwest) wall of the existing garage building, in order to avoid encroaching into the courtyard area between the historic buildings and to preserve to a greater degree the visual spatial relationship of the separate historic companion structures.</p>
<p>3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.</p>	<p><input type="checkbox"/> Consistent</p> <p><input checked="" type="checkbox"/> Not consistent</p> <p><input type="checkbox"/> Not applicable</p> <p><u>Explanation:</u> The proposed new addition is contemporary in style, and would be recognized as such. It would generally not be considered conjectural or create a false sense of historical development.</p> <p>However, the design of the proposed new trash enclosure includes clay tiles at the roofline, which mimics the historic structures and could create a false sense of development.</p> <p><u>Recommendation:</u> Staff recommends omitting clay tiles from use on the proposed new trash enclosure.</p>
<p>4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.</p>	<p><input checked="" type="checkbox"/> Consistent</p> <p><input type="checkbox"/> Not consistent</p> <p><input type="checkbox"/> Not applicable</p> <p><u>Explanation:</u> The project would retain and rehabilitate the 1950 building addition, which was constructed during the building's historic period as a police and fire station, and which characterizes the property. The project would remove the more recent building addition (cafeteria/dining room) and the exterior stairway and second floor exit door, which were constructed in 1977 (less than 50 years ago) as part of the property's rehabilitation for residential use and which have not acquired significance. Similarly, the project</p>

Secretary of the Interior's Standards for Rehabilitation Analysis	
Standard for Rehabilitation	Staff Analysis
	would remove existing landscape features such as a trellis, fountain, and trash enclosure, which are less than 50 years in age and which have not acquired significance.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.	<p> <input type="checkbox"/> Consistent <input checked="" type="checkbox"/> Not consistent <input type="checkbox"/> Not applicable </p> <p><u>Explanation:</u> The project would generally retain and preserve existing distinctive physical features that characterize the historic buildings such as clay tile roofs, wood moldings, decorative ironwork, and the majority of the doors and windows. One existing historic window at the second floor, back of station building, would be removed to accommodate the proposed new addition, and two existing historic windows would be retained in place at the interior of the new addition.</p> <p>However, the proposed new building addition would require the removal of historic eaves and roof sections, including clay tiles, which are features that characterize the property, in order to accommodate abutting new construction.</p> <p><u>Recommendation:</u> As recommended above, avoid impacts to the existing eaves and roofs by setting back the upper portion of the proposed new addition 3-5 feet from the existing eaves, and by limiting physical connections between the new addition and the historic buildings to points below the historic eaves.</p>
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.	<p> <input type="checkbox"/> Consistent <input type="checkbox"/> Not consistent <input checked="" type="checkbox"/> Not applicable </p> <p><u>Explanation:</u> There are no deteriorated historic features proposed to be repaired or replaced.</p>
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic	<input checked="" type="checkbox"/> Consistent

Secretary of the Interior's Standards for Rehabilitation Analysis	
Standard for Rehabilitation	Staff Analysis
materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.	<input type="checkbox"/> Not consistent <input type="checkbox"/> Not applicable <u>Explanation:</u> No chemical or abrasive physical surface treatments are proposed, or are anticipated to be necessary, which might damage the existing historic materials including the clay tile, stucco cladding, wood molding, and wrought ironwork.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.	<input type="checkbox"/> Consistent <input checked="" type="checkbox"/> Not consistent <input type="checkbox"/> Not applicable <u>Explanation:</u> According to the Comprehensive Plan, the subject property is located in an Archeological Resource Area of "Extreme Sensitivity". The application submittal does not include grading or excavation plans which could indicate the magnitude of potential ground disturbance. It is assumed that grading and excavation would be necessary. <u>Recommendation:</u> Staff recommends that a qualified archeologist conduct a site survey to assess the potential for resource disturbance and to recommend appropriate measures to reduce potential impacts, to be incorporated into the project. The archeologist should be provided with sufficient project information to evaluate potential effects.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	<input type="checkbox"/> Consistent <input checked="" type="checkbox"/> Not consistent <input type="checkbox"/> Not applicable <u>Explanation:</u> The proposed new building addition appears to be generally compatible in size, scale, and materials to the historic structures on the site, while also being differentiated from the old in style and details. The height and bulk of the proposed new addition would be partially mitigated by its proposed location at the back of the lot, behind the historic structures, and by its proposed translucent glass exterior walls (which

Secretary of the Interior's Standards for Rehabilitation Analysis	
Standard for Rehabilitation	Staff Analysis
	<p>may be intermittently screened with interior sunshades), which would make it appear less solid.</p> <p>However, as designed, the proposal lacks transitional connections between the proposed new building addition and the historic buildings, which could allow the mass and bulk of the proposed new addition to overwhelm the historic buildings. Also, as designed, the proposed new building addition would require the removal of historic eaves and roof sections, which would affect the historic integrity of the structures.</p> <p>In addition, the project plans show two potential wall treatments at the southeast elevation of the proposed new addition: a stucco wall, and a limestone wall alternative. The limestone wall would introduce a new material to the property that is not currently present, and which would not match or relate to any other existing or proposed materials. Hence, the limestone wall alternative would not be consistent with the property's character.</p> <p><u>Recommendation:</u> As recommended above, avoid impacts to the existing eaves and roofs by setting back the upper portion of the proposed new addition 3-5 feet from the existing eaves, and by limiting physical connections between the new addition and the historic buildings to points below the historic eaves. This would also result in greater transitional connections between the proposed new addition and the historic buildings.</p> <p>Also, staff recommends omitting upper story cantilevering over the historic structures, as proposed at the southwest elevation of the new addition, which could cause the new addition to appear overbearing on lower historic structures.</p> <p>In addition, staff recommends using the proposed stucco wall treatment, rather than the limestone wall alternative, at the southeast elevation of the proposed new addition, in order to make the materials of the new addition more compatible to the existing historic structures.</p>

Secretary of the Interior's Standards for Rehabilitation Analysis	
Standard for Rehabilitation	Staff Analysis
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	<p> <input type="checkbox"/> Consistent <input checked="" type="checkbox"/> Not consistent <input type="checkbox"/> Not applicable </p> <p><u>Explanation:</u> By proposing to remove existing eaves and roof sections to accommodate the proposed new construction, the proposal would irrevocably impair the essential form and integrity of the historic property.</p> <p><u>Recommendation:</u> As recommended above, avoid impacts to the existing eaves and roofs by setting back the upper portion of the proposed new addition 3-5 feet from the existing eaves, and by limiting physical connections between the new addition and the historic buildings to points below the historic eaves.</p>

Recommendation

Based on analysis according to the Secretary of the Interior's Standards for Rehabilitation, staff believes that the proposal may adversely affect the exterior architectural characteristics and the historical or aesthetic value of the building and its site.

In order to make a finding of consistency with the Secretary of the Interior's Standards for Rehabilitation, and the Standard of Review in Section 16.49.050 (b) (1), staff recommends that, in addition to the recommendations of project revisions made by Architectural Resources Group (ARG) on page 32 of the Draft HRE (Attachment C), the proposal be revised as follows:

1. Set back the upper portion of the proposed new addition 3-5 feet from the existing eaves so that the existing eaves and roofs are not affected, and limit physical connections between the new addition and the historic buildings to points below the historic eaves.
2. Set back the new multi-story building addition behind the back (northwest) wall of the existing garage building, in order to avoid encroaching into the courtyard area between the historic buildings and to preserve to a greater degree the visual spatial relationship of the separate historic companion structures.
3. Omit clay tiles from use on the proposed new trash enclosure. Consider using a simple beveled edge roofline, similar to the roofline treatment that is recommended for the proposed new building addition.
4. Obtain and incorporate the advice of a qualified archeologist regarding the potential for discovery of archeological resources and the appropriate measures that should be taken to reduce potential impacts to archeological resources that may be present at the property.

Staff and the applicant would appreciate the HRB's comments on these preliminary recommendations.

Attachments

- A. Historic Inventory Form (for reference only)
- B. Plan approved by ARB on April 20, 1995 (for reference only)
- C. Draft HRE dated May 28, 2015
- D. Downtown Urban Design Plan, pages 33-37 (Civic Cross Axis District)
- E. Project Plans dated May 27, 2015



TO: PARKS AND RECREATION COMMISSION

FROM: REBECCA ATKINSON **DEPARTMENT:** PLANNING

DATE: July 21, 2015

SUBJECT: AVENIDAS, 450 BRYANT STREET, STUDY SESSION

Recommendation

Staff recommends that the Parks and Recreation Commission conduct a study session regarding the proposed Avenidas project at 450 Bryant Street in order to learn more about and provide preliminary feedback on the project interface with Cogswell Plaza/Cogswell Plaza Extension, which may be subject to a forthcoming Park Improvement Ordinance (PIO) process.

Background

Project History

Avenidas filed an application for Preliminary Architectural Review and Preliminary Historic Review of their proposed project at 450 Bryant Street in September 2014. The 1.40-acre subject property contains Cogswell Plaza, the Ramona/Lytton Parking Lot C, and the former City Fire and Police Station, which is designated as a Category 2 Historic Structure/Site in the Palo Alto Historical and Architectural Resources Report and Inventory (Historic Inventory). The Historic Resources Board (HRB) and the Architectural Review Board (ARB) held Study Sessions on the project on November 5 and November 6, 2015, respectively. As a result of the early feedback from staff, the HRB, and the ARB, Avenidas decided to pursue a different project design. Avenidas submitted a revised design in May 2015.

Project Description

The existing Avenidas lease line generally extends to the edge of the existing buildings on the subject property. Most, but not all, of the proposed project is shown to occur within the lease line. The current program/project description (**Attachment A**) and project plans (**Attachment B**), dated May 1, 2015 and May 27, 2015, respectively, show the following project components:

- Interior renovation of the existing two-story Police and Fire Station building (constructed 1927), the existing detached one-story garage building (constructed 1927), and the existing attached one-story addition (constructed 1950);
- Demolition of the existing one-story La Comida dining room addition (constructed 1977);
- Construction of a new three-story, 10,100 square foot addition; and
- Construction of site improvements at Cogswell Plaza/Cogswell Plaza Extension, as well as other improvements related to Americans with Disability Act (ADA) accessibility requirements.

The proposed project design would change how Avenidas operates and how the buildings themselves interface with their surroundings:

- Currently, the single story La Comida dining room addition has views to the adjacent Cogswell Plaza/Cogswell Plaza Extension. The project would demolish the current dining room in favor of a new dining room with ground floor access to a new outdoor seating area, as well as three- story full height windows facing the park (Sheet L1.0, L1.3, G.40, A2.2, and A5.1). The outdoor seating area would facilitate an opportunity for La Comida and Avenidas visitors to eat lunch and socialize outdoors.
- The primary Avenidas entrance is off of Bryant Street. The project would retain the Bryant Street entrance, but would create an entirely new and more prominent entrance off of Parking Lot C (Sheets G.40, A2.0, A4.2, and A4.3).
- The adjacent Paulsen Lane is relatively impermeable to pedestrians at the ground level. The project would create more opportunities for eyes on this alley through increased second and third story windows, as well as a less obstructed alley access gate.
- The project would likely include some small changes at the Bryant Street frontage to improve grade elevations and loading capacity.

Discussion

According to Palo Alto Municipal Code Chapter 22.08, proposed changes at Cogswell Plaza/Cogswell Plaza Extension have the potential to trigger a Park Improvement Ordinance (PIO) process as part of a forthcoming formal application. If the PIO process is triggered, the project would return to the Parks and Recreation Commission for review and recommendations to Council.

Staff believes the Preliminary Architectural Review and Historic Review process offers a good opportunity for early comments on the proposed project. Non-binding, preliminary PRC feedback is welcome. A discussion of any identified opportunities and constraints would be helpful, as well as any comments pertaining to project compatibility with the Park Improvement Ordinance process, the Parks, Trails, Open Space and Recreation Master Plan process, the Comprehensive Plan, and the Downtown Urban Design Guide. Staff is particularly interested in PRC feedback regarding the design of outdoor seating areas in Cogswell Plaza Extension, as well as feedback on the project's pedestrian interface at Parking Lot C, drop-off/loading areas, and tree planting areas.

Avenidas prepared an exhibit for PRC use in this brainstorming session (**Attachment C**).

Comprehensive Plan and the Parks, Trails, Open Space and Recreation Master Plan

The forthcoming formal application will require detailed analysis of the project relative to consistency with the City's Comprehensive Plan. Relevant Comprehensive Plan policies and programs include:

- Policy L-18 that encourages upgrading and revitalization in a manner that is compatible with the character of surrounding neighborhoods.
- Policy L-21 regarding provision of centrally located gathering spaces that create a sense of identity and contain public amenities such as benches, street trees, kiosks, restrooms and public art.
- Policy L-23 regarding maintaining and enhancing the University Avenue/Downtown area with quality design that recognizes the regional and historical importance of the area and reinforces its pedestrian character.
- Program L-19 regarding supporting implementation of the Downtown Urban Design Guide.
- Program L-20 regarding promoting of building reuse.
- Policy L-48 regarding promoting high quality, creative design and site planning that is compatible with surrounding development and public spaces.
- Program L-49 regarding the design of new development in a manner that maintains and supports existing area character.
- Policy L-49 regarding the design of buildings to revitalize streets and public spaces, enhance a sense of community and personal safety, provide an ordered variety of entries, porches, windows, bays and balconies along public ways, avoid blank or solid walls at street level, and including human-scale details and massing.
- Policy L-52, L-56, and L-57 regarding preservation and rehabilitation of historic buildings.
- Policy L-61 regarding the use of community facilities and parks as gathering spaces that provide services during daytime and evening hours.
- Policy C-22 regarding design of community facilities to have flexible functions to ensure adaptability to changing community needs.
- Policy C-26 to maintain and enhance existing park facilities.

The City is currently undertaking a long-range (25-year) Parks, Trails, Open Space and Recreation Master Plan process that will provide clear guidance regarding future renovations and capital improvement needs for parks, trails, open space and recreation facilities. While still in the preparation stage, any needs assessment or other information from this Master Plan process could be useful when reviewing the formal application for the proposed project.

Land Use and Zoning.

The subject property is 1.404 acres (61,160 square feet). The Comprehensive Plan land use designation for the subject property is split between Public Park (17%) fronting on Lytton Avenue and Regional/Community Commercial (83%) for the rest of the subject property (**Attachment D**). The subject property is in the Public Facilities (PF) zoning district, which is designed to accommodate governmental, public utility, educational, and community service or recreational facilities (Palo Alto Municipal Code Section 18.28.010(a)). The forthcoming formal

application process will confirm project consistency with the site development standards in the PF zoning district. The maximum floor area ratio in the PF zoning district is 1:1 (61,160 square feet) and the maximum site coverage is 30% (18,348 square feet).

Downtown Urban Design Guide

In support of creating a Civic Cross Axis District between City Hall and Cogswell Plaza, the Downtown Urban Design Guide identifies the creation of a north-south pedestrian way at the interface of the project with Parking Lot C (Pages 13, 27, 31, 34, and 37). Paulsen Lane is also identified as an east-west pedestrian way and as a “short cut alley” that should be comfortable for use by pedestrians on a regular basis, while maintaining service functions (Page 16 and 25). The buildings at 450 Bryant Street are highlighted as an important landmark in the Civic Cross Axis District (Page 33). Furthermore, the Mediterranean architectural style is mentioned as a positive and unifying element for the District, which future development should support but not necessarily mimic. The Downtown Urban Design Guide can be found on the City’s website at <http://www.cityofpaloalto.org/civicax/filebank/documents/6514>.

Architecture

The existing original Spanish Colonial Revival building at 450 Bryant Street was designed by prominent architect Birge Clark, and features a first-floor arcade, carved rafters exposed at the eaves, and clay barrel-tile roofing. From 1927 through 1970 the building housed the City’s police and fire departments, including the Police Court and City jail facilities. A 1950 addition on the north elevation provided for expanded fire department facilities. The 1977-1978 La Comida addition on the north and west elevation provided a kitchen and dining room. Both of these additions were designed for compatibility with the original 1927 construction and feature stucco cladding and red clay tile roofs.

Park Design

Cogswell Plaza/Cogswell Plaza Extension has grassy areas and shade trees, alongside benches and other amenities for visitors. It was extended to the current park configuration in the late 1970’s and renovated in 2012. Legal descriptions of the area encompassed by Cogswell Plaza/Cogswell Plaza Extension can be found in the Palo Alto Municipal Code (PAMC) in Section 22.08.060/Exhibit A-6 and Section 22.08.065/Exhibit A-6.1.

Parking

The Ramona/Lytton Parking Lot C currently has a total of 56 parking spaces, as outlined in the Table below.

Accessible spaces	4 ADA marked parking spaces(2 near street; 2 near building)
Avenidas	25 yellow marked parking spaces; allocated to Avenidas per their existing lease for certain times of day and open to the public at other times
Open to the Public	23 white marked parking spaces in the Coral Zone
Parking Lot C Total	56 parking spaces* *There are 4 additional existing parking locations along Paulsen Lane marked with private parking signage.

The Final Engineer's Report for University Avenue Area Off-Street Parking Assessment District March 2001 specified that Avenidas required 73 parking spaces for an existing 18,218 square feet of floor area. The Assessment District Report identified 29 parking spaces as provided on site for Avenidas (25 parking spaces in Lot C and 4 on Paulsen Lane) and the property is otherwise assessed for 44 parking spaces. The forthcoming formal application will confirm the amount of existing floor area and identify the additional vehicle and bicycle parking that will be required in association with any increase in floor area or any loss of existing parking spaces. The Assessment District Report can be found on the City's website at <http://www.cityofpaloalto.org/civicax/filebank/documents/39402>.

ADA Accessibility

The City is currently commencing upon an ADA Accessibility Transition Planning update process and will learn more about basic Ramona/Lytton Parking Lot C recommendations at that time. The forthcoming formal application process will identify what ADA pathways and parking spaces, if any, would be necessary as a result of the project.

Forthcoming Formal Application

The forthcoming formal Architectural Review, Historic Review, and Conditional Use Permit application process will identify construction staging locations, Avenidas operations during construction, all of the proposed land uses for the subject property, and will entail standard review of the project under the California Environmental Quality Act (CEQA). The Public Art ordinance is also applicable to the project.

The project will return to the HRB for Preliminary Review on July 23, 2015. The associated staff memo is located on the City's website at <http://www.cityofpaloalto.org/civicax/filebank/documents/48210>. The project will return to the ARB for a Study Session on July 30, 2015. When released, the associated staff memo will be available on the City's website at <http://www.cityofpaloalto.org/gov/boards/architectural.asp>.

Attachments

- Attachment A:** Avenidas Program/Project Description, dated May 1, 2015
- Attachment B:** Avenidas Preliminary ARB/HRB Project Plans, dated May 27, 2015
- Attachment C:** PRC Brainstorming Exhibit
- Attachment D:** Project Location Map/Parcel Report

FILE COPY

May 1, 2015

Received

MAY 27 2015

PROGRAM DESCRIPTIONDepartment of Planning
& Community Environment

Avenidas has been the City's provider of senior services, and the operator of its senior center, since 1976. In this role, Avenidas makes it possible for the City to meet its goal of "providing responsive, efficient, and cost-effective community services...to meet the needs of groups with special needs."¹ The City leases the former Police and Fire Station to Avenidas under a long-term lease and provides operating support in the form of an annual contract.

Avenidas' Bryant Street Center at 450 Bryant Street is a community center with activities and services for independent older adults and their family caregivers. At the Center, Avenidas offers a broad range of health and wellness services including acupuncture, massage, fitness classes, health screenings, and lectures; classes and workshops in computer learning, language, art, travel, wine appreciation, etc.; information and counseling services and geriatric care management for issues related to aging; and flexible transportation options for running errands, getting to and from appointments, and participating in social activities. Many of these services are provided directly by Avenidas while others are provided by organizations including Senior Adults Legal Assistance, AARP, Foothill Community College, Stanford Hospital and Palo Alto Medical Foundation. These activities and services are provided in multi-purpose spaces that are both large and small. In addition, lunch is served each weekday by La Comida de California (and independent not-for-profit which has a sublease) in a large dining room; the food is prepared in an adjacent kitchen.

The Center is open weekdays from 9 a.m. to 5 p.m. and occasionally later to accommodate a late class or early evening event. Avenidas makes the facility, or select rooms within the Center, available for rental to organizations. It does not rent spaces for private parties. Through this rental program, which is very modest, the facility is sometimes used on weekends and evenings. Once a month the realtors meet in the dining room early in the morning.

In fiscal 2014 (ending June 30, 2014), Avenidas served approximately 6,500 individuals, both at the Center and by phone. Some of these individuals, such as those who volunteer in local schools as part of Avenidas' Early Literacy Program, rarely come into the Center while others are regulars who come to lunch and/or participate in activities every day. The Center is generally busiest between the hours of 10 and 2, with the highest use over the 11:15-12:15 lunch hour when 100+ diners are in the dining room. It is very quiet in the late afternoon. Activity at the Center ebbs and flows with the quarterly calendar of classes; the Fall Quarter is the most active, the Summer Quarter the least active, and the Center is the most quiet in the interim days between quarters.

The Center is accessible and ADA compliant, but the small, old elevator, is not large enough for a gurney and must be replaced with a larger elevator.

Community Spaces

The Center features a large central lobby which is largely unprogrammed. It is a place for participants to informally meet, enjoy a cup of coffee, use the public computers and retrieve information on resources for seniors throughout the community. There is a Front Desk from which staff assists participants with everything from registering for a class to scheduling a ride home.

Multi-Purpose Rooms

¹ City of Palo Alto Comprehensive Plan, Community Services and Facilities, page C-1.

The larger multi-purpose rooms are used for classes such as French, History as Biography, Current Events, Genealogy, Life Stories, Mandarin, Movie History, Ukulele, Watercolor and Acrylic Painting. The rooms are generally set up conference style, as opposed to classroom style, to facilitate discussion and engagement. Last year Avenidas offered 29 classes of this sort, many of them in each of the four quarters.

These same larger multi-purpose rooms and the dining room (when not being used for lunch service) are used for lectures and workshops on a variety of issues of interest to seniors. Some of these are one-time-only events while others recur during the year. Examples of informational and training programs in this category are AARP Drivers Safety workshop, Clutter Busters Club, Emergency Preparedness Crime Prevention, Fair Housing & Tenant Rights, Improv Workshop and Gardening Club. The number of people attending these lectures and workshops range upwards to 100 and more.

Meetings of staff members and volunteers, including an active Board of Directors and various Advisory Councils, and various supports groups (for adult children, spouse caregivers and individuals with various chronic diseases) share the multi-purpose rooms with the classes, lectures and workshops.

These same rooms are used for tax preparation in the winter and one-on-one appointments with health insurance counselors and elder law attorneys.

Small Personal Service Rooms

Avenidas offers a number of personal services such as acupuncture, massage, reflexology, podiatry, nail care and Reiki. These services are by appointment and offered by practitioners in two small rooms. Health screenings (bone density, hearing and skin cancer as examples) are also conducted in these small rooms.

Basement

There are two computer labs in the basement.

Administrative Offices

The Center also houses about two-thirds of the organization's employees. Some, such as the transportation coordinator and social workers, meet regularly with clients and volunteers in their offices and, for the most part, run their programs from their offices. Other employees are administrative (finance and accounting, fund development, marketing and general management).

One space is both administrative and public: the Avenidas Village office. The Avenidas Village program (a membership program that provides high touch support to individuals who are aging in their own homes) requires both dedicated staff space and a small public space where Village members can gather and meet. It serves as its own Front Desk and lobby for those Village members to come to the building for services.

At present there are two small rooms with copiers and other office equipment that is shared by the employees, teachers and volunteers. There is no staff room.

Special Purposes Spaces

The current building has no special purpose spaces, with the exception of the kitchen.

The proposed addition will include a fitness room with appropriate flooring, mirrors and barres and will, by design, not accommodate multiple uses. This fitness room will be used for such classes as Matter of Balance, Tai Chi, Pilates, Low Impact Aerobics, Light Adaptive Yoga, Hatha Yoga and Exercises for Parkinson's. Last year, Avenidas offered 17 such classes.

PROPOSED PROJECT DESCRIPTION

Avenidas operates out of the existing historic building at 450 Bryant Street in downtown Palo Alto. The building was built in 1926 as the City of Palo Alto Police and Fire Station. The building was designed by

Palo Alto architect Birge Clarke. Avenidas modified and renovated the building in 1977-1978 when its occupancy of the building began. Over the past six years, Avenidas has been exploring how to continue to provide the highest level of services to the community and accommodate the growing demand at the existing location. The senior population is large and growing rapidly. The 55+ segment of Palo Alto's population grew 25% between 2000 and 2010 and today represents almost one-third of the total population of the city. As indicated in the City of Palo Alto's Comprehensive Plan, Avenidas (formerly the Senior Coordinating Council) is the sole provider of senior services on behalf of the City of Palo Alto. Consistent with the Comprehensive Plan goals for community services, Avenidas must evolve and adapt to the changing needs of the aging population.

Meeting these needs starts with our programs and extends into our physical infrastructure. The expansion and remodeling of our facilities is fundamental to our abilities to continue to provide the highest level of service to the Palo Alto community.

This expansion and remodeling also addresses Community Services goals of the City's Comprehensive Plan: "Goal C-4: "Attractive, Well-maintained Community Facilities That Serve Palo Alto Residents... Reinvest in aging facilities to improve their usefulness and appearance. Avoid deferred maintenance of City infrastructure. (Policy C-24)"²

The proposed existing building and addition is +/-22,700 square feet. The first level is the largest at +/- 11,100 square feet and includes the addition of an atrium lobby, main lobby, reception and classrooms and multi-purpose rooms.

The second floor is +/-7,500 square feet and includes multipurpose rooms, meeting rooms, classrooms and administrative areas.

A third floor in the new wing will be +/- 2,500 square feet and will include a fitness room and small meeting room.

The circa 1925 shed at the rear (the "Garden Room") will be renovated to house the staff and members of Avenidas Village.

The basement below the original building will become a theater/small auditorium.

Parking

Part of the project's challenge is the limited space available for development based on Avenidas' leasehold area and the adjacent park and parking lot. The proposed addition is to remain within the current leasehold boundary. With no land on which to build parking spaces, it is our plan to meet the project's parking requirement of 31 spaces by paying an in-lieu fee to the Downtown Parking Assessment District. It may, however, be possible for the City to obtain an exception to this parking requirement, under direction from the City's Comprehensive Plan which states:

Policy L-56: To reinforce the scale and character of University Avenue/Downtown, promote the preservation of significant historic buildings.

Older buildings may be at a disadvantage because of the expense and specialized skills needed to adapt them for contemporary use. This is particularly true where seismic strengthening is needed or where the site cannot accommodate current parking requirements. In some cases, the use for which the building was designed is not even allowed by current zoning. The following programs are intended to help overcome these obstacles and enable older buildings to be more competitive with new development.

*Allow parking exceptions for historic buildings to encourage rehabilitation. Require design review findings that the historic integrity of the building exterior will be maintained.*³

² City of Palo Alto Comprehensive Plan, Community Services and Facilities, page C-16.

³ City of Palo Alto Comprehensive Plan, 2007, Land Use and Community Design, pages L39-40

Historic Preservation

The City of Palo Alto's Downtown design guideline recommends that a sense of history be preserved and historic structures be emphasized. The architectural concept of the addition is to significantly maintain the architectural features of the existing historic building by adding an addition at the back of the building, replacing the 1976 dining room with a three story wing and a two story atrium. The design aesthetic of the new addition is modern with the building composed of aluminum, glass and stone elements. The scale and massing of the addition is such that it is in proportion to the existing historic building. The existing rear wall of the historic building will become a prominent feature of the proposed new wing. The existing building entry will remain along Bryant Street. No exterior building modifications are proposed to the other three sides of the existing building. Participants will enter into a main lobby/reception that will look out into the remaining courtyard. With the remodeling of the interior space, the circulation and way finding throughout the facility will be improved. No historic interior features remain after previous interior renovations.

The renovated building will have less office space than it presently does. Except for a few staff who interact directly and daily with participants and guests, staff will be consolidated into part of the second floor in open space configured with workstations, a few private offices and shared huddle rooms. We do not expect that more staff will be required as a result of the building expansion.

Interior renovations are being designed to make the space feel open and inviting. We want visitors to be able to walk through the building and see what is going on and be enticed to join in. Small spaces will be combined into larger spaces. We also want pedestrians walking by on the Bryant Street sidewalk to be able to look in and see what's going on. Foundation landscape will be replaced with low-scale plantings and there will be larger and more active multi-purpose rooms flanking the front entrance.

PROJECT IMPACT

We plan to phase construction to make it possible to continue to operate in the building during construction. The cost to rent alternative space, if we could even find it, would be prohibitive and it is unlikely that our participants would follow us to a temporary location if it were out of the downtown area with which they are familiar.

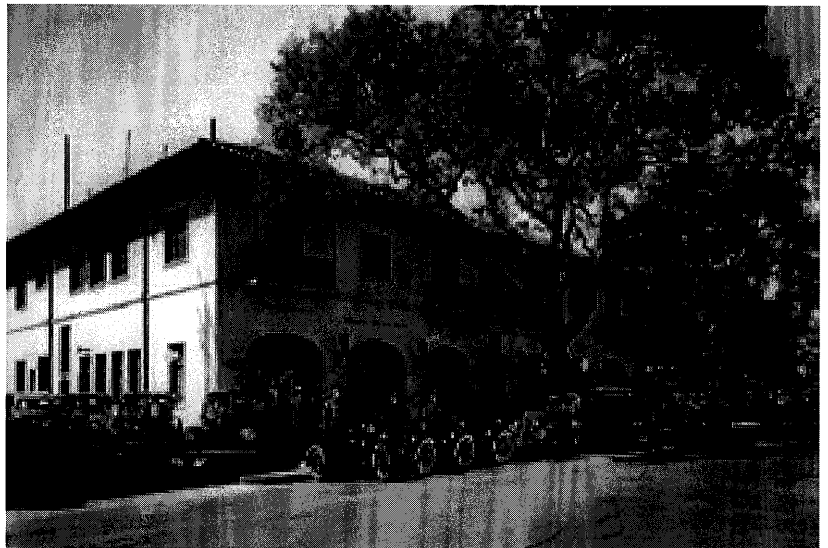
The first phase will be construction of the new wing at the rear and is expected to take one year. During that time, La Comida de California will need to relocate its lunch program and the rear entrances to the building will be closed. The Garden Room, now used as a small multi-purpose room, will be renovated and unavailable for programming. The second phase will likely be the second floor remodel, during which time some staff will be temporarily re-located to the basement but programming will continue on the first floor and in the new wing. The new dining room will re-open and La Comida de California will be able to resume lunch service. The renovated Garden Room will be available for Avenidas Village or, temporarily, for other programming.

During the third phase of the project, the first floor of the historic building will be renovated. The front entrance will be closed much of the time, a few dislocated staff will have temporary work areas in the new wing but programming will be largely unaffected with new space that is now available.

The project's general contractor estimates that the second and third phase remodels will take 6-9 months.

With the exception of La Comida de California, the building's only subtenant which will have to relocate entirely during part of the construction, all other service providers will be accommodated in one part of the building or another during construction. Once complete, the larger building will be able to accommodate additional service providers and/or expanded hours by existing ones.

Draft Historic Resource Evaluation Report
450 Bryant Street
Palo Alto, CA



Received

JUL 15 2015

Department of Planning
& Community Environment

prepared for
Avenidas

prepared by
Architectural Resources Group
San Francisco, California

May 28, 2015

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DRAFT Historic Resource Evaluation

450 Bryant Street
Palo Alto, CA

May 28, 2015

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APPENDICES

Appendix A: Existing Conditions Photographs of 450 Bryant Street

Appendix B: Historic Photographs of 450 Bryant Street

Appendix C: Original Plan Drawings

1. INTRODUCTION AND METHODOLOGY

Architectural Resources Group, Inc. (ARG) has completed this Historic Resource Evaluation (HRE) in connection with the proposed rehabilitation and new addition to the former Police and Fire Building at 450 Bryant Street in Palo Alto. The property is listed as a Category 2 building ("Major Building" of regional importance) in Palo Alto's Historic Inventory, and is recognized as a Point of Historical Interest by the State of California. These designations qualify the building for consideration as a "historical resource" per the California Environmental Quality Act (CEQA). In California, historical resources must be considered in the environmental review process. In general, a project involving a historical resource that has been determined to comply with the Secretary of the Interior's Standards can be considered a project that will not cause a significant impact on the historic resource per CEQA.

The first part of this report includes a physical description of the property, a summary of the building's historical background, a chronology of use and development, a summary of previous evaluations, and identification of character-defining features. ARG has also provided an updated evaluation of the subject building and associated garage structure per the California Register of Historical Resources (CRHR) and local criteria. The second component of this report uses the above-mentioned background information to provide an assessment of the proposed project's consistency with the *Secretary of the Interior's Standards for Rehabilitation*.



Figure 1. 450 Bryant Street aerial view, subject property outlined in red (Source: Google Maps aerial view, amended by author).

The building at 450 Bryant Street was designed by prominent architect Birge Clark, who was responsible for designing hundreds of buildings in Palo Alto and the surrounding area during the first half of the twentieth century. From 1927 through 1970 the building housed the City's police and fire departments, including the Police Court and city jail facilities. As a new civic center began to develop in the mid-1960s, some of these functions were transferred to other locations. The final vacancy occurred in 1970, with the departure of the police department and the Communications Division. The building remained vacant for most of the 1970s and was converted for use as a senior center by the Senior Coordinating Council (SCC) in 1978. The SCC changed its name to Avenidas in 1996, and functions today as a community-based nonprofit organization that provides services to older adults in Palo Alto and the larger Bay Area.

The proposed rehabilitation of 450 Bryant Street entails construction of a new three-story addition at the rear of the building and a full rehabilitation of the interior of the existing building. A more detailed project description is included below in Section 7.1.

To complete the HRE report for 450 Bryant Street, ARG:

- › Conducted a site visit to examine and photograph the project area and its surroundings on June 12, 2014;
- › Reviewed existing historic evaluations of 450 Bryant Street;
- › Conducted additional research as necessary to supplement the existing record, including permit research at the Palo Alto Development Center and archival research at the Palo Alto Historical Association; and
- › Reviewed proposed project drawings prepared by Kenneth Rodrigues & Partners, Inc., (set dated May 27, 2015).

2. SUMMARY OF FINDINGS

The former Palo Alto Police and Fire Building at 450 Bryant Street is locally significant for the quality of design in its original exterior detailing, for its association with important local architect Birge Clark, and as an important local municipal building. Built around the same time, the former garage building was also designed by Clark and served the building's historic function as the Police and Fire building. Though the interiors of both buildings have been significantly modified over time, they retain an adequate amount of original exterior character defining features to communicate their historic significance, and the property as a whole qualifies as a historic resource per CEQA.

In general, ARG finds the proposed project compliant with the Secretary of the Interior's Standards for Rehabilitation. Recommendations have been provided, however, for alterations to the proposed project that would increase compatibility with the existing historic resource and result in a more cohesive design.

3. SITE AND BUILDING DESCRIPTION

3.1 Site Description

The building at 450 Bryant Street is located in Downtown Palo Alto, on the south side of Bryant Street between Lytton and University Avenues. It lies between Cogswell Plaza to the west and an alleyway to the east. The original building, 1950 addition, 1978 cafeteria wing, garden walls, and an auxiliary building used as an activity room define an enclosed courtyard on the south side. A parking lot occupies the south portion of the lot behind the building. The surrounding neighborhood is generally commercial in nature.

3.2 Building Description



Figure 2. 450 Bryant Street, primary elevation (ARG, June 2014).

The main building at 450 Bryant Street is constructed of reinforced concrete and wood framing with a stucco exterior finish. Stylistically, it is a Spanish Colonial Revival building with a first-floor arcade, carved rafters exposed at the eaves, and clay barrel-tile roofing. A finely detailed door surround marks the original central entrance to the building with “Police Court” carved into a panel above the door. The surround is concrete, tooled and colored to contrast with the stucco walls and to have the appearance of stone. The second story is characterized by three sets of French doors; each door opens to balcony featuring decorative ironwork. Other exterior features include decorative wrought iron details and original light fixtures. The window type found throughout the building is a steel multi-pane casement, arranged in various configurations.

The interior of the building has been altered considerably from its original appearance. The present interior configuration dates primarily to the 1978 rehabilitation, when the building was converted for use as a senior center. The original exterior walls and features generally remain intact despite later additions, but the original interior configuration has been altered so that no original interior spaces and

few to no original features remain. It is possible that some original features of the building, such as the skylights and their sub-frames, have been concealed within the present finishes.

Two additions were made to the original Police and Fire building: one for additional fire department facilities in 1950, and the other for a kitchen and dining room when the building was converted for use as the senior center in 1978. The 1950 addition attaches to the north end of the original building, and the 1978 addition attaches to both buildings at the southwest corner. Both additions were designed for compatibility with the original 1927 construction and feature stucco cladding and red clay tile roofs. The roofs are hipped like the original building and have open eaves with exposed rafter tails. The 1950 addition has rectangular multi-pane casement windows, and the dining room addition has arched window openings reminiscent of those on the front of the original building.



Figure 3. Rear entrance into Avenidas courtyard (ARG, June 2014).

The rear (south) elevation of the original building faces a courtyard flanked by the 1978 addition to the west and the former garage building (now a classroom) at the property's south corner. The courtyard is secured at the east and south perimeter by stucco-clad privacy walls and wood and metal gated enclosures. The courtyard features a colorful tiled fountain, wood trellises, a small refuse enclosure, and wood benches, all of which were installed as part of the 1978 rehabilitation.

Note: See Appendix A for additional existing conditions photographs.

4. HISTORICAL BACKGROUND AND CONTEXT

4.1 Palo Alto

Although the land was once occupied by the Ohlone and later part of vast Spanish land grants, modern-day Palo Alto was formed in the late 1800s by Leland and Jane Stanford, the founders of Stanford University. The Stanfords “decided that the new university should have an accompanying college town to provide a clean-living place for student housing and other services.”¹ After both the neighboring towns of Menlo Park and Mayfield refused to stop serving alcohol, Stanford decided to create his own dry town and called it University Park. In contemporary advertisements, the area was described as “a tract of beautiful oak-park land, immediately opposite and adjoining the grounds of the Leland Stanford Junior University.”² The land was “subdivided into villa blocks, comprising about five acres each... in the most artistic manner, with broad avenues intersecting each other at picturesque angles.”³ University Park officially became Palo Alto in 1892. By the turn of the twentieth century, Palo Alto was a developing town that “had solved many of the basic problems of survival by installing an efficient water system, paving the roads, establishing schools, developing sewage management, and other municipal functions.”⁴

4.2 Site Development

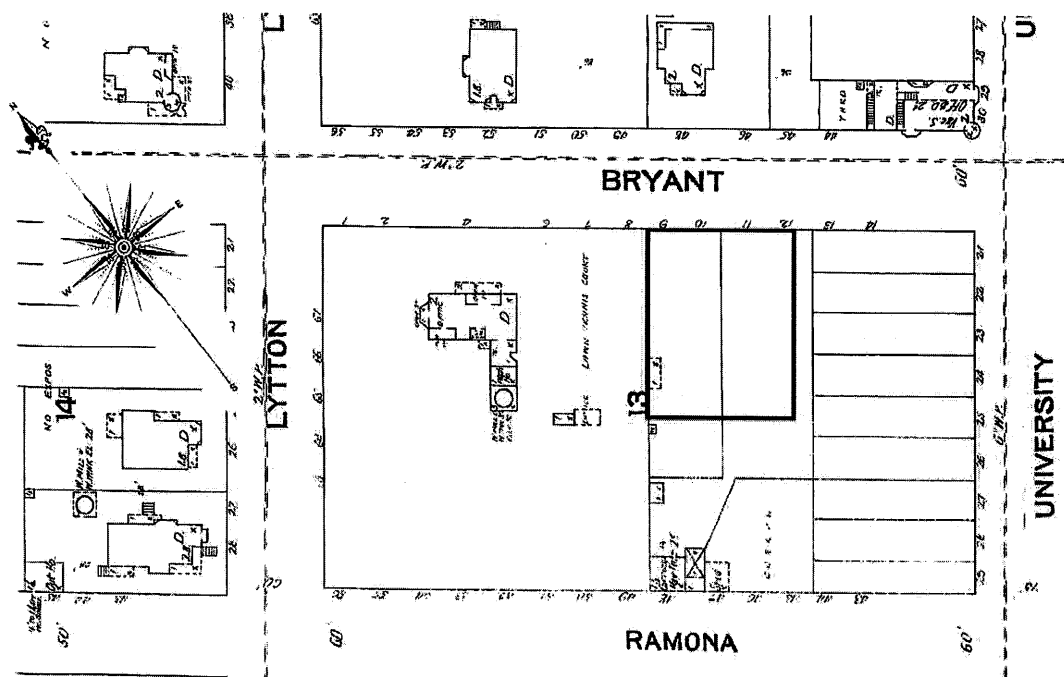


Figure 4. 1894 Sanborn Map detail, site of subject property outlined in red (map amended by author).

¹ Pamela Gullard and Nancy Lund, *History of Palo Alto: The Early Years* (San Francisco: Scottwall Associates, 1989), 83.

² *Ibid*, 85.

³ *Ibid*.

⁴ *Ibid*, 137.

Sanborn Maps dating to the 1890s indicate the area directly surrounding the subject block consisted of a mix of vacant lots and single-family dwellings. A large residence and associated site features including a “lawn tennis court” occupied the west half of the subject block as of 1894. The east half of the block held a collection of small sheds, a carriage house, and a corral, as well as a number of vacant lots lining University Avenue. By the 1920s, the area had developed further with a mix of single and multi-family dwellings, lodging establishments, and businesses. The residential estate that had existed on the subject block in the 1890s had been removed and replaced by a park on the western half of the block. Two dwellings sat on the subject site.

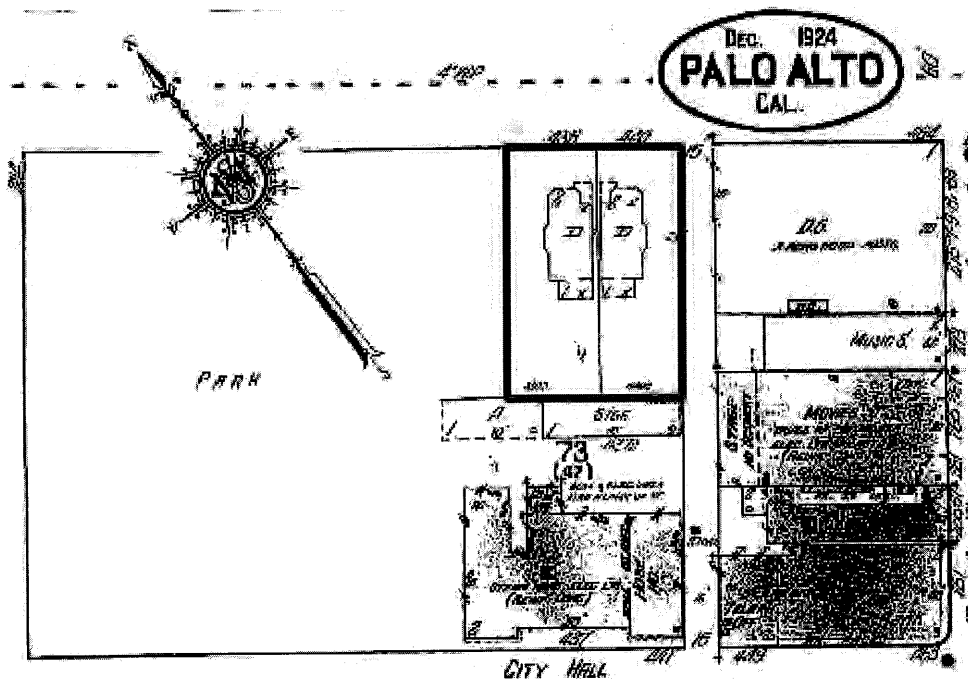


Figure 5. Sanborn Map, detail, 1924, site of subject property outlined in red (amended by author).



Figure 6. Palo Alto City Hall, Ramona Street, c. 1920s (Source: Palo Alto Historical Association).

Palo Alto's first City Hall building was constructed in 1907, just south of the subject property, facing Ramona Street. This one-story building was initially intended to be a temporary facility, and a more permanent City Hall building was to be constructed at University Avenue and Waverley Street; however, these plans were never executed. To accommodate a growing need for space, the City added a second story to the 1907 building around 1922, and other plans for expansion developed.⁵ According to a history of the police and fire building:

[For] two-and-one-half years the City of Palo Alto studied the problem of locating a jail, accommodating the fire and police departments together with the problem of relieving increasing congestion at the City Hall...Finally a plan was outlined for the construction of a permanent building to accommodate the fire department, police department and jail. It would be located on municipal property facing Bryant Street behind the City Hall.⁶



Figure 6. Palo Alto Police and Fire Station, 450 Bryant Street, c. 1927
(Source: Palo Alto Historical Association).

On January 20, 1927, the City Council recommend a bond issue of \$74,000. Construction of the Palo Alto Police and Fire Building was completed at the end of 1927, and the building was formally dedicated on December 6 of that year. To celebrate the dedication, a dinner and program were held in the new quarters. An article in the *Palo Alto Times* gave the following report:

What with an old-time chicken dinner, music both vocal and instrumental, vaudeville entertainment and speeches bristling with wit and praise of Palo Alto as one of the best – nay, even possibly the very best town in California – a good time was had by all.⁷

⁵ *Palo Alto: A Centennial History*, 229

⁶ History of the Fire/Police Building, Palo Alto Historical Association archives, 2.

⁷ Ibid, 4.

The event, held in the club room of the Fire Department quarters, was attended by municipal officials, employees, and guests. As noted in the *Palo Alto Times* article, the “event was voted so successful that hopes were expressed that it could become an annual affair.”⁸

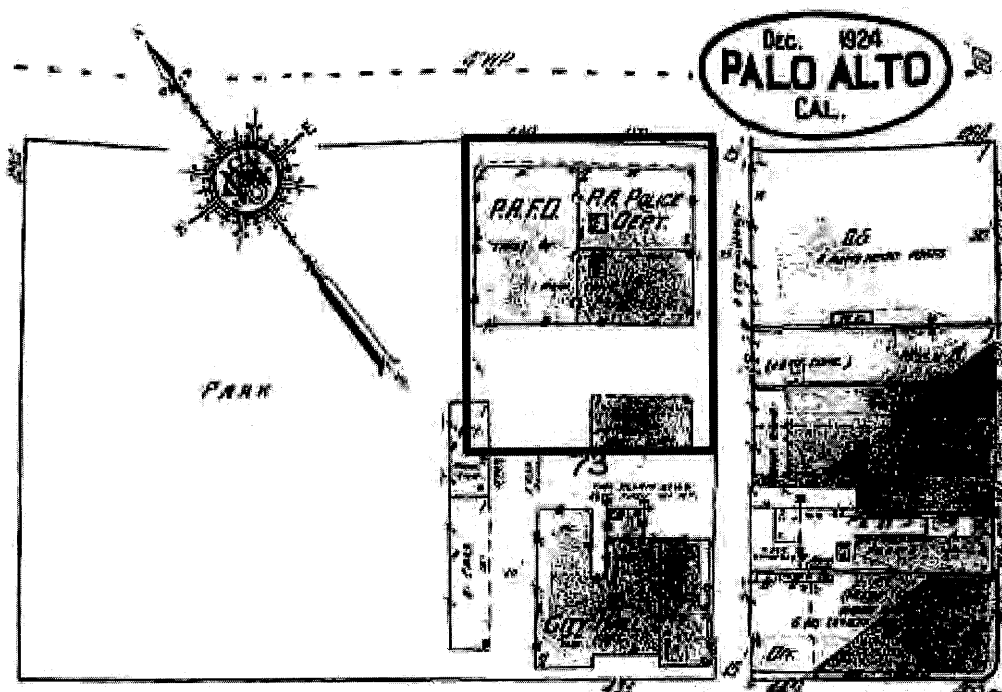


Figure 7. Sanborn Map, detail, 1949, site of subject property outlined in red (amended by author).

The 1924 Sanborn shows two ancillary structures associated with City Hall: a garage and a storage unit, both rectangular in plan and located behind the building. These structures were later demolished to accommodate a new garage, which may be the structure that remains behind the former Police and Fire building today. A six-car garage and an office building had been constructed to the west of City Hall by 1949, but these two buildings are no longer extant.

The years following World War II marked a period of growth and expansion in Palo Alto. As part of this development, the City made building a new City Hall a top priority. The relocation of City Hall to a site at Embarcadero and Newell roads in 1950 was fiercely contested, since it was located in the middle of a residential area.⁹ Although many voted against the proposed location, the City purchased the lot and built new city hall there despite the objections. The City's offices moved again about twenty years later, when the existing City Hall building at 250 Hamilton Avenue was constructed in 1970. The original City Hall was demolished in 1953; the adjacent six-car garage and office building were also likely demolished at this time.

The open space adjacent to the subject building, presently known as Cogswell Plaza, was originally established as City Hall Park in 1924. The park offered grassy areas, a children's playground, numerous shrubs and trees, and several benches.¹⁰ Increased vehicular traffic in the downtown area, as well as

⁸ History of the Fire/Police Building, Palo Alto Historical Association archives, 4.

⁹ Ibid. 54.

¹⁰ City of Palo Alto, "Cogswell Plaza," <http://www.cityofpaloalto.org/news/displaynews.asp?NewsID=104&TargetID=14> (accessed 26 May 2015).

overcrowding at City Hall, led to a proposal in the early 1950s to convert the park for use as a parking lot or as the site for a new City Hall annex. Local residents supported retention of the park, and neither proposal passed. In 1955, the park was redesigned by Bay Area landscape architect Douglas Baylis, and dedicated to Elinor Cogswell, who had been a leading advocate for preservation of the park.¹¹ Cogswell served as editor of the *Palo Alto Times* from 1938 to 1954.¹² The park underwent a \$150,000 renovation in 2012, which included new landscaping, pathways, and light fixtures. The City also removed tall shrubs and hedges from the site and replaced them with new low-growing vegetation. A key component of the new design was a circular seating area of decomposed granite.¹³

4.3 450 Bryant Street

Police and Fire Building

The Palo Alto Police and Fire Building was designed by Birge Clark in 1926, and constructed in 1927. Clark opened his architectural practice in Palo Alto in 1922, and the Police and Fire Building was his second municipal commission, following an addition to the public library designed during his first year in business.¹⁴ A written history of the building discusses the research that went into the design of the building – a unique combination of police and fire facilities at the time:

In the 1920s there were many fire houses, there were fewer police stations or combined fire and police stations, and still fewer included a jail. It was desired to have a jail as it was very often inconvenient and sometimes a real problem to take an arrested person to the County Jail in San Jose. Birge Clark, Alfred Seale, Chairman of the Board of Safety, William Clemo, the Fire Chief, and Howard Zink, the Police Chief, visited several nearby jails and firehouses. They talked with the famous Police Chief of Berkeley, August Vollmer, who provided several valuable hints about constructing a small holding jail – eight cells for men and three for women and children. Since there was the possibility that they might temporarily be holding a desperate criminal, it was necessary that the steel bars of the cells be saw-proof and that locks could not be opened on the inside of the cell.¹⁵

Upon completion of the building, a minor scandal erupted when it was discovered that the bars on the jail cells could be easily cut. Soon thereafter, the company that had supplied the cells made the appropriate corrections and new tamper-proof jail cells were installed.¹⁶

The construction costs for the Police and Fire Building totaled \$53,000, including the steel jail cells in the Police Department quarters.¹⁷ The structure was designed with reinforced concrete external walls, columns, and girders, with floor joists and interior partitions of wood. One exception to the interior wood partition walls was the jail, which was entirely enclosed with reinforced concrete internal walls.¹⁸ The following sections describe the building interior as it was originally designed and constructed.

¹¹ Ibid.

¹² Ibid.

¹³ Jason Green, "Palo Alto's Cogswell Plaza Gets a New Look," *Palo Alto Times*, 17 December 2012.

¹⁴ Ibid, 1.

¹⁵ Ibid, 3.

¹⁶ Ibid, 3.

¹⁷ Ibid, 1. Also: "Building for Fire and Police Departments; Palo Alto, California; Birge M. Clark, Architect." *The Architectural Forum* (November 1931), 580.

¹⁸ History of the Fire/Police Building, Palo Alto Historical Association archives, 1. Also: "Building for Fire and Police Departments; Palo Alto, California; Birge M. Clark, Architect." *The Architectural Forum* (November 1931), 580.

Original building – Exterior Description

As originally constructed, the “Central Police and Fire House” was a two-story, rectangular plan building with stucco-clad exterior walls and multi-pane steel casement windows. Several skylights lit the second floor interior, and a wide partial hipped roof topped the building. Spanish clay tiles covered the roof planes, and the open eaves exposed decorative rafter tails.

The primary (Bryant Street) elevation featured six arched openings at the ground level and a series of multi-pane casement windows and three sets of wood frame French doors at the second story. A central entrance provided access to a small entry vestibule and the stairway leading to the court room on the second floor. On either side of this door were the entrances to the police department quarters on the left, and the fire department quarters on the right. On the police department side, the outer arched openings had a tiled bulkhead wall with multi-pane steel sash windows above. The central arched opening had a similar bulkhead and windows as well as a multi-pane glazed pedestrian entry door. The original fire truck entry doors were composed of vertical wood boards with wrought iron hardware. On the second story, the French doors opened out onto shallow balconies with decorative wrought iron railings.

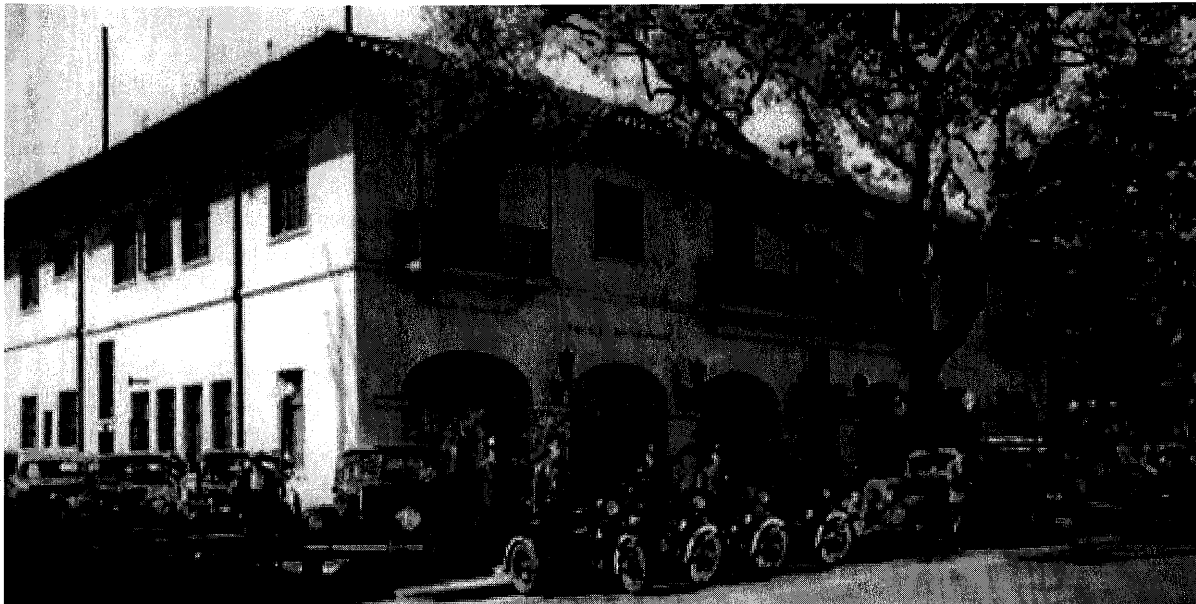


Figure 8. Palo Alto Police and Fire building, c. 1938 (Source: Palo Alto Historical Association).

The park-facing (north) elevation had several steel multi-pane windows, but no entry doors. The south elevation also had several windows as well as a steel entry door that led to the detention room corridor. The rear four windows on this elevation – those that lit the interior detaining rooms and holding cell areas – were secured with steel bars. On the rear (west) elevation, also in the location of the detention rooms and holding cells, were six more windows secured with steel bars. The only exit door on this elevation was a double-leaf wood plank vehicular door on the fire department side of the building.

Original building – Interior Description

The original building interior was divided in half to house the functions of the fire department and the police department and court. A reinforced concrete wall with pedestrian door openings divided the interior of the building at center, and the interior spaces were further divided with wood frame interior partitions clad with metal lath and plaster. According to the original plans, notable interior features and

finishes included wood paneled wainscot, chair rails, baseboards, and picture rails, as well as tiled wainscot and wood plank doors with wrought iron hardware in the main entrance lobby. The interior layouts and important spaces of both departments are described below.

Police Department - Basement

The basement of the police department contained a narrow “Target Range” along the length of the Bryant Street wall, and a boiler room set behind the stairwell. The boiler room was enclosed with a hollow tile partition wall, and was physically separate from the “Battery Room” at the rear of the basement, which was accessed by the rear stair. The space now occupied by the computer labs was used for storage.

Police Department - 1st Floor

On the police department side of the building, the central pedestrian entry door (in the center arched bay) accessed the main entrance lobby with tile floor and reception desk. Surrounding this lobby were offices for the chief and sergeant, a filing room, an office for the welfare worker, toilets, and an additional office space. As mentioned above, the police court entrance led to a small entry vestibule, also with a tiled floor. This vestibule provided access to the second level via the central stair, as well as interior access to both the police department and the fire department headquarters on either side. The front offices on the first floor were separated from the detention and holding areas at the rear by a long corridor leading from the exterior door at the alley. The rear spaces included six holding cells with bunks, toilets, and sinks; an identification room; and two detention rooms. A rear staircase provided secondary access to the court room level and access to the battery room on the basement level. On the main floor, the front offices had wood floors with tiled floor surfaces at the lobby and courtroom entrance vestibule. The rear detention room areas had cement floors.

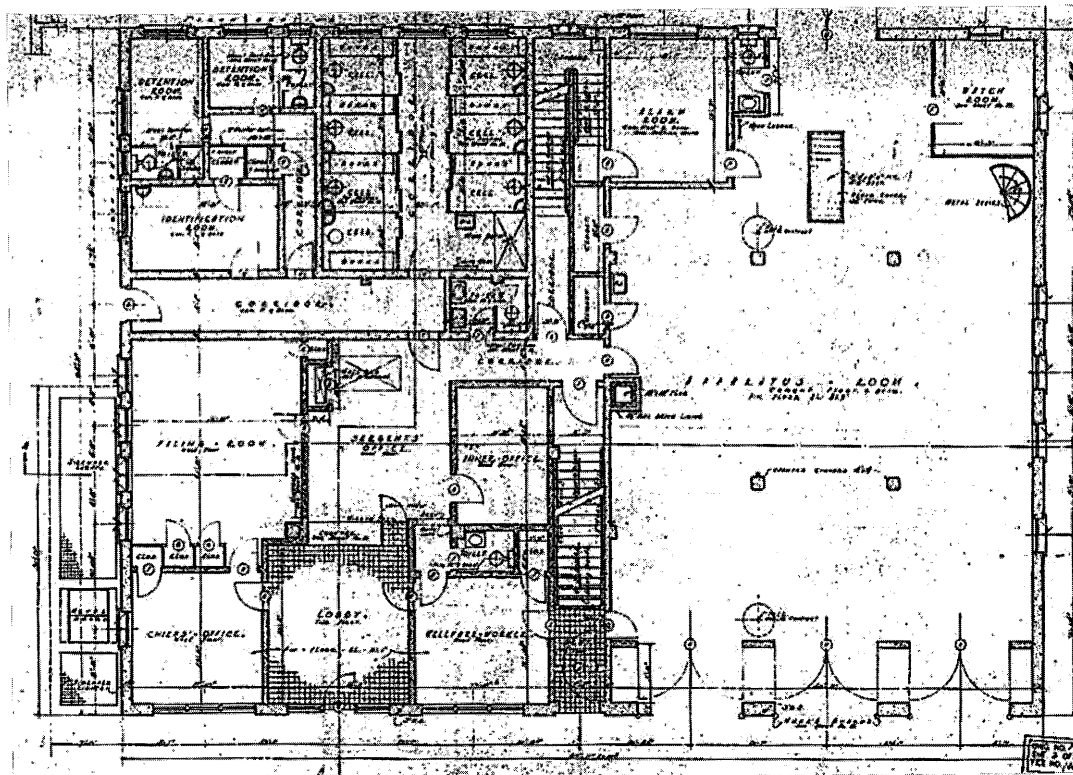


Figure 9. Original architectural drawings by Birge Clark, first floor. The left side of building housed the police department quarters, and the right side the fire department quarters (Source: Avenidas drawing file).

Police Department - 2nd Floor

At the second story, the two stairways led to a main corridor, which provided primary access to the courtroom. The squad room, located at the front of the building, had metal lockers along the west wall and led to a bedroom at the southeast corner of the space. Shower and toilet facilities were located along the passageway leading to the squad room from the main corridor. Most of the space on the second floor was occupied by the large courtroom. This room had a wood floor and received ample natural light from two overhead skylights. A solid rail with two gated openings separated the audience space from the head of the courtroom. A jury room, toilet facilities, and a "Supplies and Records" room were located along the rear wall of the building. Most of the floor surfaces on this floor were wood, with exception of the toilet facilities, which had cement floors.

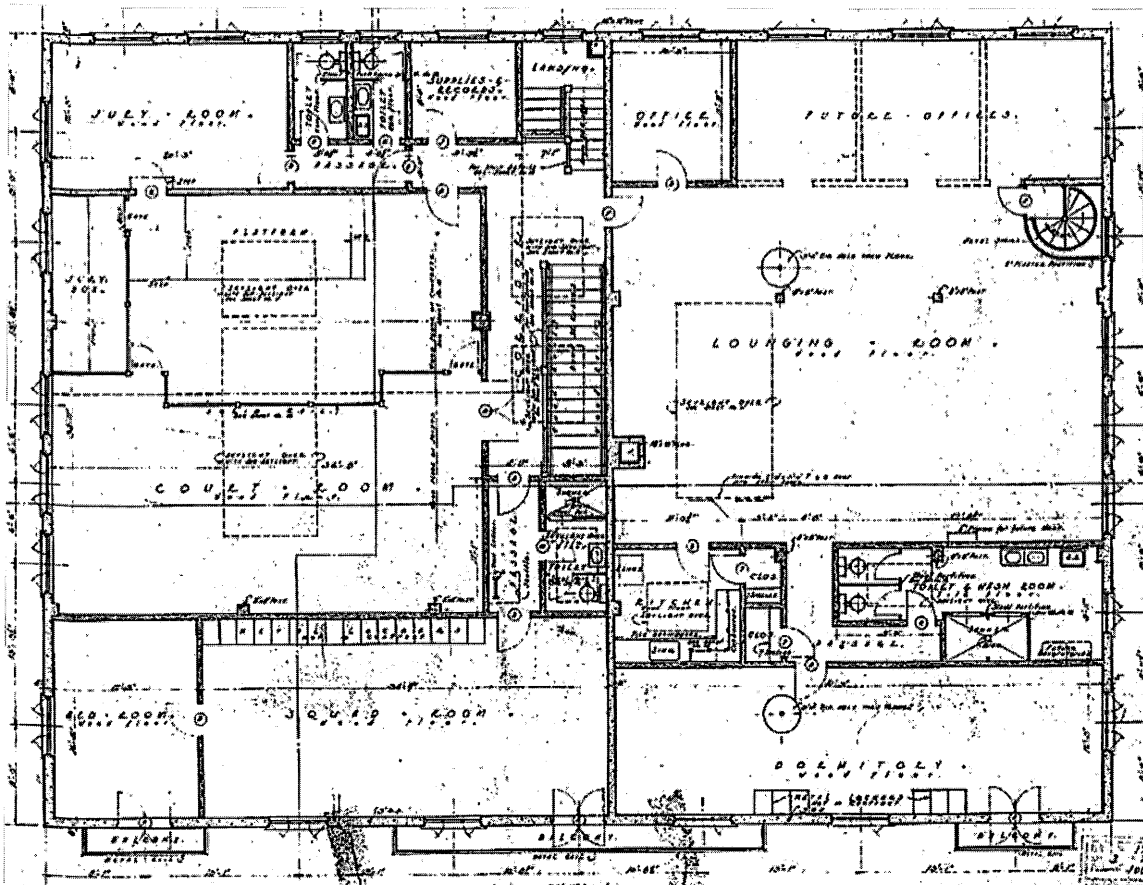


Figure 10. Original architectural drawings by Birge Clark, second floor. The left side of building housed the police department quarters, and the right side the fire department quarters (Source: Avenidas drawing file).

Fire Department - 1st Floor

Most of the ground floor fire department space was occupied by a large "Apparatus Room" with a cement floor. The front wall had three double leaf wood vehicular entry doors, and one double-leaf vehicular door was located at the rear wall. Two firemen's poles accessed this level from the second story residential and lounging areas, and a spiral staircase was set along the north wall. An "Alarm Room," toilet room, and a "Watch Room" were located at the rear of the space.

Fire Department - 2nd Floor

The second story of the fire department building contained facilities for the fire department staff. A dormitory with metal lockers occupied the front portion of the floor. This was separated from a large "Lounging Room" by a kitchen area and toilet and washroom facilities. On the original plans, one permanent office is shown in the south corner, with three "Future Offices" immediately adjacent.

Development and Use

The building was originally constructed to house the police department and jail, the fire department and offices, and the municipal court, and these entities operated out of the 450 Bryant Street location for nearly forty years. Research indicates that the use of the building was intensive. The "Fire Department estimated that there were about fourteen employees in the building on each shift, with one to three visitors daily. The police department had a peak number of 101 employees, and an estimated 150 visitors daily."¹⁹ City documents did not include information on the number of employees or visitors to the municipal court.²⁰

The City of Palo Alto grew quickly in the first half of the 20th century, and with this growth came the need for expanded police and fire department facilities. To meet this demand, a one-story addition to the building was completed in 1950 for fire administration; the addition was later used for communications dispatch.²¹ A new fire station at Newell and Embarcadero was also completed around this time.²² Despite the addition to the Bryant Street station, the call for additional space continued to increase, and the City began planning a new civic center to house municipal activities. This civic center, completed in 1970, would house the police department, provide quarters and administrative facilities for the fire department, and create a new office for the Fire Prevention Bureau. As the new facility neared completion, the City began to transition the departments out of the building at 450 Bryant Street. The fire department moved out in 1964 and was replaced by the Communications Division. The municipal court moved out in 1965 and the police department and Communications Division moved out in 1970.

The building remained vacant for most of the 1970s with the exception of temporary occupancy of the former Fire Department quarters during the winter of 1972-1973 by a youth group making and selling handicrafts (sponsored by the Recreation Department and supported by the Youth Advisory Commission).²³ In 1973 the City Council adopted a policy that dictated that the City maintain title to the property for the foreseeable future, and that the architectural character and aesthetics of the building be preserved and enhanced.

Many new uses were proposed for the building during its vacancy, and two significant proposals – one for a non-profit business and one for a Mexican-themed restaurant – were considered. In 1974, Richard Nieto won the lease and intended to establish shops and a Mexican restaurant called "El Palacio de Luz de Oro" on the site, but the lease was terminated by the City of Palo Alto in June 1975 after the City determined that Nieto was in default of at least three articles in the lease agreement.²⁴ Newspaper articles from May 1974 indicate that Nieto held a public auction during his brief tenancy to sell off the fittings and other items that remained in the building. Original features sold at the auction included the

¹⁹ Elizabeth S. Crowder, "Environmental Impact Assessment for Old Police/Fire Building, Palo Alto" (19 April 1973).

²⁰ Ibid.

²¹ History of the Fire/Police Building, Palo Alto Historical Association archives, 4.

²² "Ledford Says New Fire Station and Improvements are Needed," *Palo Alto Times*, 8 December 1947.

²³ Crowder, "Environmental Impact Assessment for Old Police/Fire Building, Palo Alto".

²⁴ George A. Sipel, City Manager, "Staff Report: Old Police/Fire Building," 16 July 1975.

jail cells, one of the fire poles (the other was stolen the night before the auction), the spiral staircase, brass doorknobs, ceramic tiles, plumbing and light fixtures, chairs, tables, windows, doors, and many other original features.²⁵



Figure 11. Jail cell removal, 1974 (Source: *San Jose Mercury News*, Palo Alto Historical Association).

In 1976, the City of Palo Alto agreed to lease the building to the Senior Coordinating Council of Palo Alto, Inc. (SCC) for one dollar per year. The SCC, in turn, would be responsible for the remodeling and furnishing of the building. Volunteers raised funds for the renovation of the building, which was to include the addition of a new dining room and patio to the building, and conversion of the rear one-story garage into a crafts shop. Other planned alterations included a full interior renovation to accommodate new offices, classrooms, and spaces for community groups and county and federal programs. On May 5, 1977, the groundbreaking ceremony took place. That same year, the building was nominated as a Point of Historical Interest.

²⁵ "Unusual Items for Sale Lure Crowd to Old Fire-Police Building," *Palo Alto Times*, 11 May 1974. "Old Jail Cells for Sale in Palo Alto Auction," *San Jose Mercury*, 10 May 1974.

4.4 Birge Clark

The son of Arthur B. Clark – a noted architect in his own right – and Grace Clark, Birge was born on April 16, 1893 in San Francisco. His parents had moved to Palo Alto the year before when Arthur began a professorship at Stanford University teaching architecture and art. Birge himself studied architecture at Stanford University and later at Columbia University. He earned a Silver Star for gallantry in World War I, after which he returned home to Palo Alto, where he enjoyed a successful career as an architect. Clark resided in Palo Alto until his death on April 30, 1989.

Over the course of his prolific career, Birge Clark was considered by many to be the “man who built Palo Alto.” When he opened his practice in 1922, Birge was only one of two licensed architects between San José and San Francisco.²⁶ His early works include the Lou Henry and Herbert Hoover House (1920) at Stanford University, for which his father Arthur was the head architect, and several cottages on the school’s campus. Birge also received the commission for the U.S. Post Office in Palo Alto, which was completed in 1933. Many of Birge’s designs are in the “Early California” style – his version of the Spanish Colonial Revival style. Birge Clark’s architectural contributions to Palo Alto cannot be understated, having designed over four hundred residential and commercial buildings in Palo Alto and the surrounding area.

Birge Clark’s autobiography provides the following reminiscence of the Police and Fire Building:

The Palo Alto Fire and Police Station...had as much of the ‘California Colonial’ feeling and, as a city building, had a more formal balance of arches and windows. One-half had arches for the fire engines to drive out through whereas the other half, occupied by the police, had the same arches but filled in with windows and tile work.

The design of the firehouse portion of this building was far simpler, with a dormitory on the second floor and two slide-down brass poles, as well as the normal stairway. The other half of the second floor was occupied by the police court and reached only by a long stairway...[the firemen] would not let the architect practice sliding down as they said ‘you have to be especially trained or you will break your ankle.’ I never could really see that sliding down the pole after they had pulled their clothes on was going to save – at the most – more than ten seconds.²⁷

Clark received an Honor Award from the Northern California Chapter of the American Institute of Architects in 1928 for his design of the Police and Fire Building. The decorative ironwork on the building was completed by Herman Bleiber, a craftsman who Clark retained for a number of his designs, including the National Register-listed Norris House at 1247 Cowper Street in Palo Alto.

²⁶ Dave Weinstein, *Signature Architects of the San Francisco Bay Area* (Layton, UT: Gibbs Smith, 2006), 70.

²⁷ Birge Clark, “Unpublished Autobiography of Birge Clark,” 26-28. Held in the collection of the Palo Alto Historical Association.

5. BUILDING CONSTRUCTION CHRONOLOGY

5.1 Building Chronology

Construction History

The building at 450 Bryant Street was designed by Birge Clark in 1926 and was officially dedicated in December 1927 as the Central Police and Fire Building for the City of Palo Alto. A 1950 addition at the north end of the building was designed by Clark's firm, Clark & Stromquist. The firm – at that point Clark, Stromquist & Sandstrom – designed a full renovation of the building interior and cafeteria addition in 1977 to accommodate the Senior Coordinating Council of Palo Alto, which moved in the following year. In 1995, the building underwent structural upgrades and another round of renovations. The lobby was remodeled in 2001, and in 2003, the building's HVAC system was modified and a fire alarm and detection system was installed. More recently, HVAC modifications to the cafeteria area were completed in 2013.

No building permits have been found for the construction of the one-story activity room building at the rear lot line, but Sanborn maps indicate that building may have been part of the earlier City Hall complex. A larger building marked as "storage" appears on the 1924 Sanborn in the general location of the existing building, but by 1949, a smaller reinforced concrete garage had replaced this structure. An undated drawing entitled "Proposed Automobile Sheds" is held in the Birge Clark archives at Stanford. It shows a small rectangular plan garage in the same general location as today's activity room, as well as a larger parking structure to the west. The larger structure also appears the 1949 Sanborn.

Research indicates that the accessory building was used as a garage or carport when the building was in use as the Police and Fire Building. The north wall of the garage – that facing the Police and Fire building – was open, and the structure had room for four vehicles, two in each bay. The structure was later converted for use as a wood shop, and it underwent a second conversion into an activity room for the senior center in 1995. The building appears to retain its original form, but alterations include a full interior refinishing, new windows and doors, and infill of vehicular entrances. The building retains its rectangular plan, stucco cladding, and tile roof.

The following Construction Chronology provides dates and descriptive information for known alterations undertaken at 450 Bryant Street since original construction. This chronology was compiled from building permit records and other information gathered at the City of Palo Alto's Development Center, as well as from original and alteration plan drawings held onsite. The sections below the Construction Chronology table provide additional information on the more significant construction campaigns in 1950, 1978, and 1995.

Construction Chronology

Date Permit Issued or Year Completed	Description of Work	Contractor/ Architect	Valuation
1927	"Central Police and Fire House for the City of Palo Alto" completed.	Birge Clark, architect	\$53,000
c.1930	Rear carport/garage accessory structure constructed	Birge Clark, architect	
1950	One-story addition to Fire Station. (See details below.)		

Date Permit Issued or Year Completed	Description of Work	Contractor/ Architect	Valuation
1978	Rear cafeteria/dining room addition and full interior renovation for use as senior center. (See details below.)	Clark, Stromquist, & Sandstrom	
1993	Minor interior alterations: new casework installed at reception area to meet ADA requirements; new partition wall 1 st floor meeting room (now library); new partition walls added in 2 nd story office area, previous walls demolished.	City of Palo Alto	
3/17/1995	Palo Alto Senior Center shop conversion to classroom – rear one-story building (originally a garage/carport) converted for classroom use: new doors and hardware, new A/C unit and water heater; install interior sink, cabinets, and drinking fountain; new closet and furnace area partitions. (See details below.)		
4/6/1995	Structural Upgrades and renovations to senior center. (See details below.)	Baucentrum Architects	
3/2/2001	Remove and replace roof with 5-ply J.M. 5GNC terra cotta color; only where repair is needed.		\$60,000
9/18/2001	Lobby & coffee room modifications, new ramp, new suspended ceiling, and coffee room upgrades.	Peterson Architects	\$10,000
9/23/2003	Ductwork, hot water reheat piping, direct digital controls for fan coil units; also fire alarm & detection system installed.	Kinetics Mechanical Service, Inc.	\$138,700
7/20/2004	Existing classroom – add dishwasher, disposal, water heater & refrigerator. Add upper cabinets & lighting (Int. remodel to existing classroom bldg.)	Oxley Works / David Oxley	
7/11/2007	Install automatic fire sprinkler system.	BFP Fire Protection	
8/1/2007	Install partition wall in basement, relocate electrical (to be used as: two computer labs)	Jeffrey Sultan, P.E.	\$25,000
12/22/2007	Replacement of commercial restaurant equipment (like for like) range, oven, sink, refrigeration equipment.	County Restaurant Supply	\$40,000
2013	HVAC Modifications – La Comida		

1950 Addition – Clark & Stromquist; Walter Huber, Structural Engineer

A one-story addition designed by Clark and Stromquist was added to the north side of the building in 1950 to provide additional office and vehicular space. The addition contained two office spaces along the north wall and an “Apparatus Room” occupied the remainder of the floor space. Two overhead vehicular doors were set at the rear wall, and one overhead door opened to Bryant Street on the front elevation. A single-pane glazed pedestrian door provided access from Bryant Street to the interior offices; a brick veneer bulkhead and multi-pane steel sash windows created a partial door surround at this location.

1977 - Clark, Stromquist, & Sandstrom, architects; Artunian-Kinney Associates, Inc., landscape architects

- Elevator installed

- Kitchen and dining room/cafeteria addition to rear of 1950 addition and southwest corner of original building
- Full interior renovation: reconfiguration of all interior spaces, only front central stair remains in original location
- Installation of windows at former fire truck entry doors
- Rear patio/courtyard created and new enclosures installed at parking lot access and alley
- Removal of several original windows on rear elevation
- Installation of new second story exit door and new rear stairway
- Exterior doors and hardware replaced
- Basement egress on east side of building (originally a covered light well) converted to stairwell
- Interior of 1950 addition reconfigured, front entry doors/windows reconfigured, two windows on west elevation infilled, and kitchen access door installed
- Exterior landscape improvements: new paving along Bryant Street and alley; courtyard improvements including new wood trellis and benches, new fountain, paving

1995 – Structural Upgrades and Renovations – Baucentrum Architects

Renovation project consisting of primarily interior improvements to address current seismic code and accessibility requirements. Major alterations included the following:

- New plumbing, mechanical, and electrical work throughout
- New cabinetry in lobby, corkboards, and other improvements in lobby
- Restroom upgrades throughout
- Handrail upgrades at stairs
- Remove west corner stage in dining room
- New signage throughout
- Replacement of existing wood doors, frames, trims, and thresholds, and hardware, with new components compliant with current disabled accessibility requirements (selected locations throughout)
- Replacement of existing metal handrail, pickets, and damaged galvanized metal stair tread at the exterior exit stair from basement to alley
- Removal and replacement of existing clay barrel tiles at roof of 1950 addition for seismic upgrading of roof structure; upon replacement, new tiles inserted to match existing where broken or damaged
- Removal and replacement of existing 4-ply built up roofing system at roof of 1950 addition for seismic upgrading
- Replacement of metal gutters at roof of 1950 addition to match existing
- Replacement of clear glass window at rear elevation (facing courtyard) to accommodate expansion of restroom

Other notes

On the ground floor, the police station side, the central arched bay originally had a multi-pane wood door, which was infilled to match the existing windows on either side prior to 1977 alterations. All three of these window bays appear to have new bulkhead cladding to match that on the other side of the building (where the fire truck entry doors have been infilled).

Cogswell Plaza Alterations

The City of Palo Alto adopted an ordinance in 1974 dedicating the Cogswell Plaza extension – a strip of land immediately adjacent to the north side of the building – as park land. The service road that ran

from Bryant Street to the parking area behind the building was removed and the area was provided with minimal landscaping. New walkways were installed to continue the curvilinear nature of the existing park sidewalks, and a small walkway for delivery of kitchen supplied (on foot) was provided from Bryant Street to the kitchen door.²⁸

6. EVALUATIVE FRAMEWORK

6.1 California Register of Historical Resources

The California Register of Historical Resources (CRHR) is the authoritative guide to the State's significant historical and archeological resources. It serves to identify, evaluate, register, and protect California's historical resources. The CRHR program encourages public recognition and protection of resources of architectural, historical, archeological and cultural significance, identifies historical resources for state and local planning purposes, determines eligibility for historic preservation grant funding and affords certain protections under the California Environmental Quality Act (CEQA).

The California Register criteria are modeled on the National Register criteria established by the U.S. Department of the Interior and the National Park Service. An historical resource must be significant at the local, state, or national level under one or more of the following criteria:

1. It is associated with events or patterns of events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
2. It is associated with the lives of persons important to local, California, or national history.
3. It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.
4. It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, state or the nation.

For a property to qualify under the California Register's Criteria for Evaluation, it must also retain "historic integrity of those features necessary to convey its significance."²⁹ While a property's significance relates to its role within a specific historic context, its integrity refers to a property's physical features and how they relate to its significance. Evaluation for eligibility to the California Register requires an establishment of historic significance before integrity is considered. To determine if a property retains the physical characteristics corresponding to its historic context, the California Register has based its seven aspects of integrity on those established by the National Register of Historic Places:

- *Location* is the place where the historic property was constructed or the place where the historic event occurred.
- *Setting* is the physical environment of a historic property.

²⁸ Susan Strahorn, Project Manager, Senior Center. "Proposed Use of the Old Police/Fire Building, 450 Bryant Street, as a Senior Center," 11 February 1977.

²⁹ National Park Service, *How to Apply the National Register Criteria for Evaluation*, 3, 44.

- *Design* is the combination of elements that create the form, plan, space, structure, and style of a property.
- *Materials* are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
- *Workmanship* is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- *Feeling* is a property's expression of the aesthetic or historic sense of a particular period of time.
- *Association* is the direct link between an important historic event or person and a historic property.³⁰

6.2 Local Criteria

Criteria for Designation

The City of Palo Alto has identified the following criteria, along with the definitions of historic categories and districts in Section 16.49.020 (see below), to be used as criteria for designating additional historic structures/sites or districts to the historic inventory:

1. The structure or site is identified with the lives of historic people or with important events in the city, state or nation;
2. The structure or site is particularly representative of an architectural style or way of life important to the city, state or nation;
3. The structure or site is an example of a type of building which was once common, but is now rare;
4. The structure or site is connected with a business or use which was once common, but is now rare;
5. The architect or building was important;
6. The structure or site contains elements demonstrating outstanding attention to architectural design, detail, materials or craftsmanship.³¹

Definitions

The City of Palo Alto's Historic Inventory lists noteworthy examples of the work of important individual designers and architectural eras and traditions as well as structures whose background is associated with important events in the history of the city, state, or nation. The Inventory is organized under the following four Categories:

- Category 1: An "Exceptional Building" of pre-eminent national or state importance. These buildings are meritorious works of the best architects, outstanding examples of a specific architectural style, or illustrate stylistic development of architecture in the United States. These buildings have had either no exterior modifications or such minor ones that the overall appearance of the building is in its original character.
- Category 2: A "Major Building" of regional importance. These buildings are meritorious works of the best architects, outstanding examples of an architectural style, or illustrate stylistic development of architecture in the state or region. A major building may have some exterior modifications, but the original character is retained.

³⁰ Ibid., 44-45.

³¹ Palo Alto Municipal Code, Chapter 16.49 "Historic Preservation".

- Category 3 or 4: A “Contributing Building” which is a good local example of an architectural style and relates to the character of a neighborhood grouping in scale, materials, proportion or other factors. A contributing building may have had extensive or permanent changes made to the original design, such as inappropriate additions, extensive removal of architectural details, or wooden facades resurfaced in asbestos or stucco.

Unlike the CRHR, the City of Palo Alto does not outline specific aspects of integrity for individual resources.

7. EVALUATION OF SIGNIFICANCE

7.1 Previous Evaluations

The building at 450 Bryant Street has already been evaluated for its historic significance. It is recognized on Palo Alto's Historic Inventory as a Category 2 building. The California Department of Parks and Recreation Historic Resources Inventory forms (DPR forms) for 450 Bryant Street provide the following information:

Originally the Palo Alto Fire and Police Station, this building has undergone remodeling to serve as a Senior Citizen Center...The most striking feature of the building, the elegant and inventive ironwork of its second floor balconies, will be unaffected by the proposed changes. Only the two-story portion was in the original design. The one-story addition on the west side came later.

Designed by the important architect Birge Clark, the building's iron work shares workmanship with wrought iron designs of the Norris House, whose ironwork craftsman, Herman Bleiber, was a favorite of Clark. For the Senior Center, the interior was redesigned in 1978 by Walter Stromquist, one of Clark's colleagues.³²

Though not explicitly stated in the DPR forms, the building is significant as an example of the Spanish Colonial Revival style of architecture, as a work of noted local architect Birge Clark, and for its historical use as an important municipal building. The building is also recognized as a Point of Historical Interest by the State of California. Since the building at 450 Bryant Street is listed in the Palo Alto Historic Inventory, it qualifies as a historic resource per the California Environmental Quality Act.

7.2 Updated Evaluation

California Register of Historical Resources

NRHP Criterion A / CRHR Criterion 1 [Association with Significant Events]

The subject property is associated with early municipal development of Palo Alto, and is the only remaining built component of the original civic center complex in the city's downtown. Therefore, the subject property, including the rear accessory building, appears eligible for the CRHR under Criterion 1 at the local level.

NRHP Criterion B / CRHR Criterion 2 [Association with Significant Persons]

Though the former Police and Fire Department played a notable role as an important municipal building in Palo Alto, research did not identify an important association with any particular individual. As such, the subject property does not appear eligible for listing on the CRHR under this criterion.

³² 440-450 Bryant Street, California Department of Parks and Recreation Historic Resources Inventory, prepared by Lydia Moran, 1978.

NRHP Criterion C / CRHR Criterion 3 [Architectural Significance]

The former Police and Fire Building at 450 Bryant Street is locally significant as an example of the Spanish Colonial Revival style of architecture, and as a work of noted local architect Birge Clark. Though altered on the interior, the exterior of the building retains many characteristic features of the style, including a first-floor arcade, carved rafters exposed at the eaves, clay barrel-tile roofing, stucco wall cladding, steel multi-pane casement windows, and decorative ironwork. Clark designed many buildings in Palo Alto during his career, and received an Honor Award from the Northern California Chapter of the American Institute of Architects in 1928 for his design of the Police and Fire Building. For these reasons, the subject property appears eligible for listing on the CRHR at the local level under this criterion.

NRHP Criterion D / CRHR Criterion 4 [Potential to Yield Information]

Criterion 4 is generally applied to archeological resources and evaluation of the property for eligibility under this criterion is beyond the scope of this evaluation.

Palo Alto Historic Inventory

The former Police and Fire building at 450 Bryant Street is listed as a Category 2 resource on the Palo Alto Historic Inventory. Research and evaluation have not identified any information that would negate the building's historic status, so ARG concurs with this designation. Further, research has indicated that the former garage building behind the resource was built around the same time as the main building and was also designed by Birge Clark. It was used by the Police and Fire department as a garage and is associated with the historic function of the building. As such, it should be considered a contributing element to the building's significance.

7.3 Evaluation of Integrity

Integrity is the authenticity of a historical resource's physical identity evidenced by the survival of characteristics that existed during the resource's period of significance. Integrity involves several aspects including location, design, setting, materials, workmanship, feeling, and association. These aspects closely relate to the building's significance and must be primarily intact for eligibility.

Location

Location is the place where the historic property was constructed or the place where the historic event occurred.

The subject property remains in its original location and therefore retains integrity of location.

Design

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

Despite additions and alterations over time, the original 1927 building and associated outbuilding retain integrity of design on the exterior of the building only. Overall, they retain their original form and stylistic features from the original design, and many exterior character-defining features are extant. The Main Police and fire building displays the most detail between the two buildings. The building interiors have been extensively remodeled and no original features or design characteristics remain from the original construction. Therefore, the building interiors retain no integrity of design.

Setting

Setting is the physical environment of a historic property, constituting topographic features, vegetation, manmade features, and relationships between buildings or open space.

Though the City Hall building has been demolished and some nearby buildings replaced over time, the general scale and character of the surrounding built environment remains from the building's era of construction. As such, the subject property generally retains integrity of setting.

Materials

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.

The interiors of the original Police and Fire Building and associated outbuilding have lost all integrity of materials due to extensive alteration over time. However, the original building exteriors retain material integrity.

Workmanship

Workmanship is the physical evidence of the crafts of a particular culture, people, or artisan during any given period in history or pre-history.

The main Police and Fire building displays integrity of workmanship through its distinctive ironwork, stucco detailing, and tooled concrete door surround at the former Police Court entrance. To a lesser degree, the accessory building also retains integrity of workmanship through the exposed rafters and wrought iron window grille.

Feeling

Feeling is a property's expression of the aesthetic or historical sense of a particular period of time.

The subject property as a whole expresses its historical character through a number of extant original exterior features and materials, and therefore retains integrity of feeling.

Association

Association is the direct link between an important historic event or person and a historic property.

The property's association with Birge Clark can still be communicated through the Spanish Colonial design qualities that were a hallmark of his architectural style.

7.4 Character-Defining Features

This section identifies the exterior character-defining features of 450 Bryant Street. A character-defining feature is an aspect of a building's design, construction, or detail that is representative of the building's function, type, or architectural style. Generally, character-defining features include specific building systems, architectural ornament, construction details, massing, materials, craftsmanship, site characteristics, and landscaping that were present during the historic period. In order for an important historic resource to retain its significance, its character-defining features must be retained to the greatest extent possible. An understanding of a building's character-defining features is a crucial step in

developing a rehabilitation plan that incorporates an appropriate level of restoration, rehabilitation, maintenance, and protection.

The historical significance for the Palo Alto Police and Fire Building is attributed primarily to the quality of design in its original exterior detailing and its design by an important local architect. The building is also significant as an important local municipal building.

Exterior Character-Defining Features of 450 Bryant Street include:

- › Red clay tile roof
- › Open eaves with decorative rafter tails
- › Two-story height and rectangular form
- › Stucco finish and detailing (belt course at second floor and coves, cornices, imposts, etc.)
- › Symmetrical façade on Bryant Street
- › Arched openings at ground level
- › Police Court signage and tooled concrete door surround
- › Terra cotta floor tile at Police Court entry
- › Ironwork, including balcony railings, grilles, and light fixtures
- › Balconies at upper floor
- › Multi-pane steel casement windows
- › French doors at front balconies
- › Minimal eave overhang
- › One-story accessory building behind main building (gabled tile roof, stucco cladding, window grille, one-story rectangular plan form – windows/doors not original)

7.5 Summary Significance and Integrity

The former Palo Alto Police and Fire Building at 450 Bryant Street is significant for the quality of design in its original exterior detailing, for its association with important local architect Birge Clark, and as an important local municipal building. Built around the same time, the former garage building was also designed by Clark and served the building's historic function as the Police and Fire building. Though the interiors of both buildings have been significantly modified over time, they retain an adequate amount of original exterior character defining features to communicate their historic significance, and the property as a whole qualifies as a historic resource per CEQA.

8. PROPOSED PROJECT DESCRIPTION & CONFORMANCE WITH THE SECRETARY'S STANDARDS

8.1 The Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior's Standards (the Standards) are a series of concepts developed by the United States Department of the Interior to assist in the continued preservation of a property's historical significance through the preservation of character-defining materials and features. They are intended to guide the appropriate maintenance, repair, and replacement of historic materials, and to direct the design of compatible new additions or alterations to historic buildings. The Standards are used by Federal, state, and local agencies to review both Federal and nonfederal rehabilitation proposals.

In California, properties listed in, or formally determined eligible for listing in, the California Register of Historical Resources or a local historic register qualify as "historical resources" per the California Environmental Quality Act (CEQA) and must be considered in the environmental review process. (Resources formally determined eligible for, or listed in, the National Register of Historic Places are automatically listed in the California Register of Historical Resources.) In general, a project involving a historical resource that has been determined to comply with the Secretary of the Interior's Standards can be considered a project that will not cause a significant impact on the historic resource per CEQA.

The Standards offer four approaches to the treatment of historic properties—preservation, rehabilitation, restoration, and reconstruction. The Standards for Rehabilitation (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

The ten Rehabilitation Standards are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old

in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

8.2 Project Description

The following project description was provided by Kenneth Rodrigues & Partners, Inc. (May 22, 2015):

Avenidas operates out of the existing historic building at 450 Bryant Street in downtown Palo Alto. The building was built in 1926 as the City of Palo Alto Police and Fire Station. The building was designed by Palo Alto architect Birge Clarke. Avenidas modified and renovated the building in 1977-1978 when its occupancy of the building began. Over the past six years, Avenidas has been exploring how to continue to provide the highest level of services to the community and accommodate the growing demand at the existing location. The senior population is large and growing rapidly. The 55+ segment of Palo Alto's population grew 25% between 2000 and 2010 and today represents almost one-third of the total population of the city. As indicated in the City of Palo Alto's Comprehensive Plan, Avenidas (formerly the Senior Coordinating Council) is the sole provider of senior services on behalf of the City of Palo Alto. Consistent with the Comprehensive Plan goals for community services, Avenidas must evolve and adapt to the changing needs of the aging population.

Meeting these needs starts with Avenidas' programs and extends into its physical infrastructure. The expansion and remodeling of the facilities is fundamental for Avenidas' abilities to continue to provide the highest level of service to the Palo Alto community.

This expansion and remodeling also addresses Community Services goals of the City's Comprehensive Plan: "Goal C-4: "Attractive, Well-maintained Community Facilities That Serve Palo Alto Residents... Reinvest in aging facilities to improve their usefulness and appearance. Avoid deferred maintenance of City infrastructure. (Policy C-24)"³³

³³ City of Palo Alto Comprehensive Plan, Community Services and Facilities, page C-16.

The proposed existing building and addition is +/-22,700 square feet. The first level is the largest at +/-11,100 square feet and includes the addition of an atrium lobby, main lobby, reception and classrooms and multi-purpose rooms.

The second floor is +/-7,500 square feet and includes multipurpose rooms, meeting rooms, classrooms and administrative areas.

A third floor in the new wing will be +/- 2,500 square feet and will include a fitness room and small meeting room.

The circa 1925 shed at the rear (the "Garden Room") will be renovated to house the staff and members of Avenidas Village. The basement below the original building will become a theater/small auditorium.

Part of the project's challenge, is the limited space available for development based on the Avenidas's leasehold area and the adjacent park and parking lot. The proposed addition is to remain within the current lease hold boundary.

The architectural concept of the addition is to significantly maintain the architectural features of the existing historic building by adding an addition at the back of the project in the area of the current courtyard and garden room. The design aesthetic of the new addition is modern with the building composed of aluminum, glass, stone and plaster elements. The scale and massing of the addition is such that it is in proportion to the existing historic building. Aluminum reveals will be introduced in order to reference to the existing building lines. Since the main objective is to retain and preserve the historic character of the property, minimal changes and alterations will be done. The existing rear wall of the historic building will become a prominent feature of the proposed addition and will remain visible from the interior of the new building. The main building entry will remain along Bryant Street. No exterior building modifications are proposed to the other three sides of the existing building. Participations will entry [sic] into a main lobby/reception that will be flanked by activities rooms that will be visible from the sidewalk. With the remodeling of the interior space, the circulation and way finding throughout the facility will be improved.³⁴

8.3 Assessment for Conformance with the Secretary's Standards

This section provides an analysis of the project drawings prepared by Kenneth Rodrigues & Partners, Inc. and dated May 27, 2015 and the proposed project's compliance with the Secretary of the Interior's *Standards for Rehabilitation*.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

The proposed continued use of the building as a facility for seniors requires minimal change to the character defining features of the building and is therefore compliant with this Standard.

³⁴ Proposed project description provided in email from KRP to author, May 22, 2015.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The proposed rehabilitation of the interiors of each building on site will not affect any significant interior spaces or spatial relationships. Prior building campaigns have fully removed and/or altered all interior spaces, and no original fabric remains.

The proposed new addition attaches to the rear elevation of the existing Police and Fire building, in an area that has been previously altered. The proposed addition will retain, to the greatest extent possible, the exterior walls of the original building, and much of this wall surface will remain exposed and visible. The proposed project maintains the majority of the remaining multi-pane steel sash windows that remain on the rear elevation in place. One original window will be removed and infilled and two altered windows will receive the same treatment. The new addition will require minimal removal of limited portions of the eaves and roof for both the main building and former garage structure. No alterations are proposed for the front or side elevations of the principal building.

Overall, the proposed project retains the historic character of the original buildings and is generally compliant with this Standard. See recommendations below for suggestions related to the treatment of historic building materials and features. Incorporation of some or all of these recommendations will improve the proposed project's level of compatibility with the Standards.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

The new addition is modern in design and does not attempt to create a false sense of historical development. New construction will be distinguishable from old and no architectural elements from other buildings are proposed for use in the new design. As such, the proposed project is compliant with this Standard.

Note: Though few details are provided, a new trash enclosure appears on the drawings with a tile roof similar to that of the garage. Since the new addition is modern in style, this new component should match that aesthetic, so the new components of the site read as new and the historic components as historic. A new tile roofed structure on the site that closely resembles the existing garage structure would not be compliant with this Standard. See recommendations section below.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Research did not indicate that later changes to the building, namely the later additions, have acquired significance in their own right over time. Therefore, the demolition of the 1970s cafeteria addition for replacement with a new addition would not impact a historic portion of the building and is compliant with this Standard.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

See discussion under Standard 2 above. The proposed rear addition preserves the majority of the Police and Fire building's distinctive features and finishes, the most significant of which are located on the front elevation of the building. The proposed project also maintains in large part the features and finishes of the simple accessory building behind the main structure. As such, the project is generally compatible with this Standard. See recommendations below for suggestions related to the removal of historic building materials and features. Incorporation of some or all of these recommendations will improve the proposed project's level of compatibility with the Standards.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

No deteriorated features are proposed for replacement as part of this project. As such, this Standard does not apply.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

The proposed plan drawings do not indicate the use of chemical or physical treatments. As such, this Standard does not apply.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

An archeological evaluation is beyond the scope of this analysis. However, should materials be found during the demolition or construction process, a qualified archeologist should be consulted for assessment and mitigation recommendations.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

See discussions under Standards 2 and 5 above. The new addition to the existing Police and Fire building will remove a non-historic addition and exterior stair. It will attach to the existing building in an area that has received more alteration than any other portion of the building to date, and is therefore appropriately placed. The proposed project will also remove non-historic courtyard walls, gates, and courtyard elements; these changes will not affect the character defining features of the property.

The height, size, and massing of the new addition does not overpower that of the existing buildings and is generally compatible with the existing building. Stucco panels have been incorporated on the northeast elevation of the addition, to minimize visual impact from the building's primary elevation facing Bryant Street. The project designer has also incorporated stucco panels on the northwest (park-

facing) elevation of the new building to ease the visual and material transition from old to new. The addition is set back from the existing building on the northwest elevation where the two building meet, to create further delineation between old and new.

For the reasons discussed above, the project is generally compatible with this Standard. See recommendations section below for suggestions related to the removal and treatment of historic building materials, and for detailing suggestions for the new construction. Incorporation of some or all of these recommendations will improve the proposed project's level of compatibility with the Standards.

8.4 Recommendations

ARG provides the following recommendations to increase the proposed project's compatibility with the Secretary of the Interior's Standards for Rehabilitation:

- Minimize depth and heaviness of reveals in new stucco panels; the reveals should be no greater than 1-1/2 inches maximum.
- Bevel the edges of the slab roofs of the addition to minimize visibility.
- Simplify the scored lines on the northeast elevation of the new addition; align with reference points on existing building.
- If possible, avoid or minimize removal of roof tiles and eave lines on existing buildings to maintain original materials. Refine seismic joint detail at junction with the former garage structure to minimize loss of historic materials.
- Salvage original rear second-story multi-pane window proposed for removal and store on site. Alternatively, cover window and retain in place.
- Consider further incorporation of stucco panels on exterior surfaces in place of glass wall surfaces for increased material compatibility between new and existing.
- Consider incorporation of a terra cotta color (to match existing roof tiles) along slab roof edges on all elevations to increase visual continuity between new and old.

Additional note: Details have not yet been provided for the new trash enclosure at the rear of the existing building, though the project drawings show a tile roofed structure similar to the existing former garage building. Simplify the design of this enclosure and avoid design details that may create a false sense of history. A simple flat roofed stucco enclosure would be appropriate.

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Appendix A: Existing Conditions Photographs of 450 Bryant Street

450 Bryant Street • Palo Alto, CA
Historic Resource Evaluation
Architectural Resources Group

Exterior



Exterior of original building, Bryant Street elevation, view looking southwest
(Architectural Resources Group, May/June 2014)



Bryant Street elevation with 1950 addition, view looking south
(Architectural Resources Group, May/June 2014)



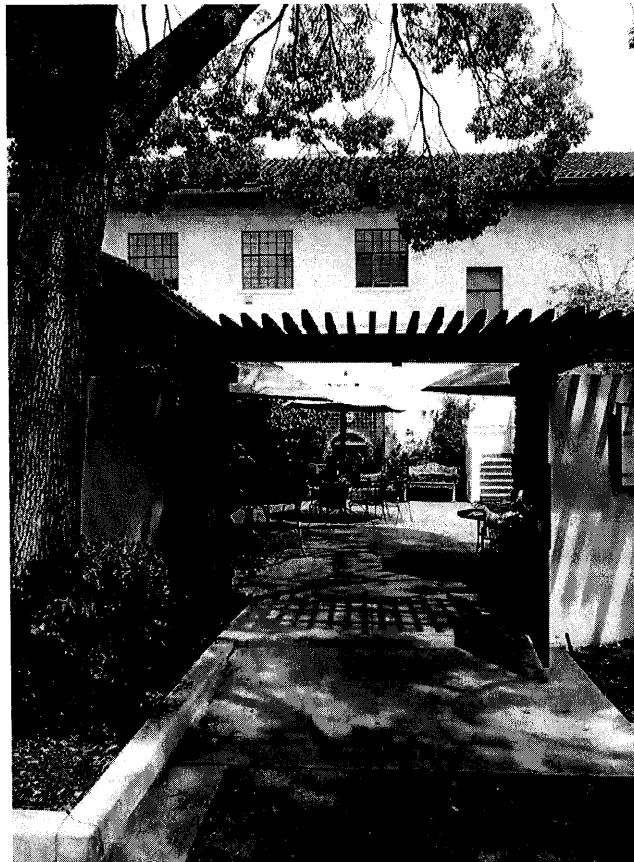
Bryant Street elevation with 1950 addition, view looking southeast
(Architectural Resources Group, May/June 2014)



West elevation, view looking generally south
(Architectural Resources Group, May/June 2014)



1978 dining room addition from rear parking lot, view looking northeast
(Architectural Resources Group, May/June 2014)



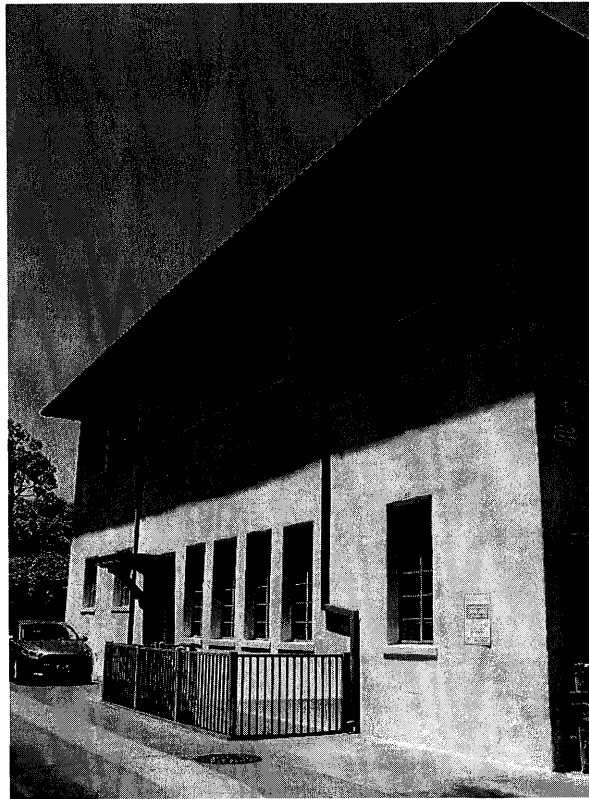
View into rear courtyard from parking lot
(Architectural Resources Group, May/June 2014)



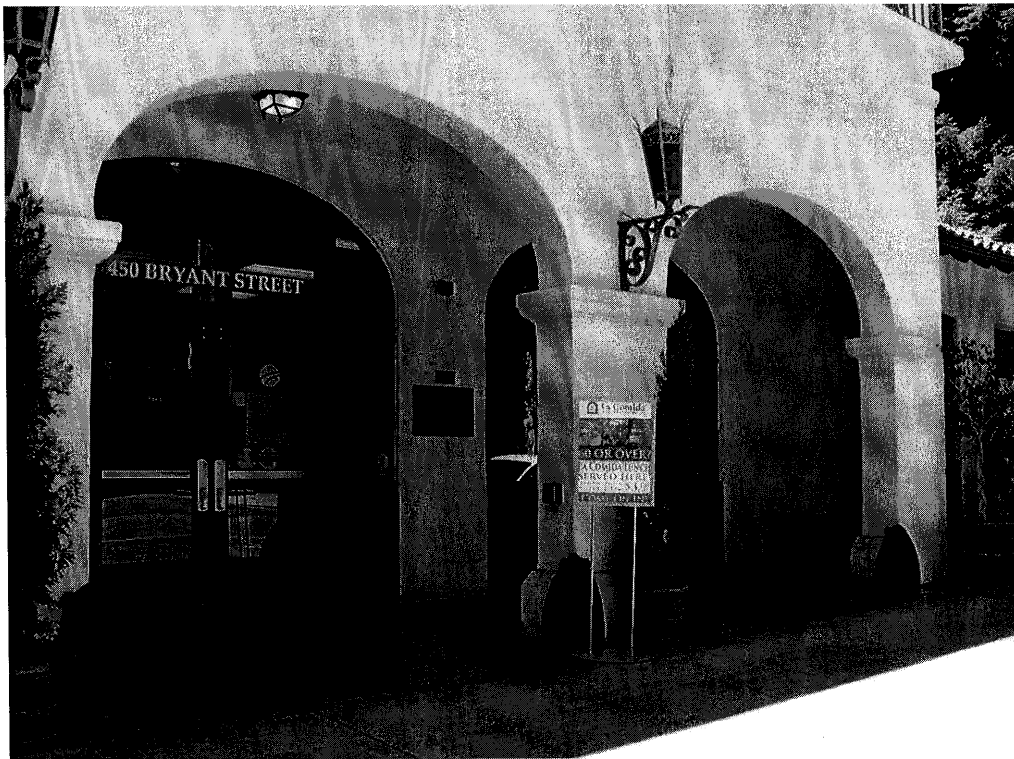
Rear view of activity room building (former garage), view looking north
(Architectural Resources Group, May/June 2014)



East elevations of original building and rear activity room building along alley
(Architectural Resources Group, May/June 2014)



East elevation original building, view looking generally southwest
(Architectural Resources Group, May/June 2014)



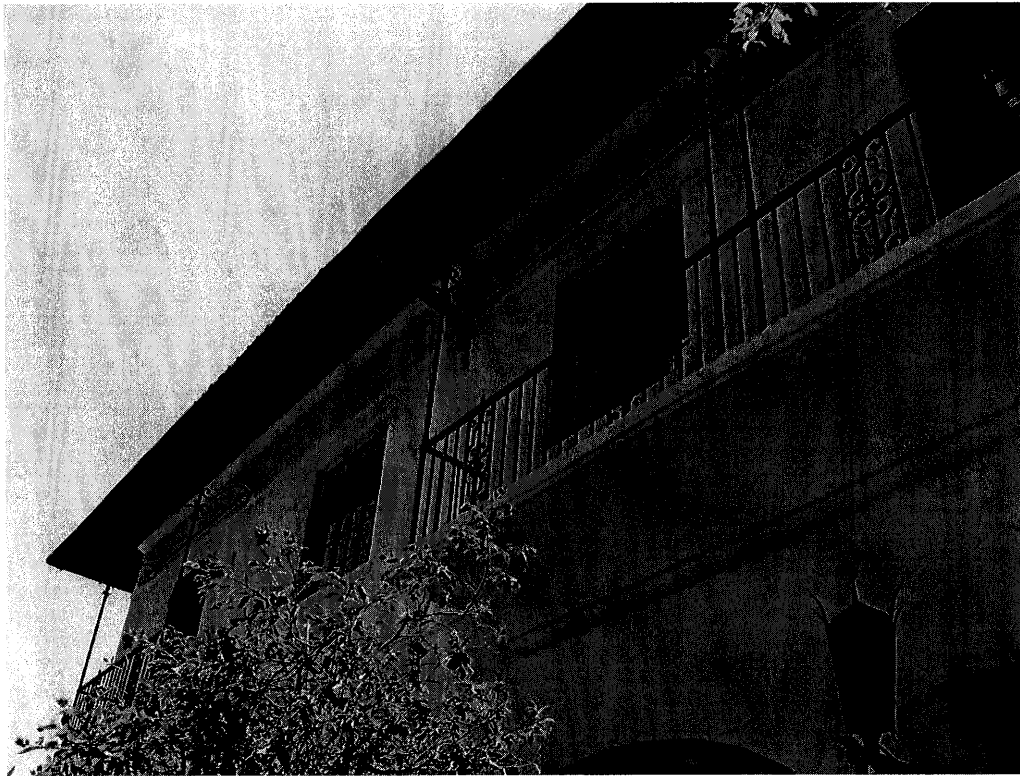
450 Bryant Street main entrance at former Fire Department entry
(Architectural Resources Group, May/June 2014)



Former Fire Department entrance infill detail
(Architectural Resources Group, May/June 2014)



Detail of Police Court entrance
(Architectural Resources Group, May/June 2014)



Exterior, detail of balcony, wrought iron work, and eave details
(Architectural Resources Group, May/June 2014)



Detail of existing Bryant Street entrance to 1950 addition
(Architectural Resources Group, May/June 2014)



Exterior courtyard, view looking west
(Architectural Resources Group, May/June 2014)



Courtyard fountain and exterior stair, added in 1978
(Architectural Resources Group, May/June 2014)

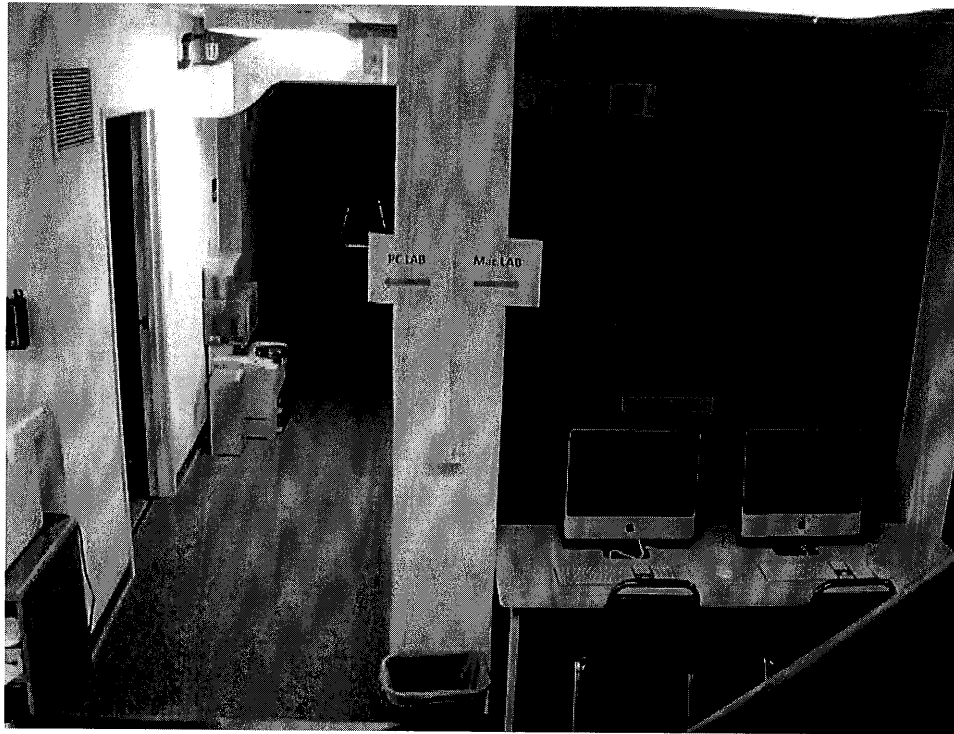


Courtyard trellis work and plantings
(Architectural Resources Group, May/June 2014)



Courtyard and activity room (former garage/carport) at right
(Architectural Resources Group, May/June 2014)

Interior



Basement overview, taken from stair
(Architectural Resources Group, May/June 2014)



Basement stair, looking up
(Architectural Resources Group, May/June 2014)

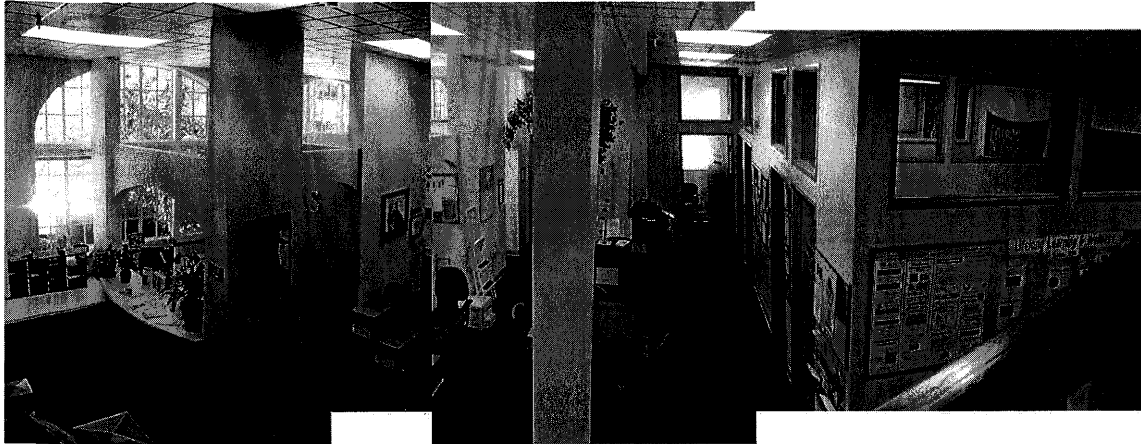
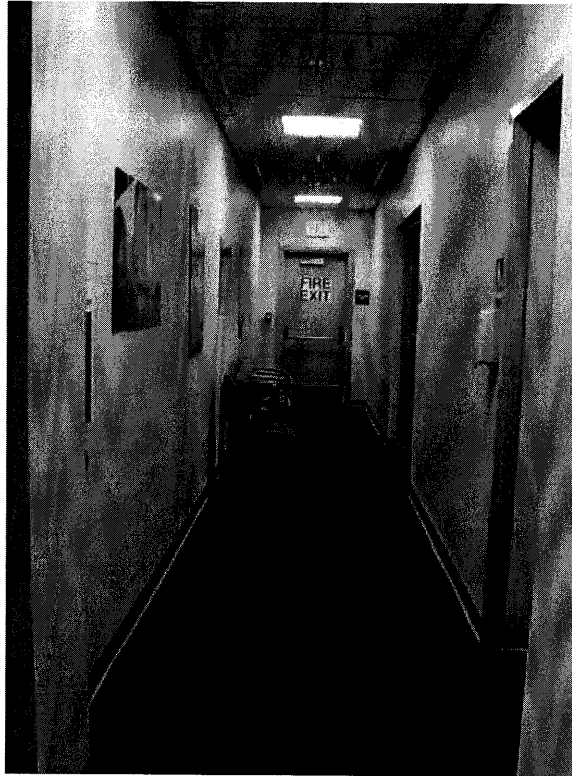


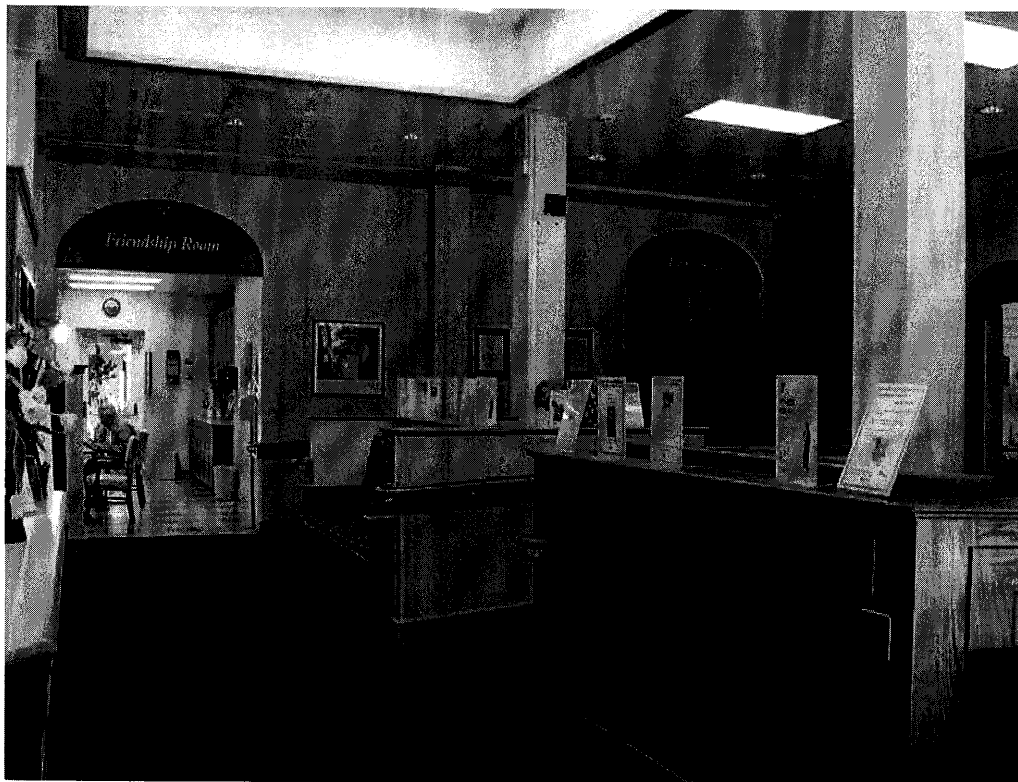
Photo composite overview of 1st floor office area (former Police Department quarters), taken from stair
(Architectural Resources Group, May/June 2014)



1st floor office area (former Police Department quarters), looking toward stair
(Architectural Resources Group, May/June 2014)



1st floor rear corridor (former Police Department quarters, detention areas), looking toward alley exit door
(Architectural Resources Group, May/June 2014)



1st floor lobby area (former Fire Department quarters), taken from main entry
(Architectural Resources Group, May/June 2014)



Office areas in 1950 addition
(Architectural Resources Group, May/June 2014)



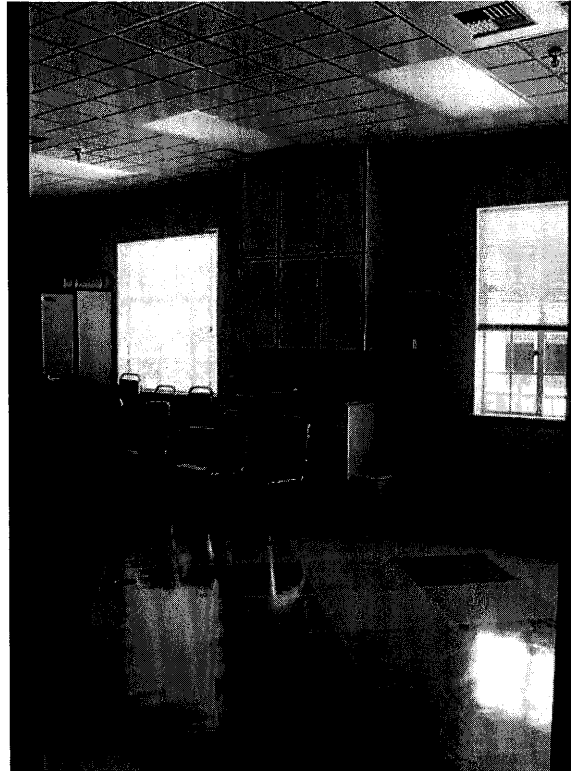
1978 dining room addition interior
(Architectural Resources Group, May/June 2014)



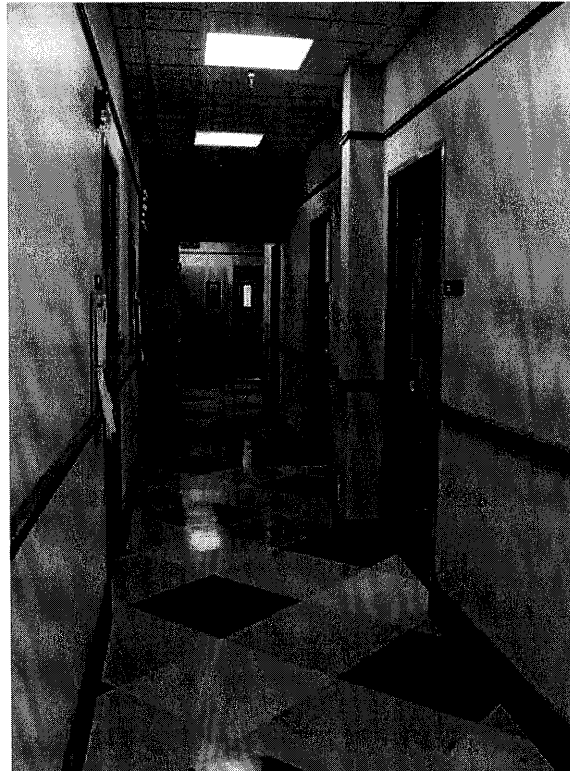
2nd floor lobby at top of stair
(Architectural Resources Group, May/June 2014)



2nd floor conference room (photo composite) in area of former Police Department squad room and bedroom
(Architectural Resources Group, May/June 2014)



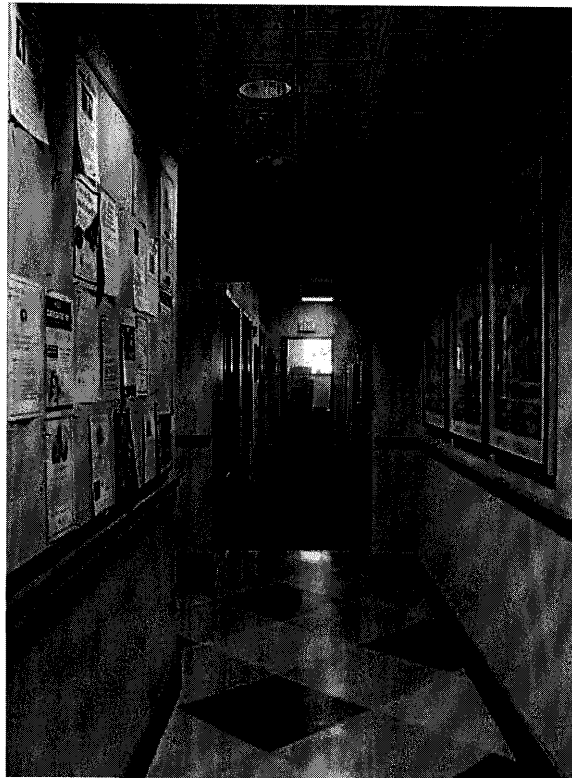
2nd floor activity room, in area of former Fire Department dormitory
(Architectural Resources Group, May/June 2014)



2nd floor corridor, in area of former Fire Department kitchen/toilet and washrooms
(Architectural Resources Group, May/June 2014)



2nd floor corridor, in area of former Fire Department lounge room and offices, looking toward rear of building
(Architectural Resources Group, May/June 2014)



2nd floor rear corridor, in area of former Fire Department lounge room and offices, looking west
(Architectural Resources Group, May/June 2014)

Appendix B: Historic Photographs of 450 Bryant Street

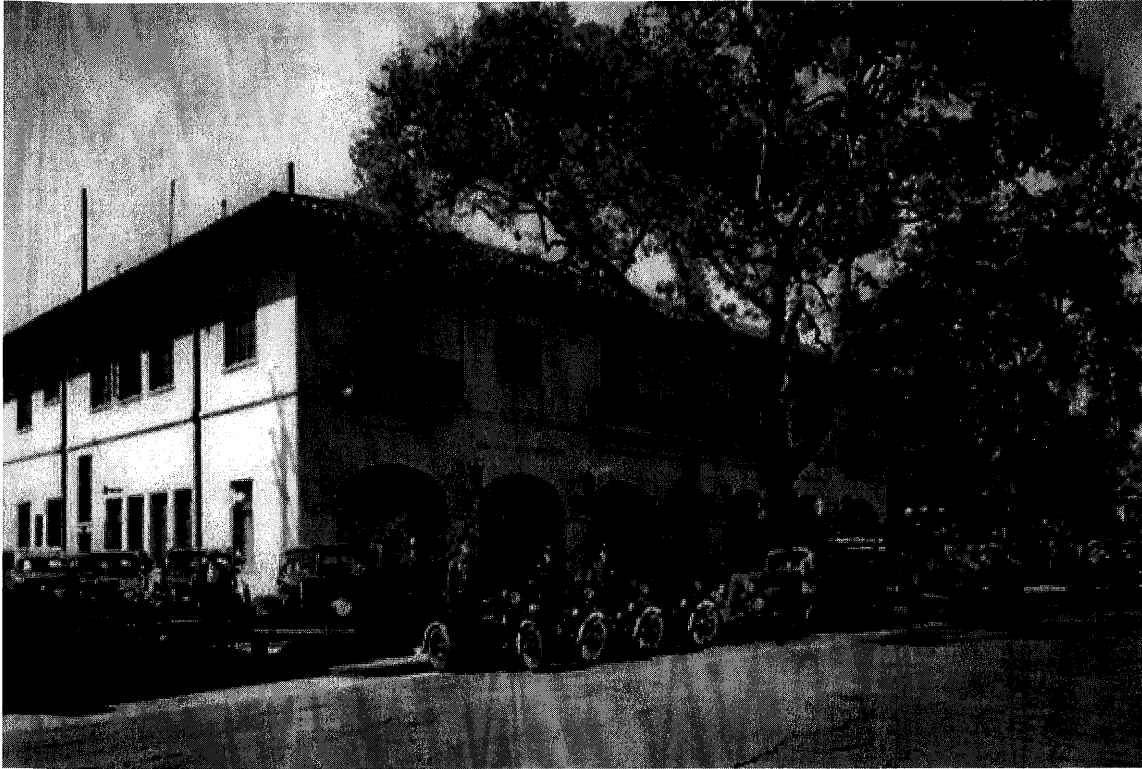
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Historic Resource Evaluation
Architectural Resources Group



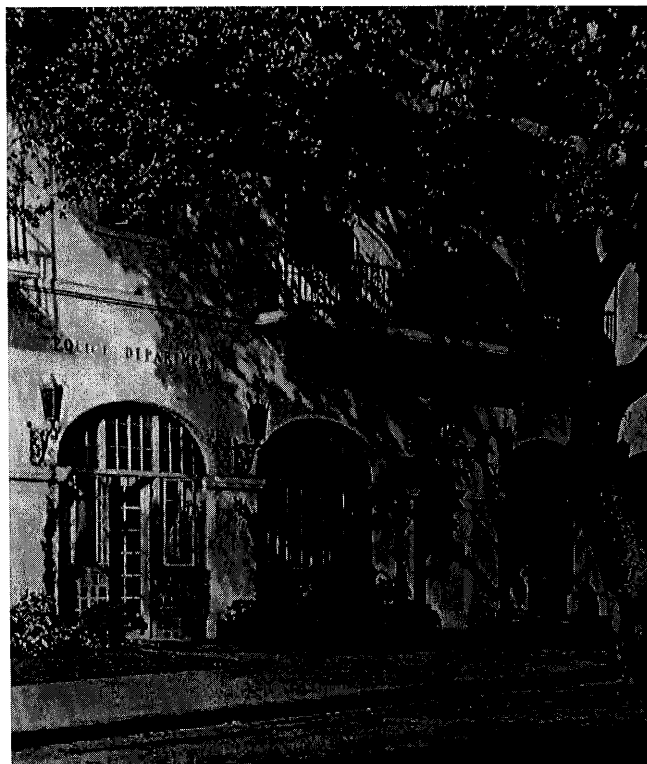
Palo Alto Fire/Police building, 450 Bryant Street, c. 1927
(Source: Palo Alto Historical Association)



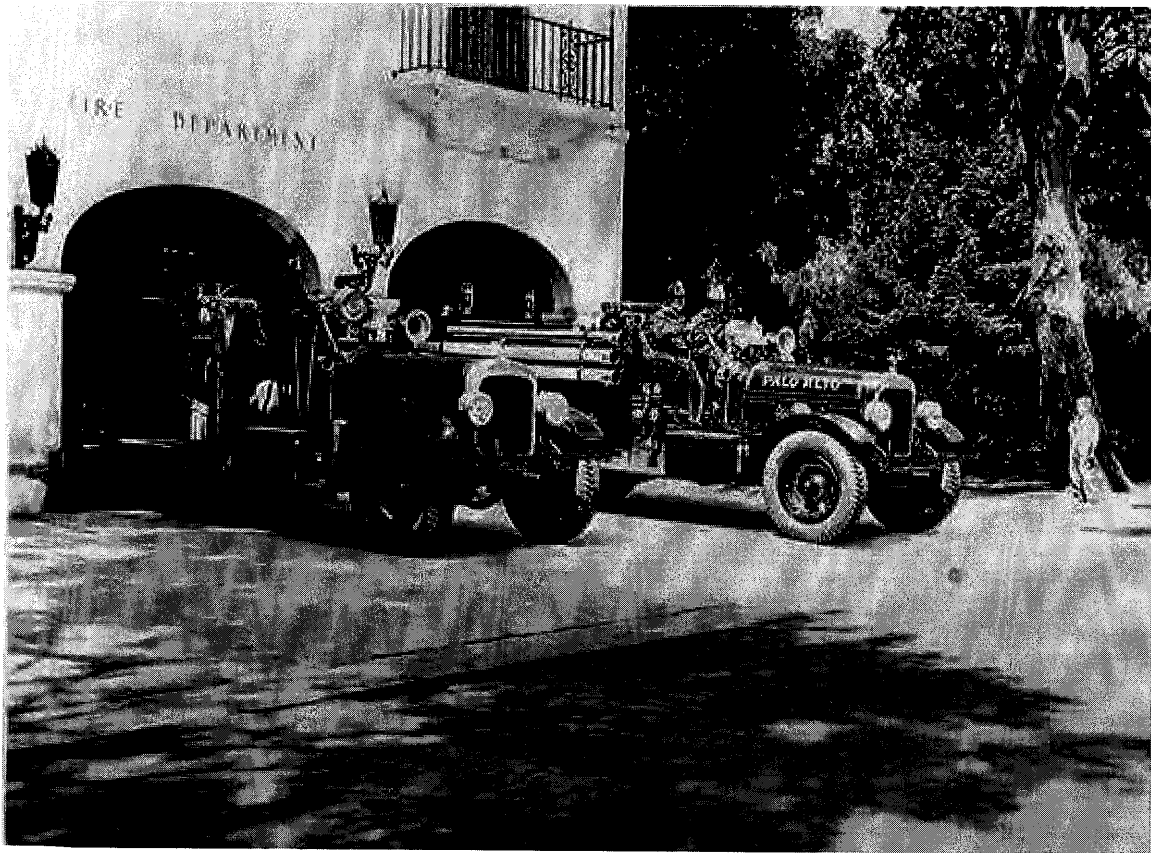
Police-Fire Building, date unknown
(Source: Palo Alto Historical Association)



Police Court, c. 1938
(Source: Palo Alto Historical Association)



450 Bryant Street, c. 1931
(Source: *The Architectural Forum*, November 1931, Palo Alto Historical Association)



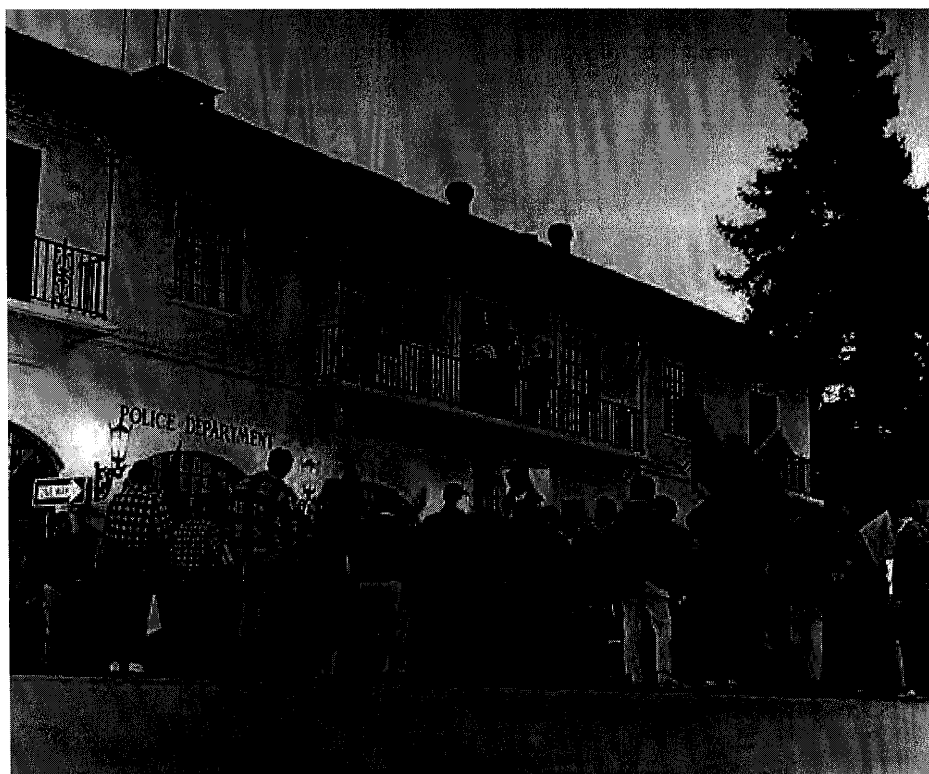
Palo Alto fire trucks in front of the Fire Department, 1933
(Source: Palo Alto Historical Association)



Palo Alto Fire Department Ladies Auxiliary, c. 1930s
(Source: Palo Alto Historical Association)



A Vietnam War protest outside the Palo Alto Police Department, Bryant Street, 1968
(Source: Palo Alto Historical Association)



A Vietnam War protest outside the Palo Alto Police Department, Bryant Street, 1968
(Source: Palo Alto Historical Association)



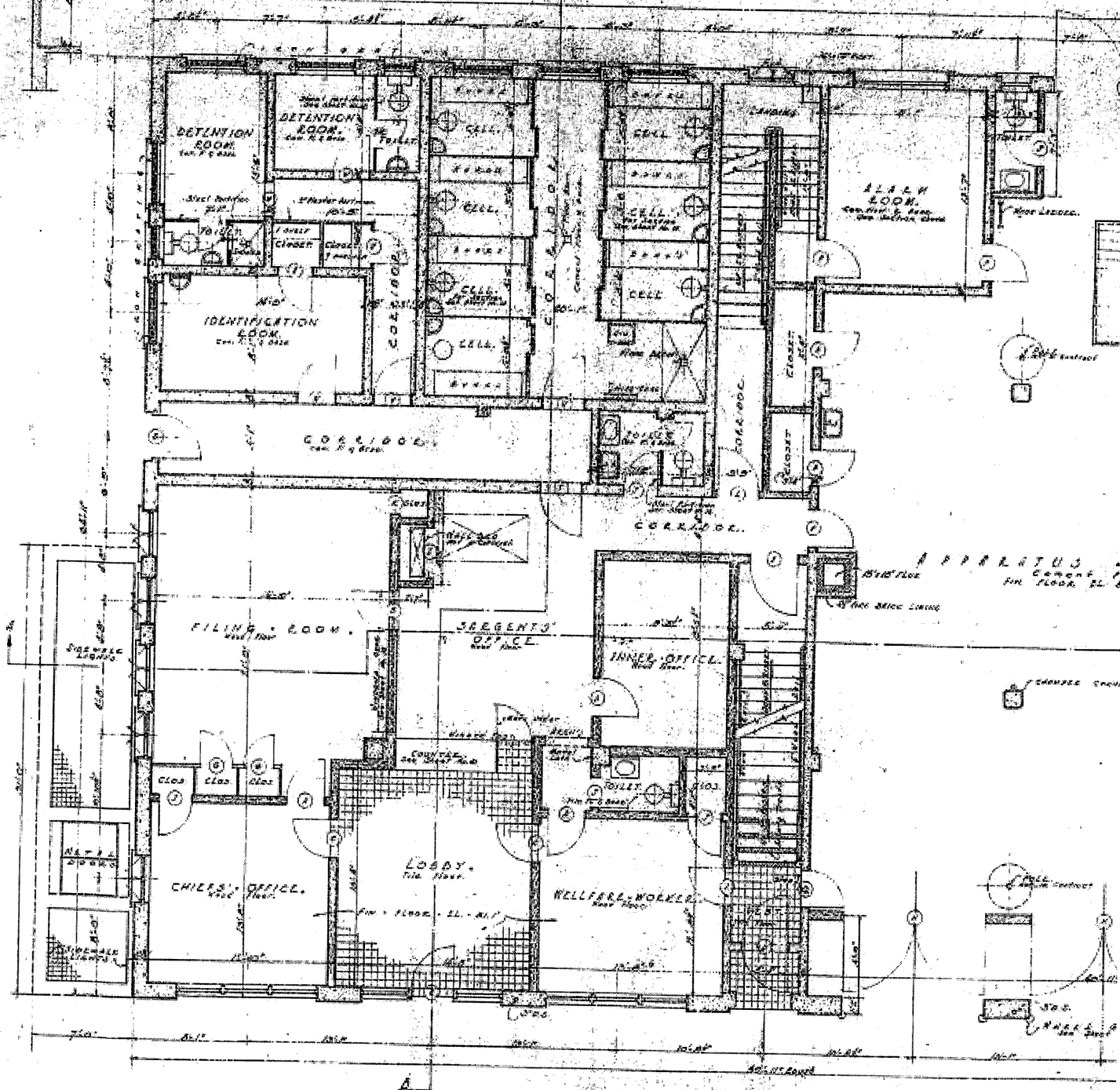
450 Bryant preparing for construction
(Source: *Senior Adult News*, October 1976, Palo Alto Historical Association)

Appendix C: Original Plan Drawings

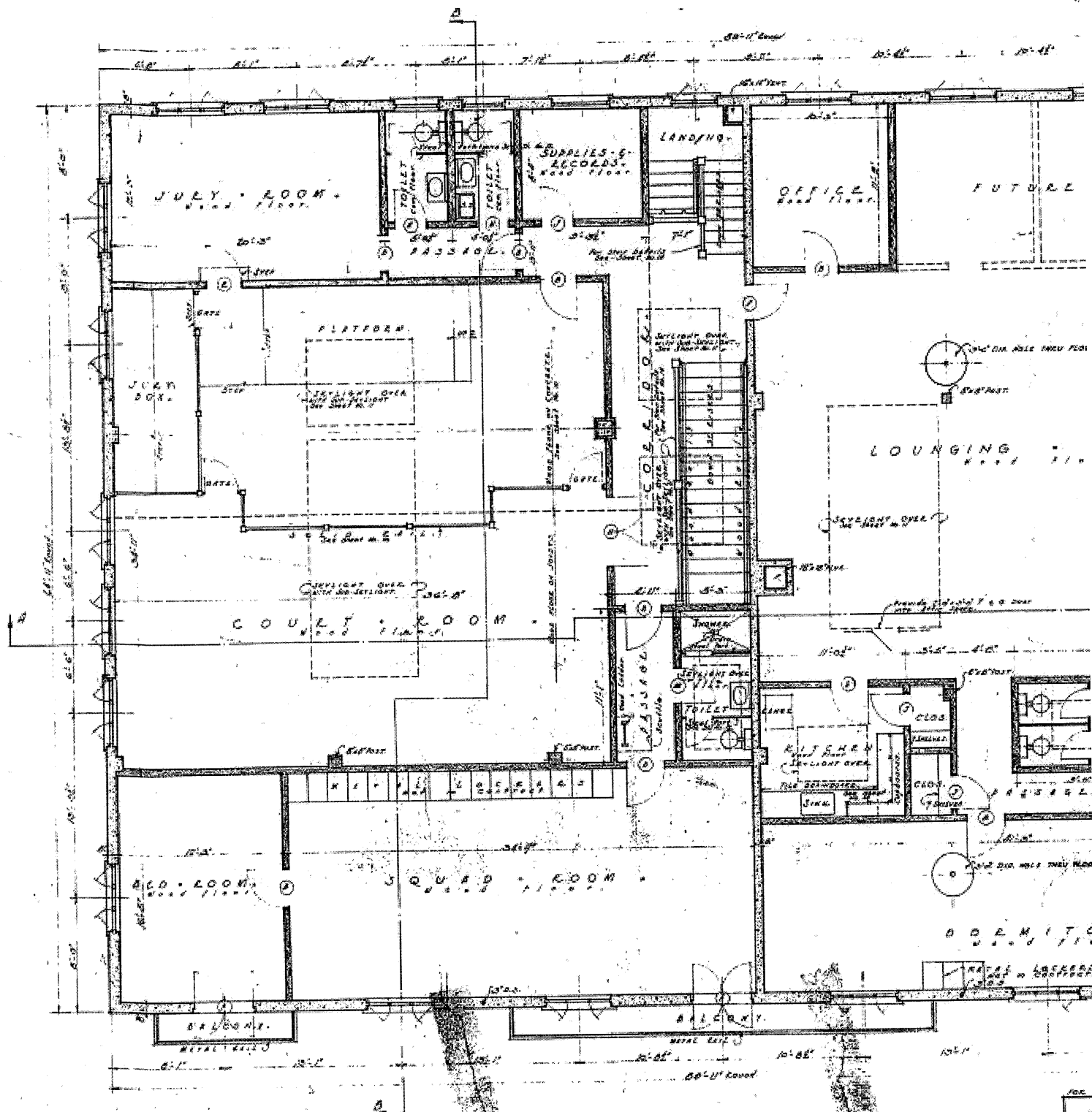
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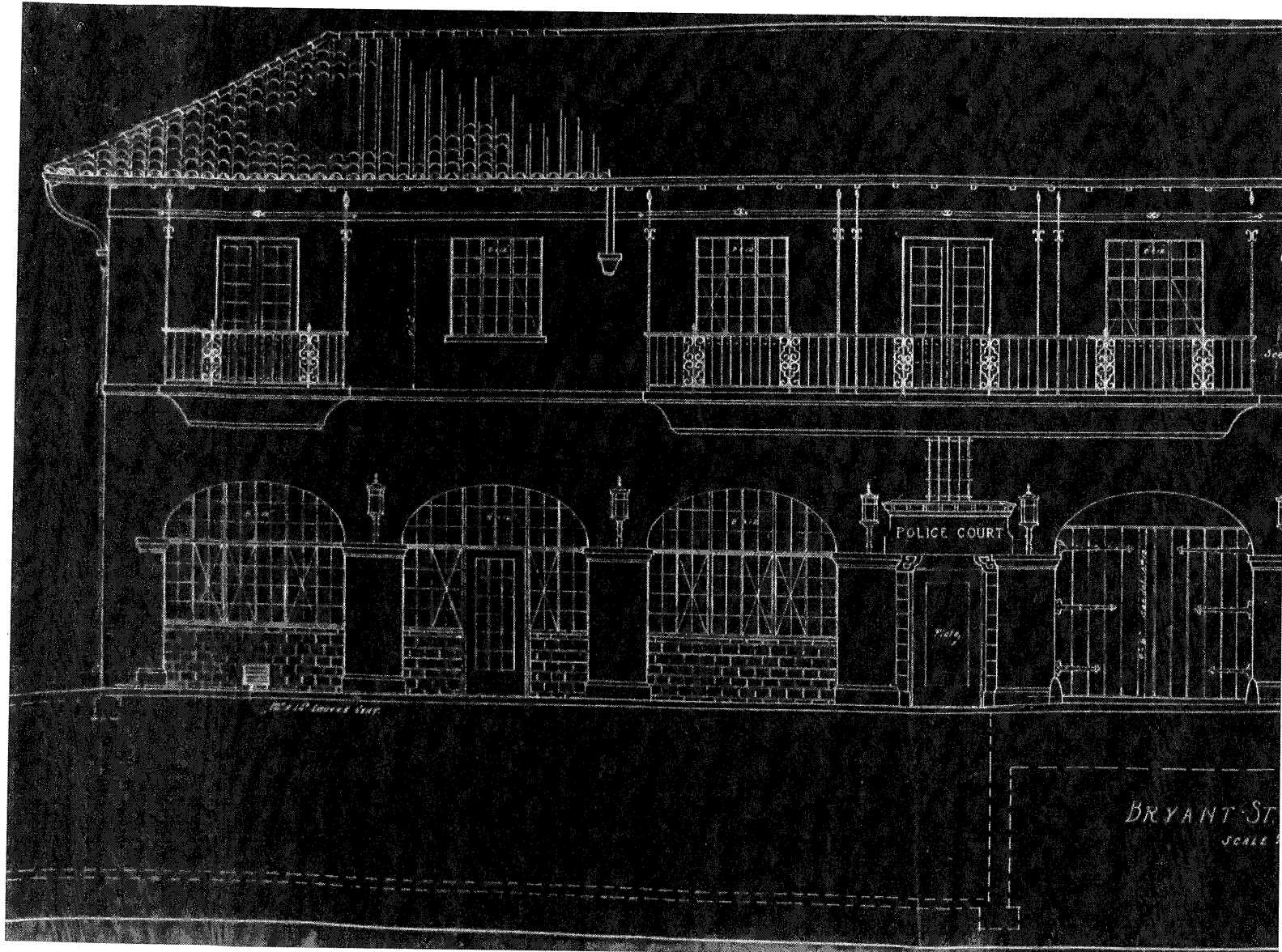
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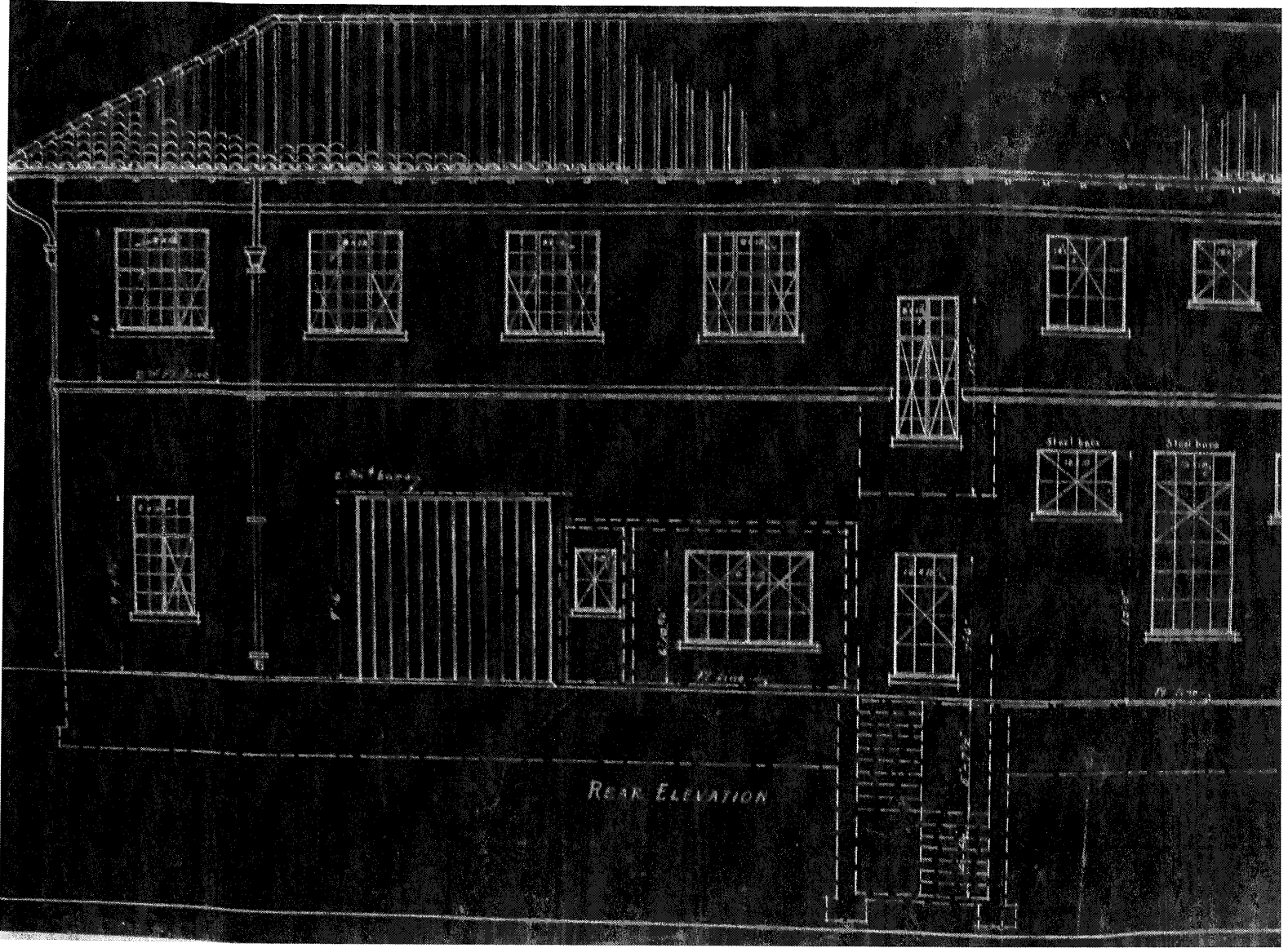


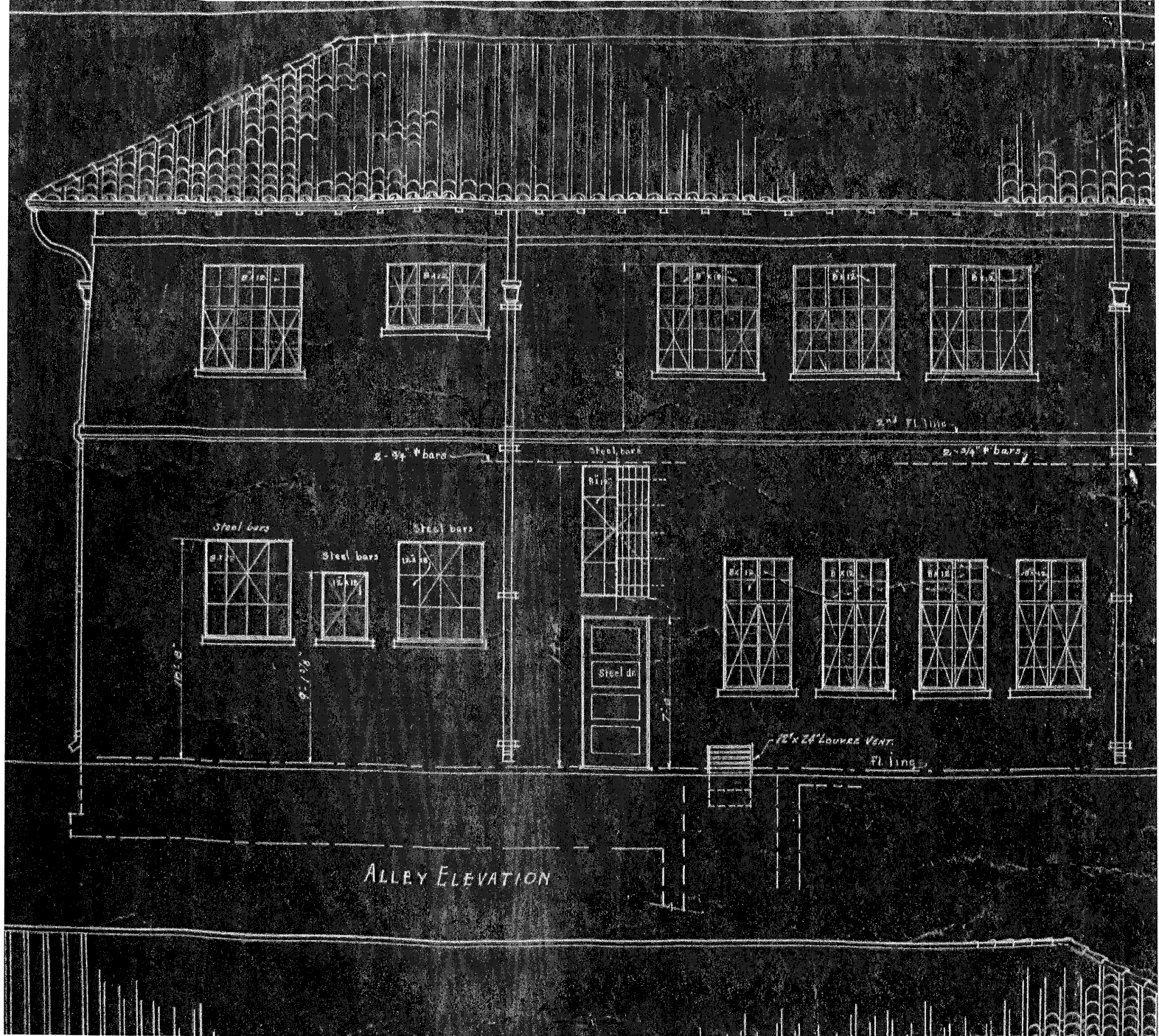
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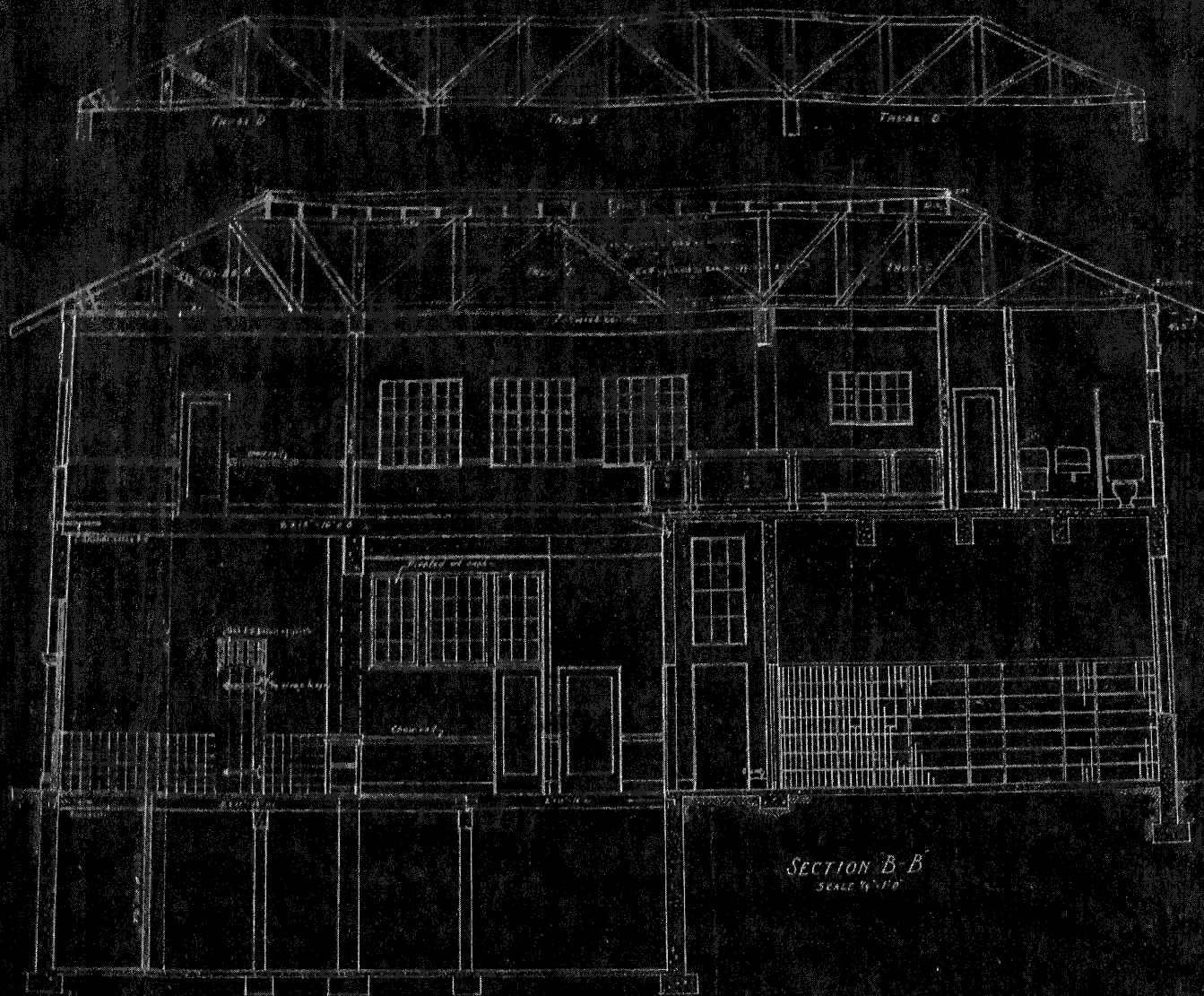


FRONT ELEVATION



SECTION A-A

DETAILS OF COUNTER IN LOBBY
Scale 1/4" = 1'-0"



SECTION B-B
Scale 1/4" = 1'-0"

Attachment E: Project Plans – delivered to ARB Board Members only

Also available online at:

http://www.cityofpaloalto.org/gov/depts/pln/new_projects/commercial_and_mixed_use_projects.asp